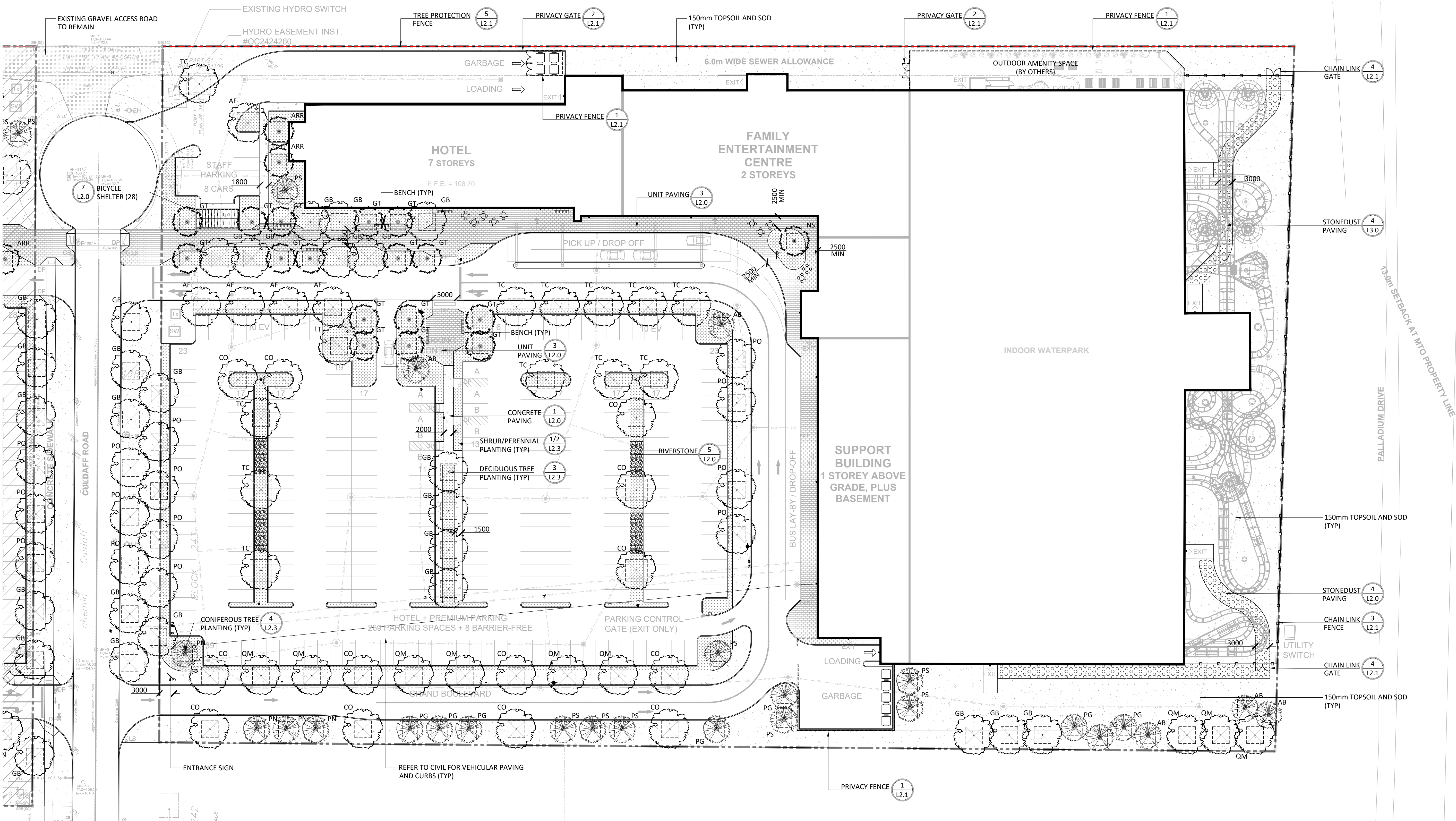




GENERAL NOTES:

- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
- TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
- CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CONTRACTOR.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR TO VERIFY LOCATION OF ALL SERVICES PRIOR TO ANY EXCAVATION.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE AND ONLY AFTER APPROVAL OF THE LANDSCAPE ARCHITECT.

NOTES:
THE LANDSCAPE PLAN WAS PREPARED IN CONJUNCTION WITH THE GEOTECHNICAL REPORT PREPARED BY LRL ENGINEERING:
• 240720, JUNE 2026
ALL EXISTING SITE INFORMATION AS PER SITE SURVEY PLAN DATED MAY 6, 2026 AND PREPARED BY ANNIS O'SULLIVAN, VOLLEBECK LTD., AND SITE SURVEY PLAN DATED MAY 12, 2026 AND PREPARED BY STANTEC GEOMATICS LTD.

SOIL VOLUME PROJECTIONS (NTS)*		TREE SOIL VOLUMES	
SMALL	SINGLE	MULTIPLE	
MEDIUM/CONIFER			
LARGE			
TREE TYPE/SIZE		SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (M3/TREE)
ORNAMENTAL		15	9
COLUMNAR		15	9
SMALL		20	12
MEDIUM		25	15
LARGE		30	18
CONIFER		25	15
*SOIL VOLUME CALCULATION BASED ON 1.5m DEPTH			

CANOPY COVER DIAGRAM

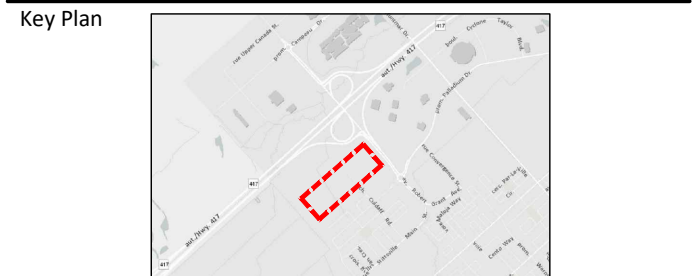


CANOPY COVER LEGEND
--- PROPERTY LINE
--- BUILDING
--- MATURE TREE CANOPY

PROPOSED TREE CANOPY PROJECTIONS			
TREE TYPE/SIZE	CROWN AREA** PER TREE STANDARD RANGE (m²)	AVERAGE CROWN AREA PER TREE USED FOR CALC. (m²)	SITE CANOPY COVER
LARGE (99)	135-250*	192	10,985m² (ACCOUNTED FOR OVERLAP)
MEDIUM (32)	35-135*	85	
SMALL (0)	5-35*	20	
CONIFER (51)	45-96*	70	
SITE AREA			53,167m²
TOTAL CANOPY COVER			37.6%

NOTE: CANOPY COVER INCLUDES OVERLAP FROM ROW TREES

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



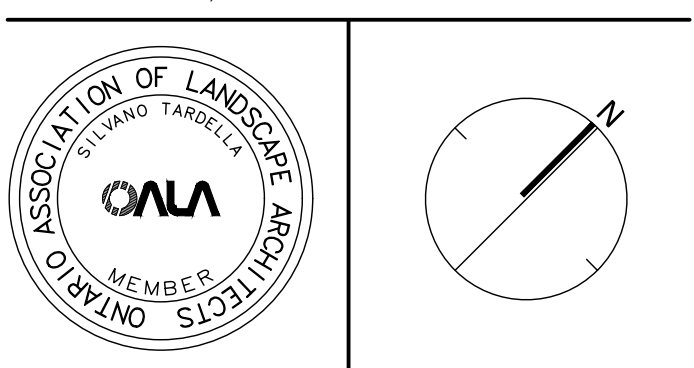
- LEGEND
- PROPERTY LINE
 - FENCING
 - WOOD PRIVACY FENCE
 - CHAIN LINK FENCE
 - TREE PRESERVATION FENCE
 - PLANTING
 - LARGE DECIDUOUS TREE
 - MEDIUM DECIDUOUS TREE
 - CONIFEROUS TREE
 - SHRUB/PERENNIAL PLANTING
 - SEED/SOD
 - PAVING
 - ASPHALT PAVING
 - CIP CONCRETE PAVING
 - HEAVY DUTY CONCRETE PAVING
 - UNIT PAVING
 - STONEDUST PAVING
 - RIVERSTONE
 - UTILITIES (BY OTHERS)
 - PROPOSED LIGHT STANDARD

- DETAIL KEY
- 1 L1 DETAIL NO.
 - 1 L1 SHEET NO.

3	Issued for SPA	July 07/26
2	Issued for SPA Draft	June 26/26
1	Issued for Coordination	May 27/26
No.	Description	Date

City Approval Stamp	OWNERSHIP PALLADIUM RESORT DEVELOPMENT LIMITED PARTNERSHIP 2562 Corp Rd, Ottawa, ON K0A 1D0
	ARCHITECT MICROBIE ARCHITECTS 65 Queen St, Ottawa ON K1P 5C6
	TRANSPORTATION CGH TRANSPORTATION INC. 6 Plaza Court, Ottawa ON, K2H 7W1
	CIVIL LRL ASSOCIATES 5430 Carleton Rd, Ottawa, ON K1J 9G2
	LANDSCAPE ARCHITECT NAK DESIGN STRATEGIES 1285 Wellington St., Ottawa, ON K1Y 3A8

PROPERTY INFORMATION
BLOCK 244, REGISTERED PLAN 4M-1687, CITY OF OTTAWA AND BLOCKS 243 & 251, REGISTERED PLAN 4M-1687, CITY OF OTTAWA



NAK
design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
Project

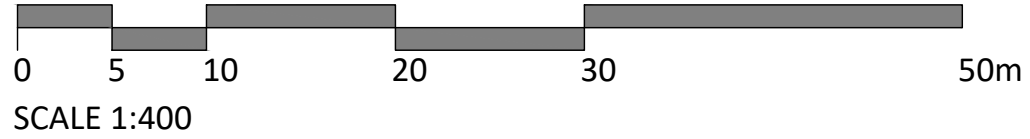
PALLADIUM RESORT DEVELOPMENT
LIMITED PARTNERSHIP
2775 & 2785 PALLADIUM DRIVE
CULDAFF ROAD PARCEL, OTTAWA ON

Title		LANDSCAPE PLAN	
Date	2026-05-21	Sheet	L1.0
Scale	1:600	Drawn	
Checked	MK	SW	
Job No.	25-259		

