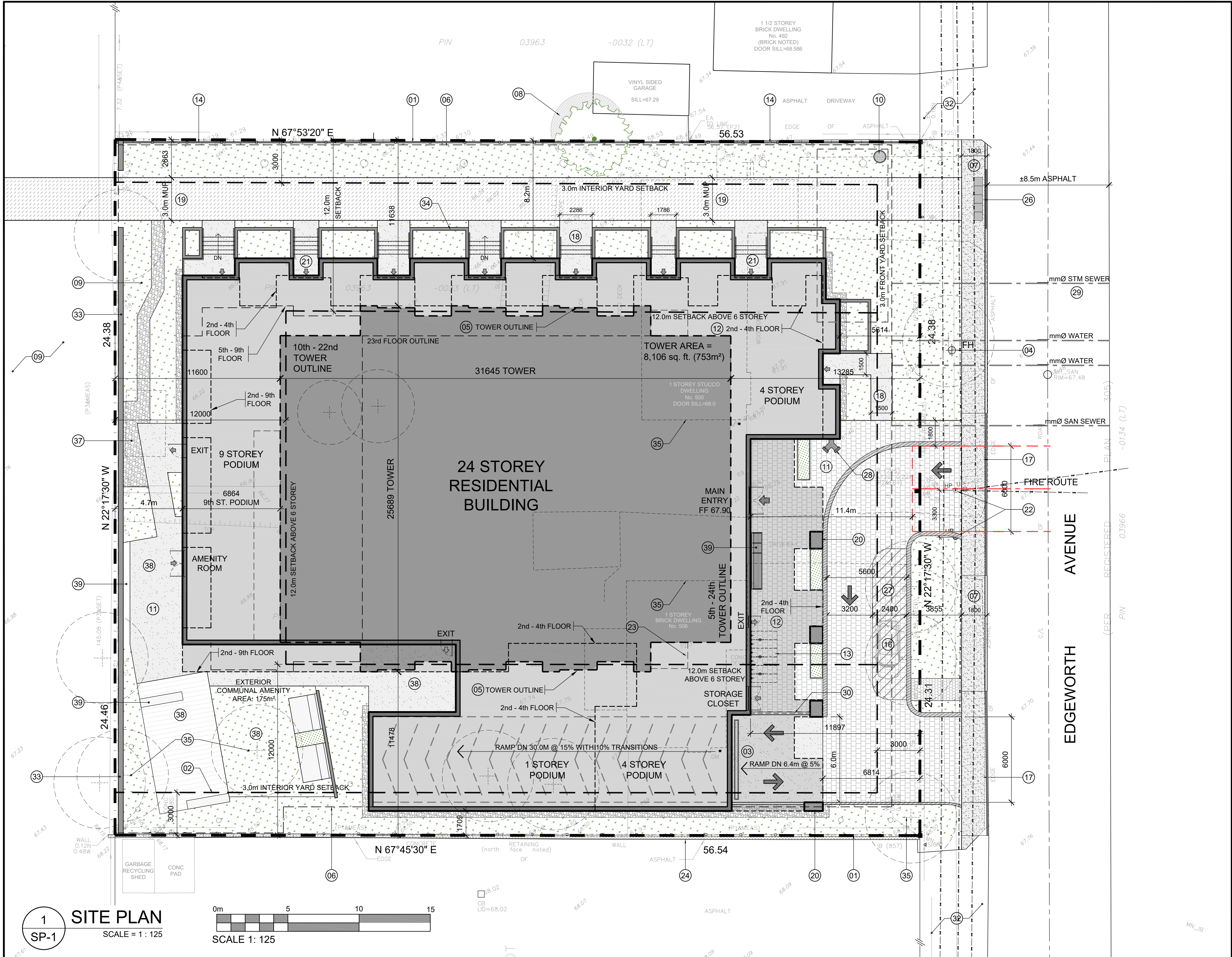