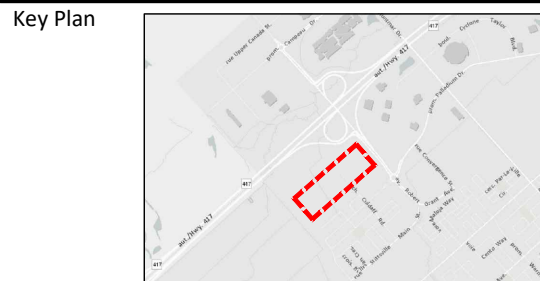
PLAN N° XXXXX

CITY FILE N° DXX-XX-XX-XXXX

PERENNIALS AND ORNAMENTAL GRASSES							
ac	ANEMONE CANADENSIS	CANADIAN ANEMONE	0	1 GAL.	POT	Y	PRIVATE
bg	BOUTELLOUA GRACILIS	BLUE GRAMA	0	1 GAL.	POT	Y	PRIVATE
cl	CASAMANTHUM LATIFOLIUM	NORTHERN SEA OATS	0	1 GAL.	POT	Y	PRIVATE
cd	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	0	1 GAL.	POT	Y	PRIVATE
ep	ECHINACEA PURPUREA	CONEFLOWER	0	1 GAL.	POT	Y	PRIVATE
gm	GERANIUM MACULATUM	WILD GERANIUM	0	1 GAL.	POT	Y	PRIVATE
pp	PHLOX PANICULATA 'BLUE PARADISE'	GARDEN PHLOX	0	1 GAL.	POT	Y	PRIVATE
rh	RUDEBECKIA HIRTA	BLACK-EYED SUSAN	0	1 GAL.	POT	Y	PRIVATE
sa	SEDUM 'AUTUMN FIRE'	AUTUMN FIRE STONECROP	0	1 GAL.	POT	N	PRIVATE
ss	SPOROBOLUS HETEROLEPIS	BLAUE DROPSEED	0	1 GAL.	POT	Y	PRIVATE
sh	SCHIZACHYRIUM SCOPARIUM	LITTLE PRISM	0	1 GAL.	POT	Y	PRIVATE



Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



LEGEND

- PROPERTY LINE
FENCING

 WOOD PRIVACY FENCE
 CHAIN LINK FENCE
 TREE PRESERVATION FENCE

PLANTING

-
- The diagram illustrates four types of vegetation, each with a corresponding icon and label:
- LARGE DECIDUOUS TREE**: Represented by a large, irregular, rounded shape with a small circle in the center.
 - MEDIUM DECIDUOUS TREE**: Represented by a medium-sized, irregular, rounded shape with a small circle in the center.
 - CONIFEROUS TREE**: Represented by a circular shape with many small triangles pointing towards the center, resembling a pine tree.
 - SHRUB/PERENNIAL PLANTING**: Represented by a rectangular area filled with a dense, cross-hatched pattern.
 - SEED/SOD**: Represented by a rectangular area filled with a sparse, cross-hatched pattern.

PAVING

- | | |
|---|----------------------------|
|  | ASPHALT PAVING |
|  | CIP CONCRETE PAVING |
|  | HEAVY DUTY CONCRETE PAVING |
|  | UNIT PAVING |
|  | STONEDUST PAVING |
|  | RIVERSTONE |

UTILITIES (BY OTHERS)

- 0 — PROPOSED LIGHT STANDARD

DETAIL KE

- 
 1 ———— DETAIL NO.
 L1 ———— SHEET NO.

-		
-		
-		
-		
3	Issued for SPA	July 07/26
2	Issued for SPA Draft	June 26/26
1	Issued for Coordination	May 27/26
No.	Description	Date

Revision	
Site Assessment Status	

City Approval Stamp | OWNER/RESHIP

OWNERSHIP
PALADIUM RESORT DEVELOPMENT LIMITED
PARTNERSHIP
2962 Carp Rd, Ottawa, ON K0A 1L0

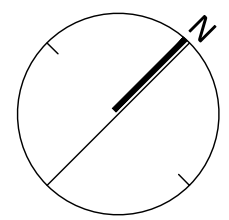
ARCHITECT
MCROBIE ARCHITECTS
66 Queen St, Ottawa ON K1P 5C6

TRANSPORTATION
CGH TRANSPORTATION INC.
6 Plaza Court, Ottawa ON, K2H 7W1

CIVIL
LRL ASSOCIATES
5430 Canotek Rd, Ottawa, ON K1J 9G2

LANDSCAPE ARCHITECT
NAK DESIGN STRATEGIES
1285 Wellington St., Ottawa, ON K1Y 3A8

PROPERTY INFORMATION
BLOCK 244, REGISTERED PLAN 4M-1687, CITY OF OTTAWA AND BLOCKS 243 & 251,
REGISTERED PLAN 4M-1687, CITY OF OTTAWA



NAK 
design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345 NAKDESIGNSTRATEGIES.COM

Project

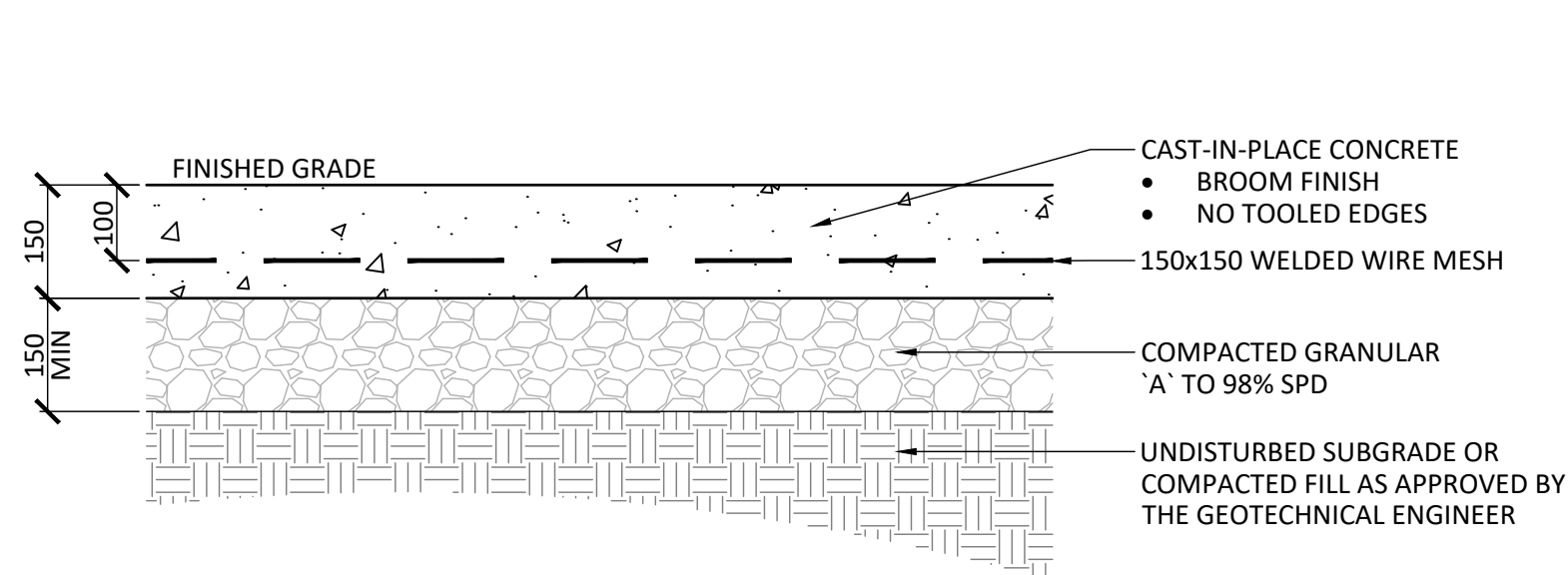
PALLADIUM RESORT DEVELOPMENT
LIMITED PARTNERSHIP
2775 & 2785 PALLADIUM DRIVE
CULDAFF ROAD PARCEL, OTTAWA ON

Title _____

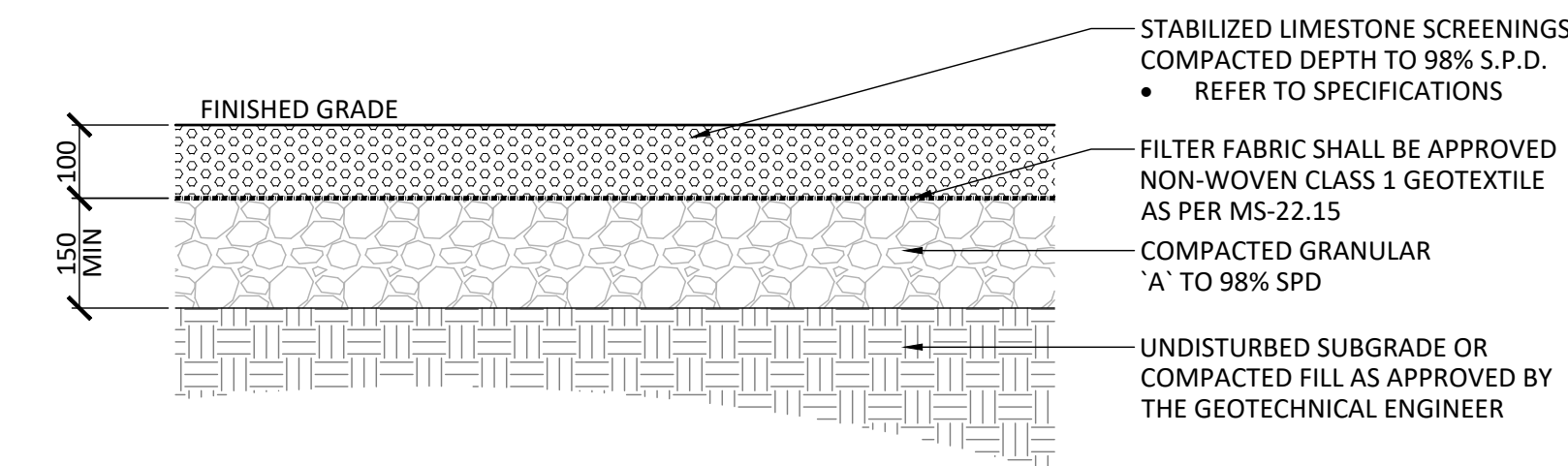
LANDSCAPE PLAN

Date	2026-05-21	Sheet
Scale	1:600	L1.1
Drawn	SW	
Checked	MK	
Job No.	25-259	

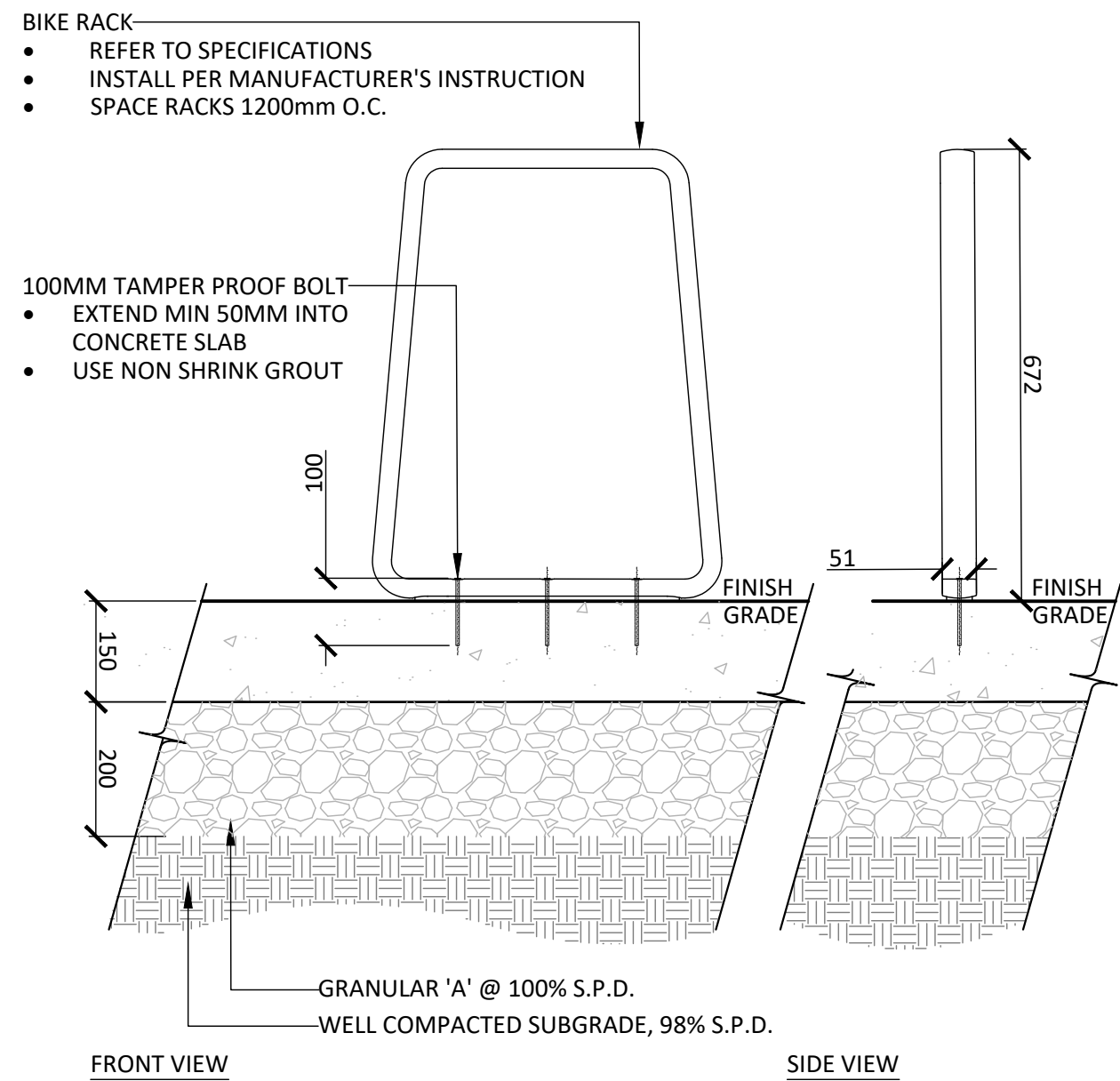
PLAN N° XXXXX



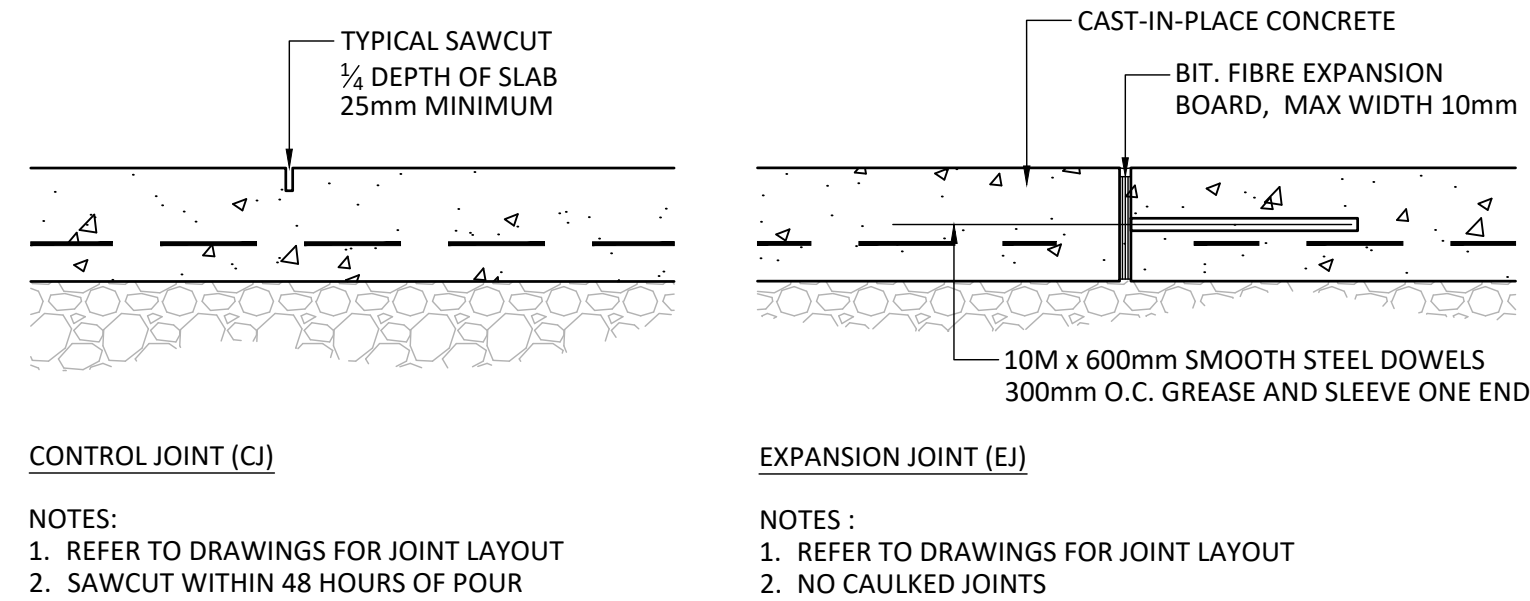
1 LIGHT DUTY CONCRETE PAVING
1:10



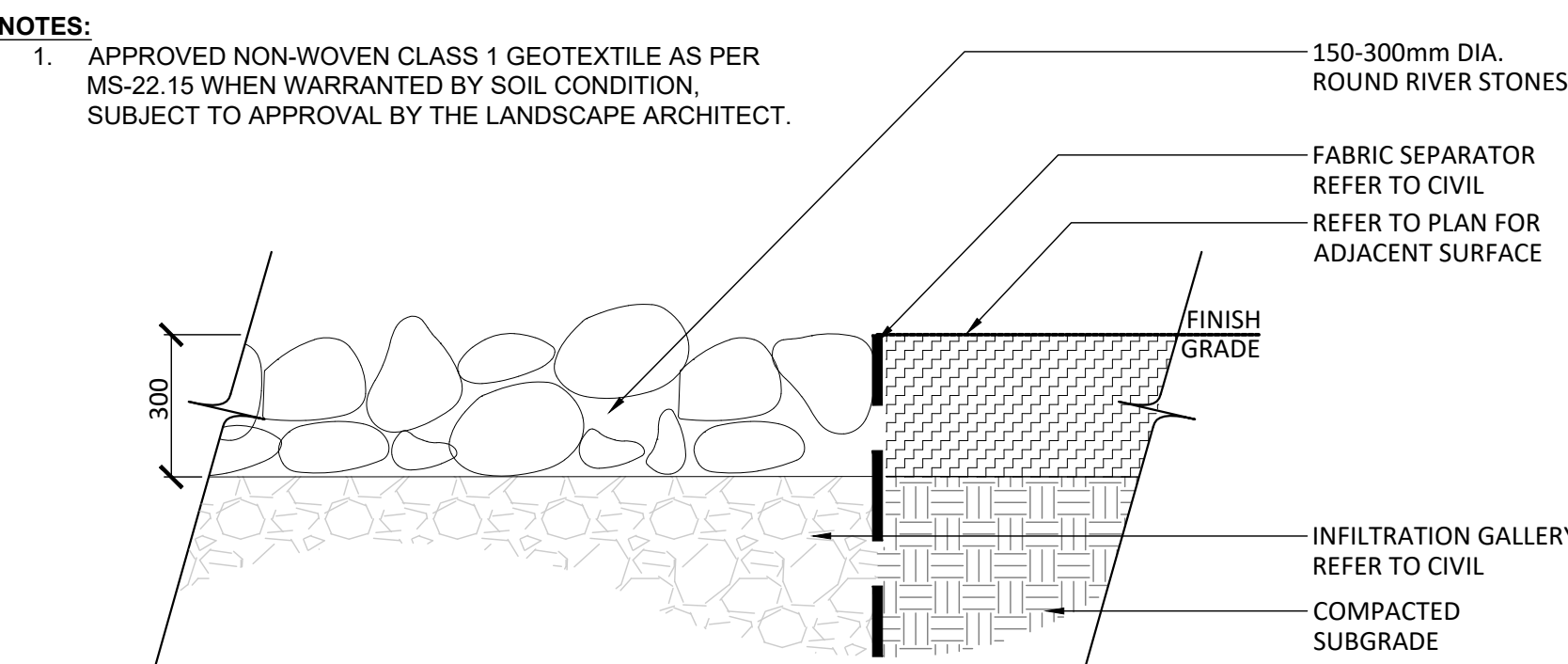
4 STONEDUST PAVING
1:10



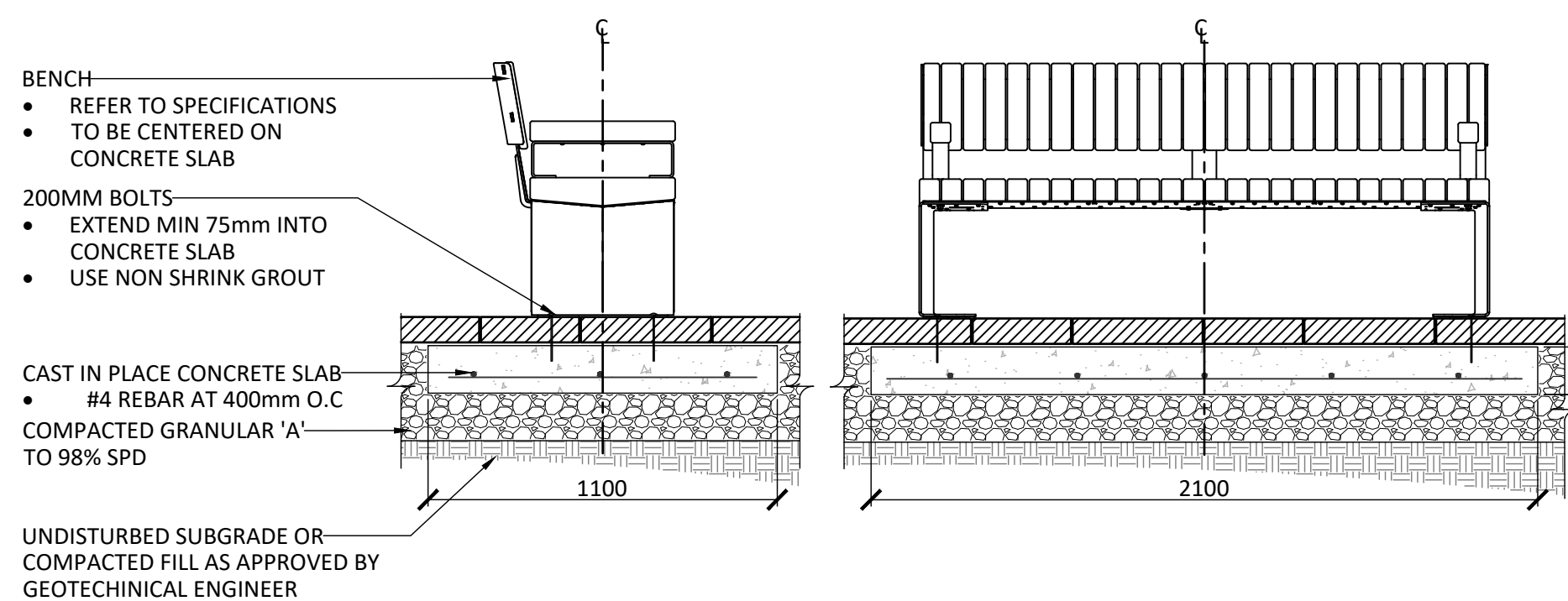
6 BIKE PARKING
1:20



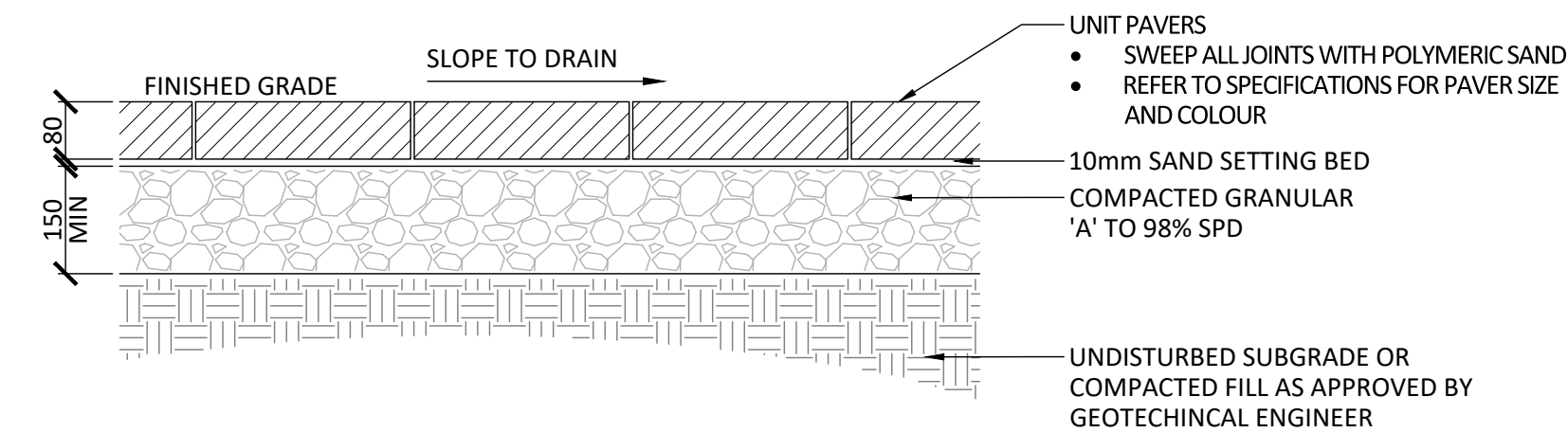
2 CONCRETE JOINTING
1:10



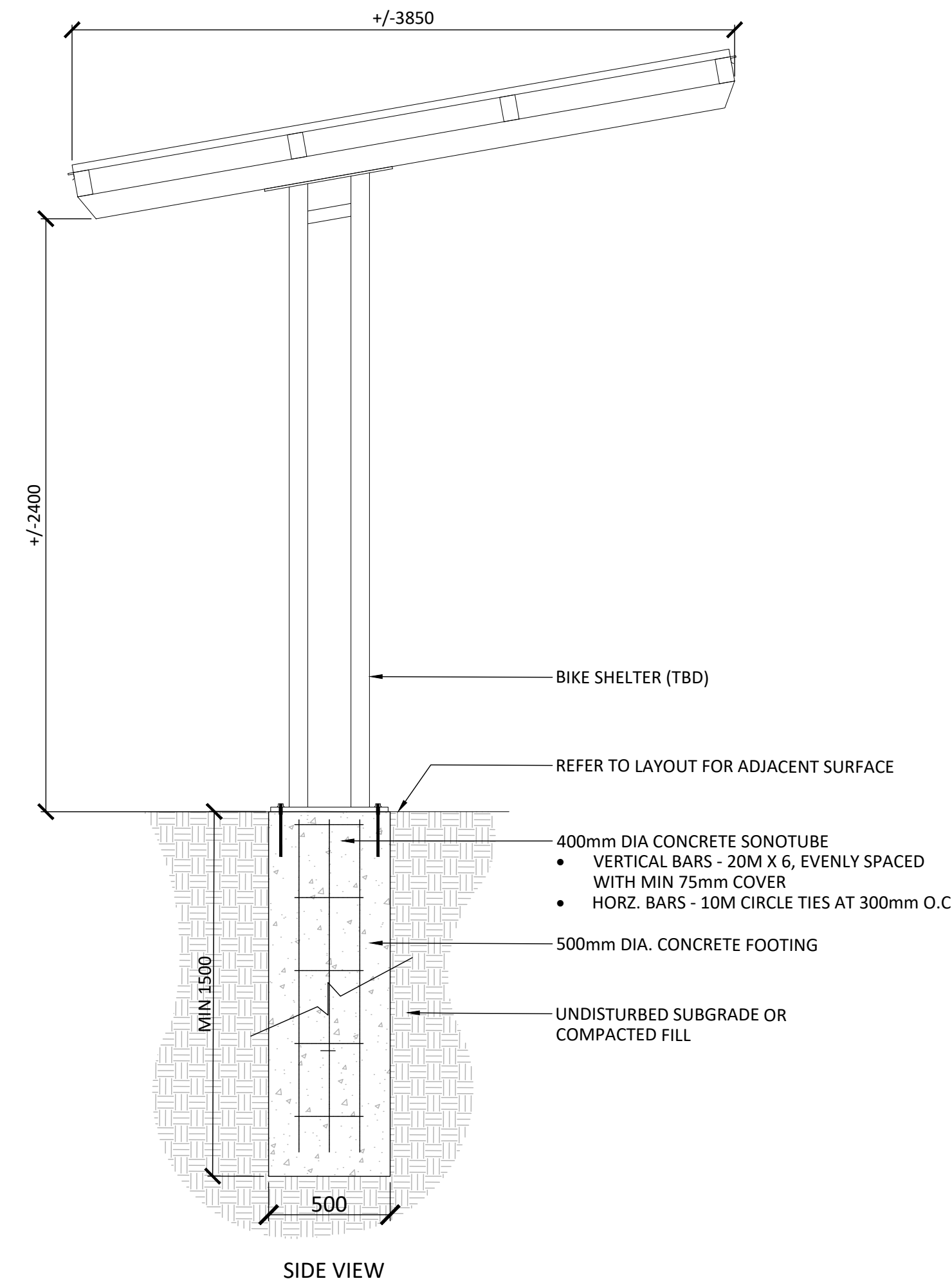
5 RIVERSTONE
1:10



7 BENCH
1:20

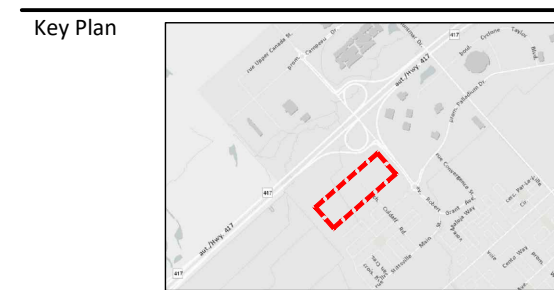


3 LIGHT DUTY UNIT PAVING
1:10



7 BICYCLE SHELTER
1:20

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



-		
-		
-		
-		
3	Issued for SPA	July 07/26
2	Issued for SPA Draft	June 26/26
1	Issued for Coordination	May 27/26
No.	Description	Date

Revision	
City Approval Stamp	
OWNERSHIP	PALLADIUM RESORT DEVELOPMENT LIMITED PARTNERSHIP 2562 Corp Rd, Ottawa, ON K2A 3L0
ARCHITECT	MICROBIE ARCHITECTS 66 Queen St, Ottawa ON K1P 5G6
TRANSPORTATION	CGH TRANSPORTATION INC. 6 Plaza Court, Ottawa ON, K2H 7W1
CIVIL	UHL ASSOCIATES 5430 Carleton Rd, Ottawa, ON K1J 9G2
LANDSCAPE ARCHITECT	NAK DESIGN STRATEGIES 1285 Wellington St., Ottawa, ON K1Y 3A8

PROPERTY INFORMATION
BLOCK 244, REGISTERED PLAN 4M-1687, CITY OF OTTAWA AND BLOCKS 243 & 251,
REGISTERED PLAN 4M-1687, CITY OF OTTAWA



NAK
design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
NAKDESIGNSTRATEGIES.COM

PALLADIUM RESORT DEVELOPMENT
LIMITED PARTNERSHIP
2775 & 2785 PALLADIUM DRIVE
CULDAFF ROAD PARCEL, OTTAWA ON

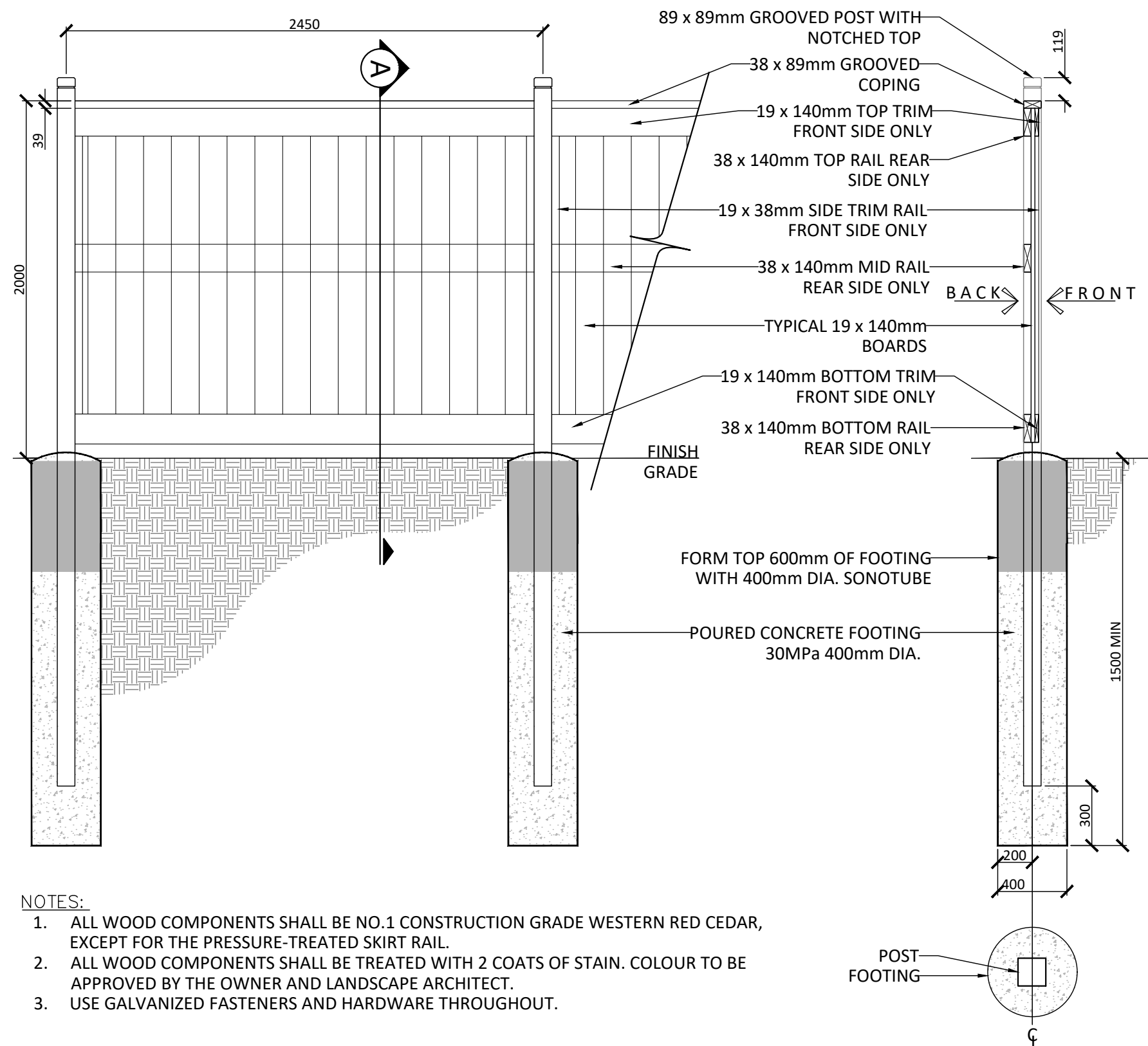
Title
LANDSCAPE DETAILS

Date	2026-05-21	Sheet
Scale	1:400	
Drawn	SW	
Checked	MK	
Job No.	25-259	

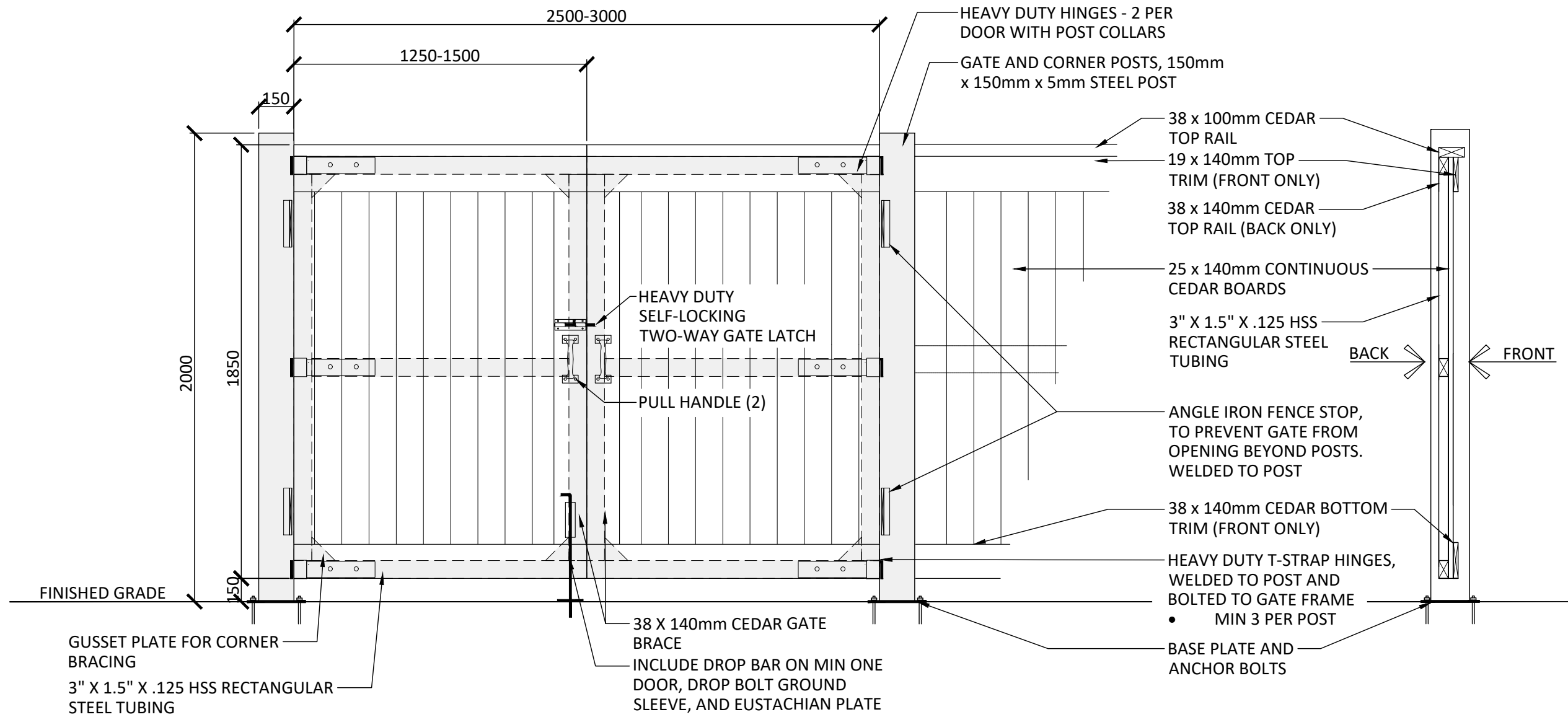
L2.0

PLAN N° XXXXX

CITY FILE N° DXX-XX-XX-XXXX



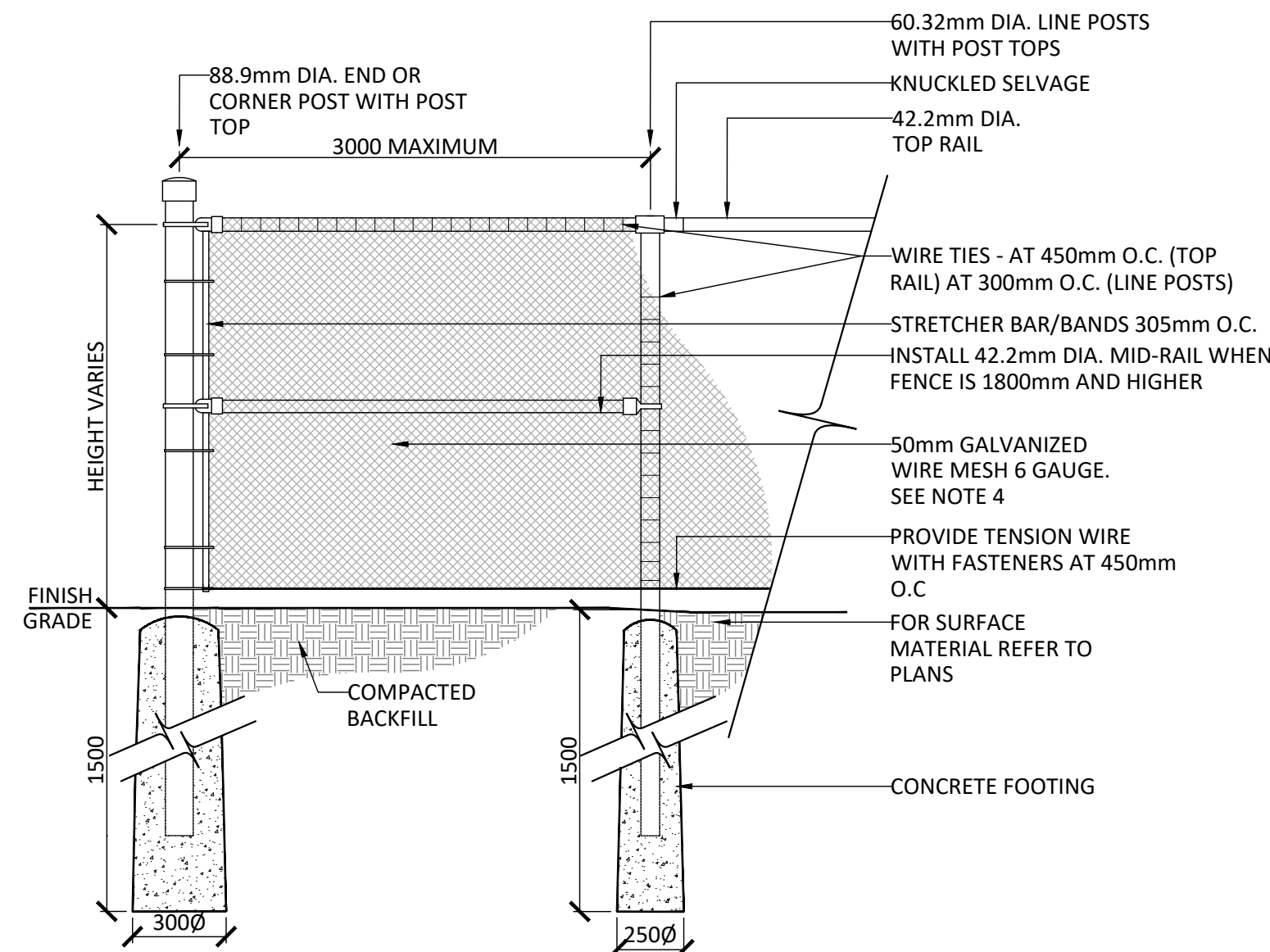
- NOTES:
- ALL WOOD COMPONENTS SHALL BE NO.1 CONSTRUCTION GRADE WESTERN RED CEDAR, EXCEPT FOR THE PRESSURE-TREATED SKIRT RAIL.
 - ALL WOOD COMPONENTS SHALL BE TREATED WITH 2 COATS OF STAIN. COLOUR TO BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT.
 - USE GALVANIZED FASTENERS AND HARDWARE THROUGHOUT.



- NOTES:
- ALL WOOD COMPONENTS SHALL BE NO.1 GRADE WESTERN RED CEDAR
 - ALL FASTENERS TO BE HOT-DIPPED GALVANIZED
 - ALL HEAVY DUTY GATE HINGES TO BE WELDED TO $\frac{3}{16}$ \"/>

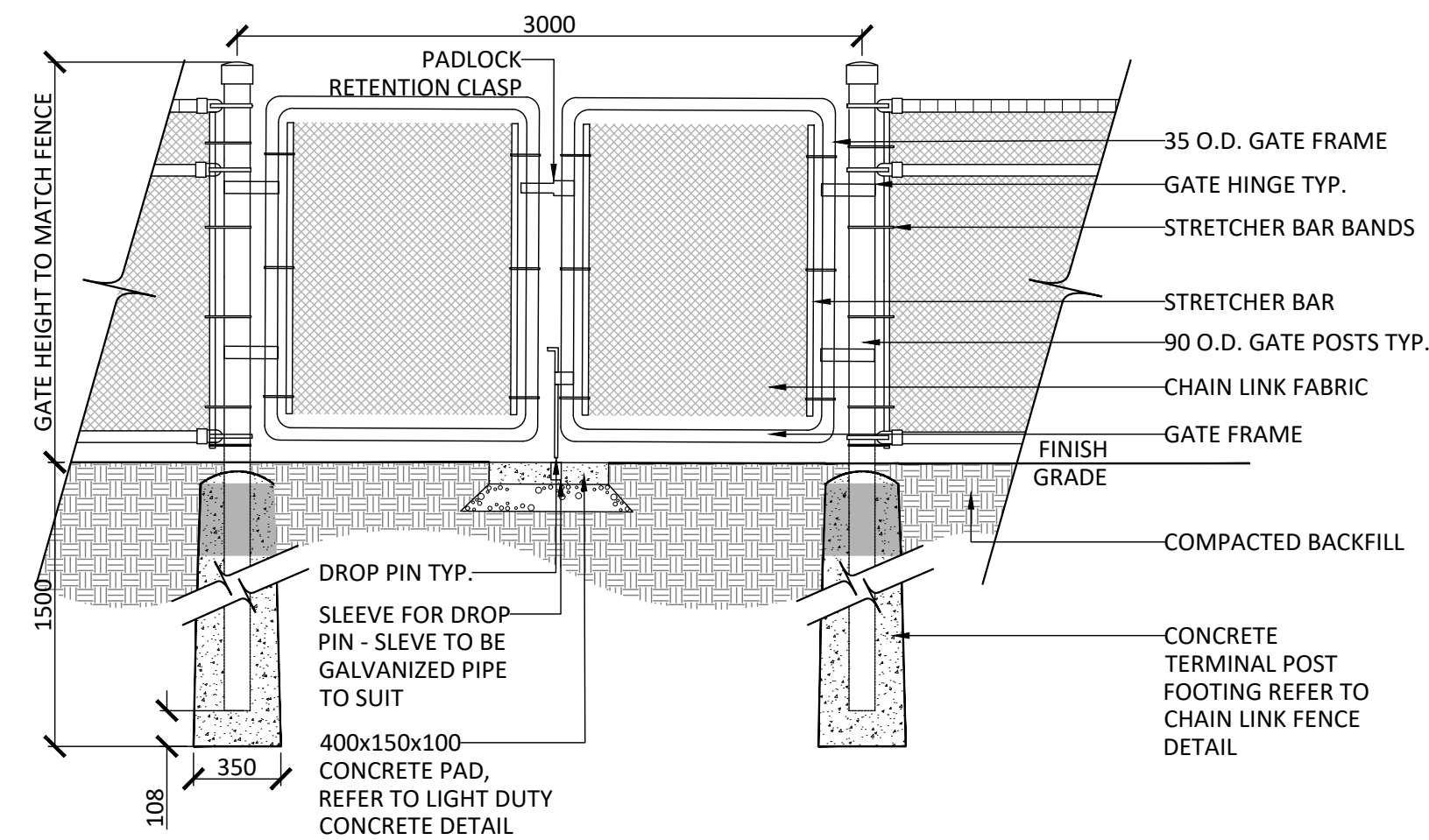
1 PRIVACY FENCE
1:25

2 PRIVACY GATE
1:20



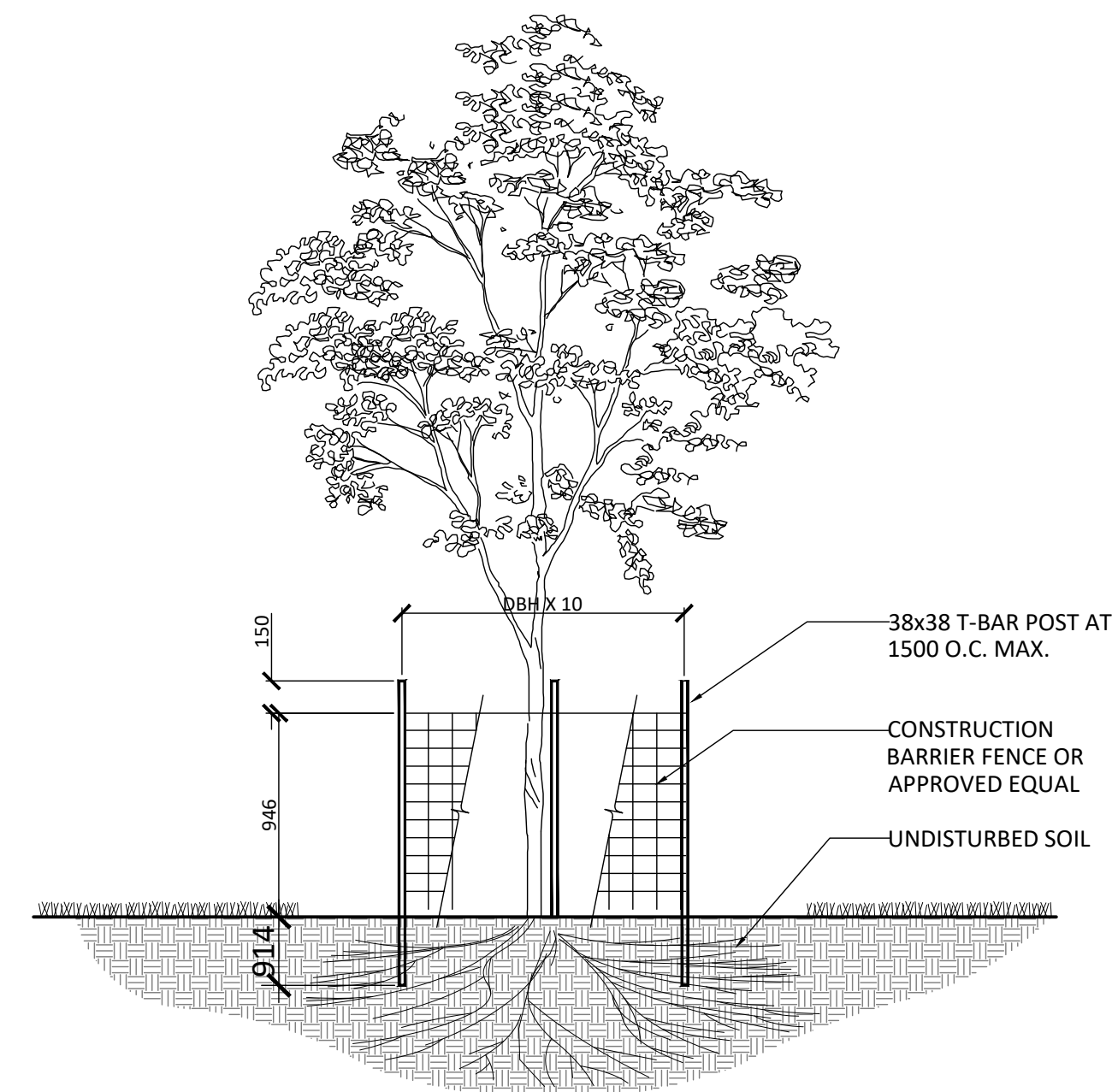
- NOTES:
- IF FENCE IS TO BE BLACK VINYL, THE FENCE SHOULD BE 9 GAUGE GALVANIZED WIRE CORE WITH BLACK VINYL COATING TO PROVIDE A TOTAL OF 6 GAUGE THICKNESS
 - POSTS, RAILS AND ALL OTHER HARDWARE SHOULD BE ELECTROSTATIC PAINTED
 - CONCRETE FOOTING SHALL BE CSA 30MPa CLASS F-1

3 CHAIN LINK FENCE
1:20



- NOTES:
- GATE FRAMES SHALL BE CONSTRUCTED OF 33 O.D. GALVANIZED STEEL PIPE, SHOP BENT, WELDED, AND GROUND SMOOTH.
 - STRETCHER BARS TO BE 5x19 MINIMUM.
 - STRETCHER BARS BANDS 300 O.C., 6x19 MINIMUM.
 - CHAIN LINK FENCE TO BE BLACK VINYL COATED, 38 WOVEN MESH, 6 GAUGE O.D. OF 9 GALVANIZED STEEL CORE FASTENED TO LINE POSTS, TOP RAIL, MID RAIL, INTERMEDIATE RAIL, AND BOTTOM RAIL, AND GATE FRAME WITH 3.4 (9 GAUGE) KNUCKLED FASTENERS.
 - PADLOCK RETENTION CLASPS TO BE INSTALLED.
 - FINISH OF FABRIC AND TIES TO MARCH ADJACENT FENCE.
 - ALL FENCE POSTS, GATE FRAMES, AND RAILS TO BE GALVANIZED SCHEDULE '40' PIPE.
 - NO PLASTIC FITTING OR COMPONENTS ARE TO BE USED.
 - WELD ALL JOINTS

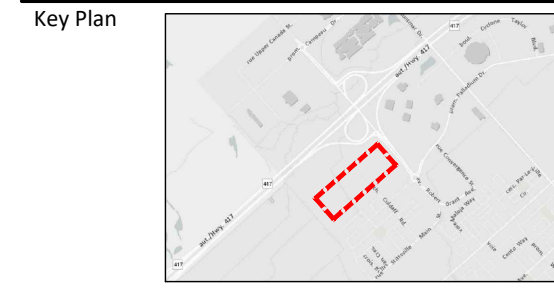
4 CHAIN LINK GATE
1:20



- NOTES:
- THE AREA WITHIN THE CRITICAL ROOT ZONE OF ALL EXISTING TREES SHALL BE PROPERLY PROTECTED WITH TEMPORARY FENCING AS PER THE APPROVED LANDSCAPE PLAN.
 - THE SURVEY SHALL SHOW EXISTING ELEVATION AT BASE OF ALL TREES TO BE PRESERVED AS SHOWN BY "A".
 - THE AREA WITHIN THE PROTECTED FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS OR EQUIPMENT. REMOVE ALL DEBRIS.
 - PRUNE BRANCHES TO REMOVE DAMAGED OR OBJECTIONABLE BRANCHES. DO NOT PRUNE LEADERS.
 - TREE PROTECTION SHALL REMAIN UNTIL SUBSTANTIAL PERFORMANCE OF THE PROJECT.
 - IF CUTTING OF ROOTS OR CHANGING OF GRADES AROUND EXISTING TREES IS CALLED FOR, FOLLOW APPROPRIATE DETAILS AS DIRECTED BY LANDSCAPE ARCHITECT.
 - IF TREES ARE BEING AFFECTED BY CONSTRUCTION, A WATER AND FERTILIZING PROGRAM WILL BE REQUIRED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

5 TREE PROTECTION FENCE
N.T.S.

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



-		
-		
-		
-		
3	Issued for SPA	July 07/26
2	Issued for SPA Draft	June 26/26
1	Issued for Coordination	May 27/26
No.	Description	Date

Revision	
City Approval Stamp	
OWNERSHIP	PALLADIUM RESORT DEVELOPMENT LIMITED PARTNERSHIP 2562 Corp Rd, Ottawa, ON K0A 1L0
ARCHITECT	MICROBIE ARCHITECTS 65 Queen St, Ottawa ON K1P 5G6
TRANSPORTATION	CGH TRANSPORTATION INC. 6 Plaza Court, Ottawa ON, K2H 7W1
CIVIL	ULI ASSOCIATES 5430 Carleton Rd, Ottawa, ON K1J 9G2
LANDSCAPE ARCHITECT	NAK DESIGN STRATEGIES 1285 Wellington St., Ottawa, ON K1Y 3A8

PROPERTY INFORMATION
BLOCK 244, REGISTERED PLAN 4M-1687, CITY OF OTTAWA AND BLOCKS 243 & 251, REGISTERED PLAN 4M-1687, CITY OF OTTAWA



NAK
design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
Project

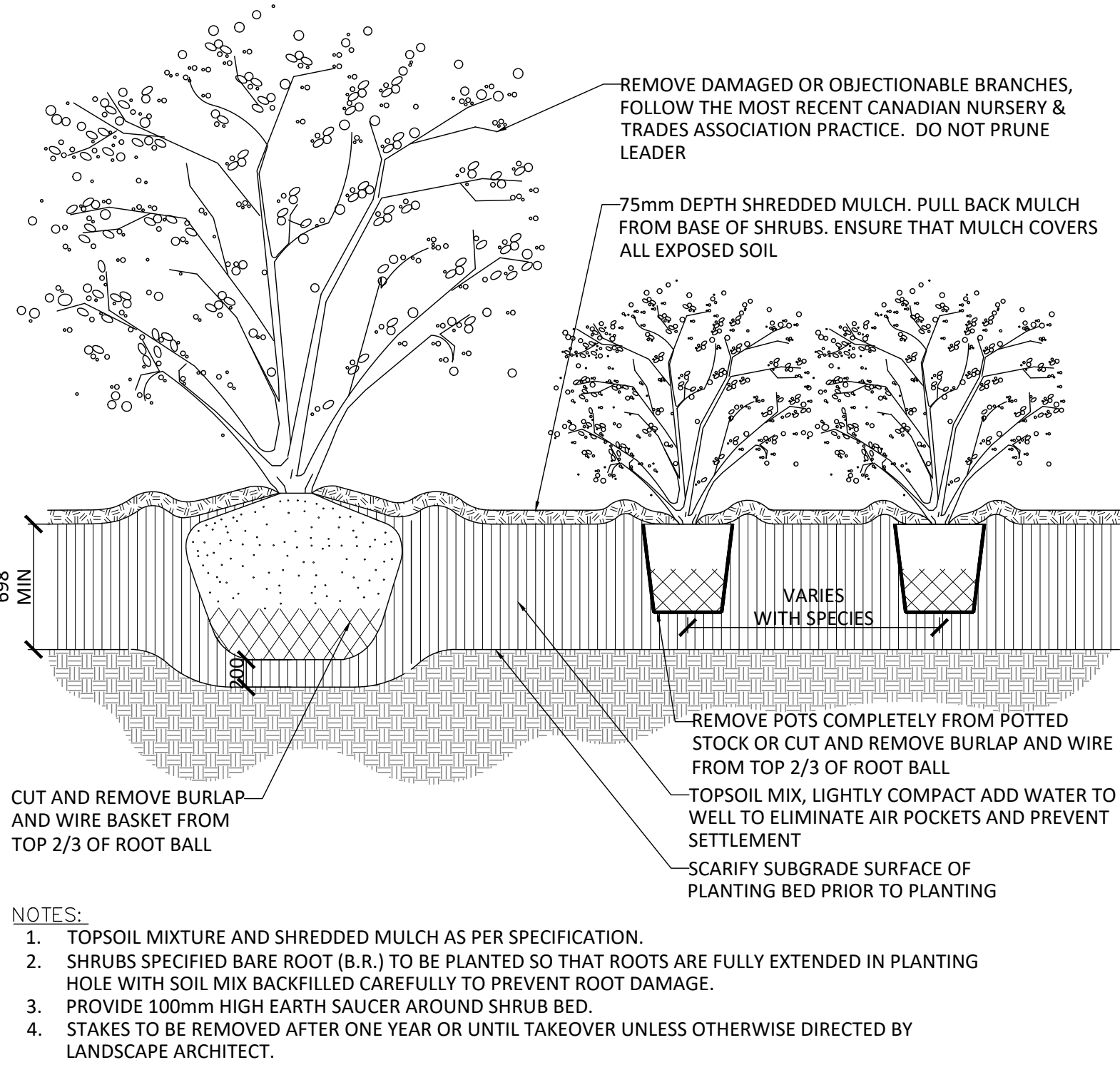
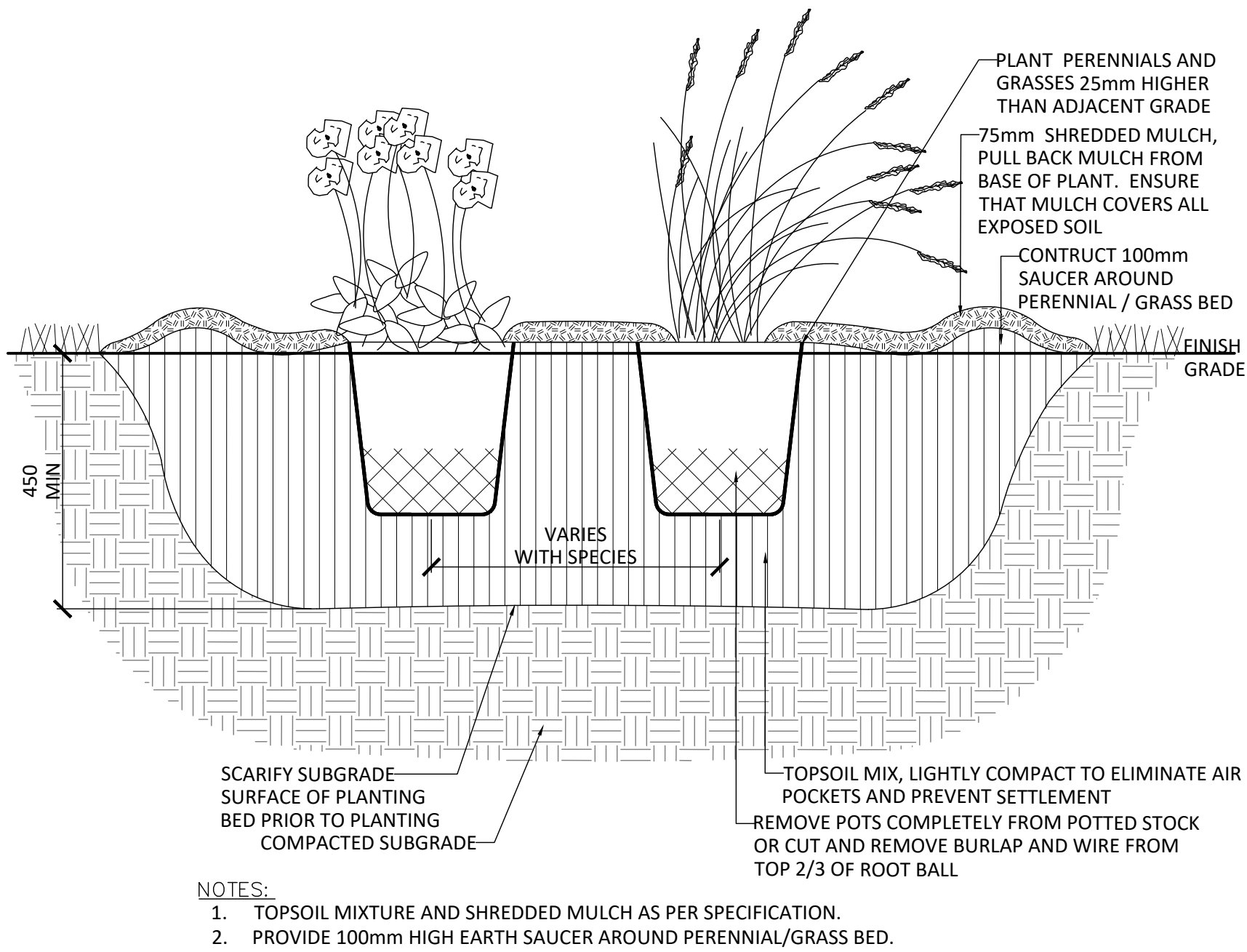
PALLADIUM RESORT DEVELOPMENT
LIMITED PARTNERSHIP
2775 & 2785 PALLADIUM DRIVE
CULDAFF ROAD PARCEL, OTTAWA ON

Title
LANDSCAPE DETAILS

Date	2026-05-21	Sheet
Scale	1:400	L2.1
Drawn	SW	
Checked	MK	
Job No.	25-259	

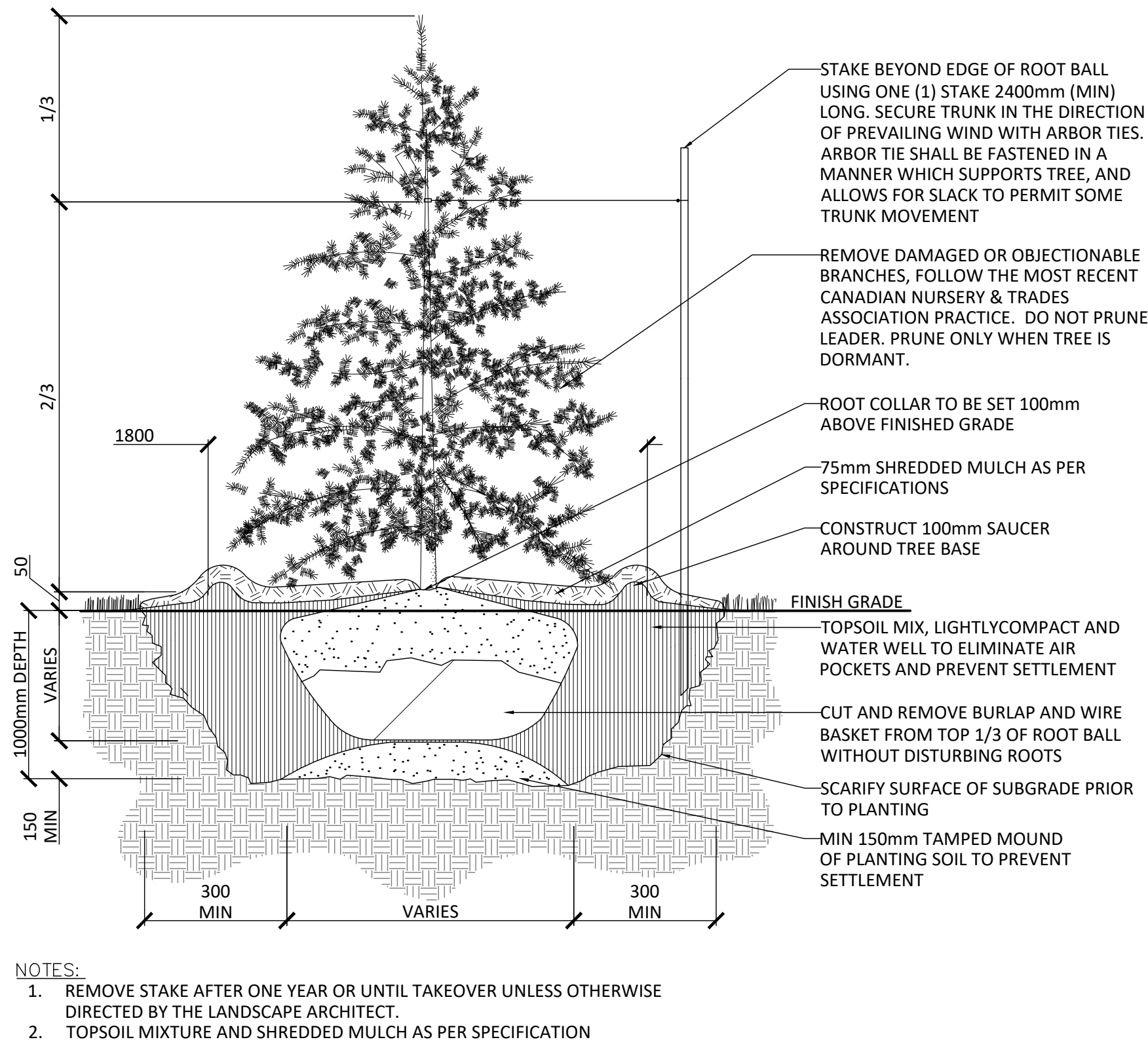
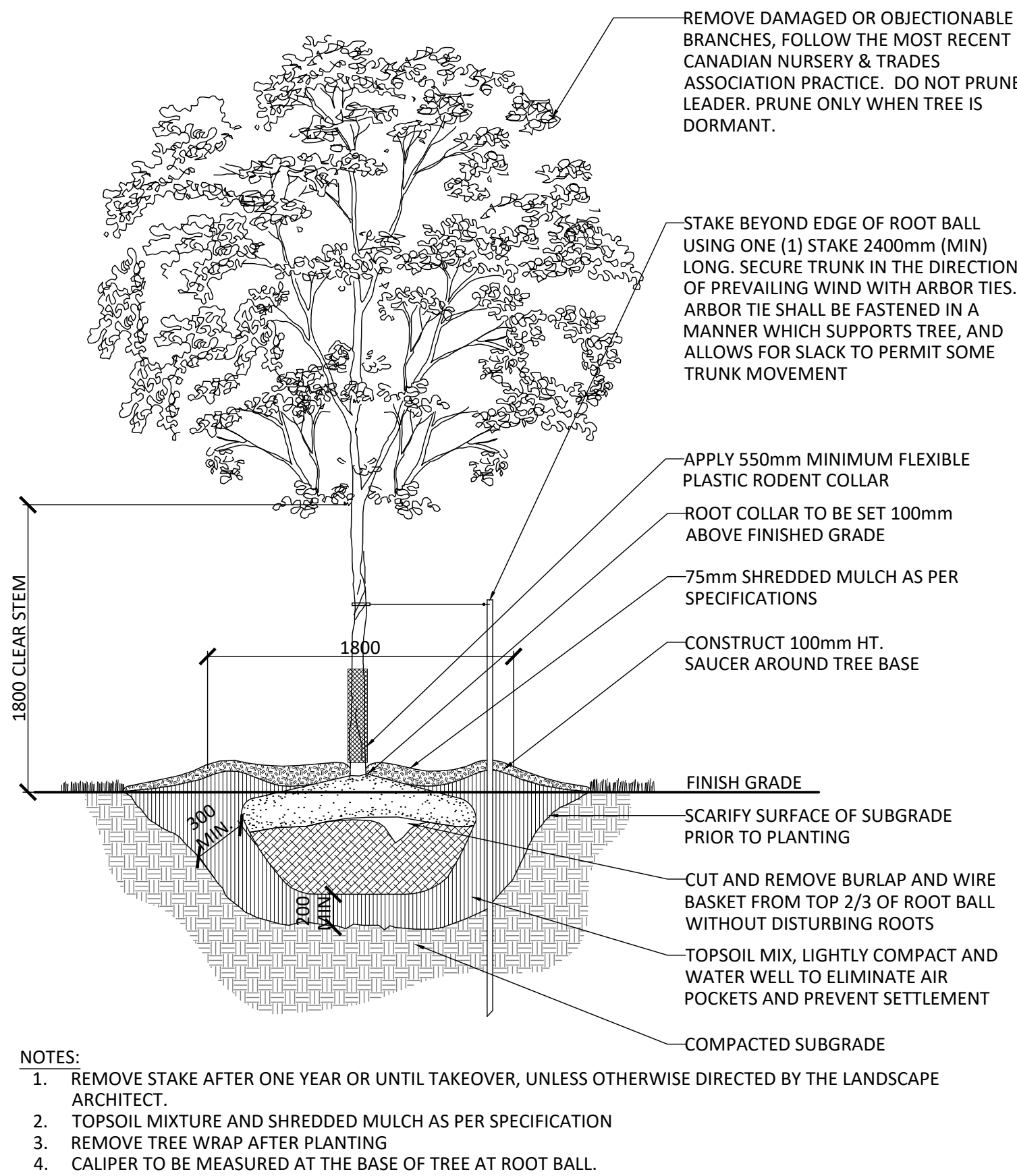
PLAN N° XXXXX

CITY FILE N° DXX-XX-XX-XXXX



1 PERENNIAL PLANTING
N.T.S.

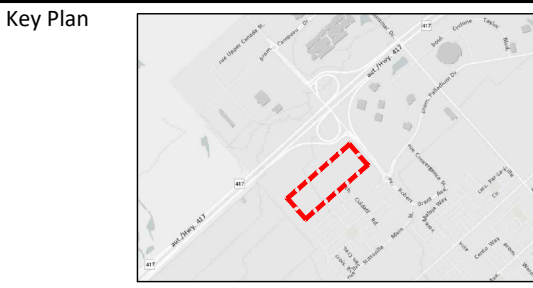
2 SHRUB PLANTING
N.T.S.



3 DECIDUOUS TREE PLANTING
N.T.S.

4 CONIFEROUS TREE PLANTING
N.T.S.

Contractor shall check all dimensions on the work and report any discrepancy to the Landscape Architect before proceeding. All drawings and specifications are the property of the Landscape Architect and must be returned at the completion of the work. This drawing is not to be used for construction until signed by the Landscape Architect.



-		
-		
-		
-		
3	Issued for SPA	July 07/26
2	Issued for SPA Draft	June 26/26
1	Issued for Coordination	May 27/26
No.	Description	Date

Revision	
City Approval Stamp	
OWNERSHIP	PALLADIUM RESORT DEVELOPMENT LIMITED PARTNERSHIP 2562 Corp Rd, Ottawa, ON K0A 1L0
ARCHITECT	MICROBIE ARCHITECTS 66 Queen St, Ottawa ON K1P 5G6
TRANSPORTATION	CGH TRANSPORTATION INC. 6 Plaza Court, Ottawa ON, K2H 7W1
CIVIL	URL ASSOCIATES 5430 Carleton Rd, Ottawa, ON K1J 9G2
LANDSCAPE ARCHITECT	NAK DESIGN STRATEGIES 1285 Wellington St., Ottawa, ON K1Y 3A8

PROPERTY INFORMATION
BLOCK 244, REGISTERED PLAN 4M-1687, CITY OF OTTAWA AND BLOCKS 243 & 251,
REGISTERED PLAN 4M-1687, CITY OF OTTAWA



NAK
design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
NAKDESIGNSTRATEGIES.COM

PALLADIUM RESORT DEVELOPMENT
LIMITED PARTNERSHIP
2775 & 2785 PALLADIUM DRIVE
CULDAFF ROAD PARCEL, OTTAWA ON

Title
LANDSCAPE DETAILS

Date	2026-05-21	Sheet
Scale	1:400	
Drawn	SW	
Checked	MK	
Job No.	25-259	

L2.2

PLAN N° XXXXX

CITY FILE N° DXX-XX-XX-XXXX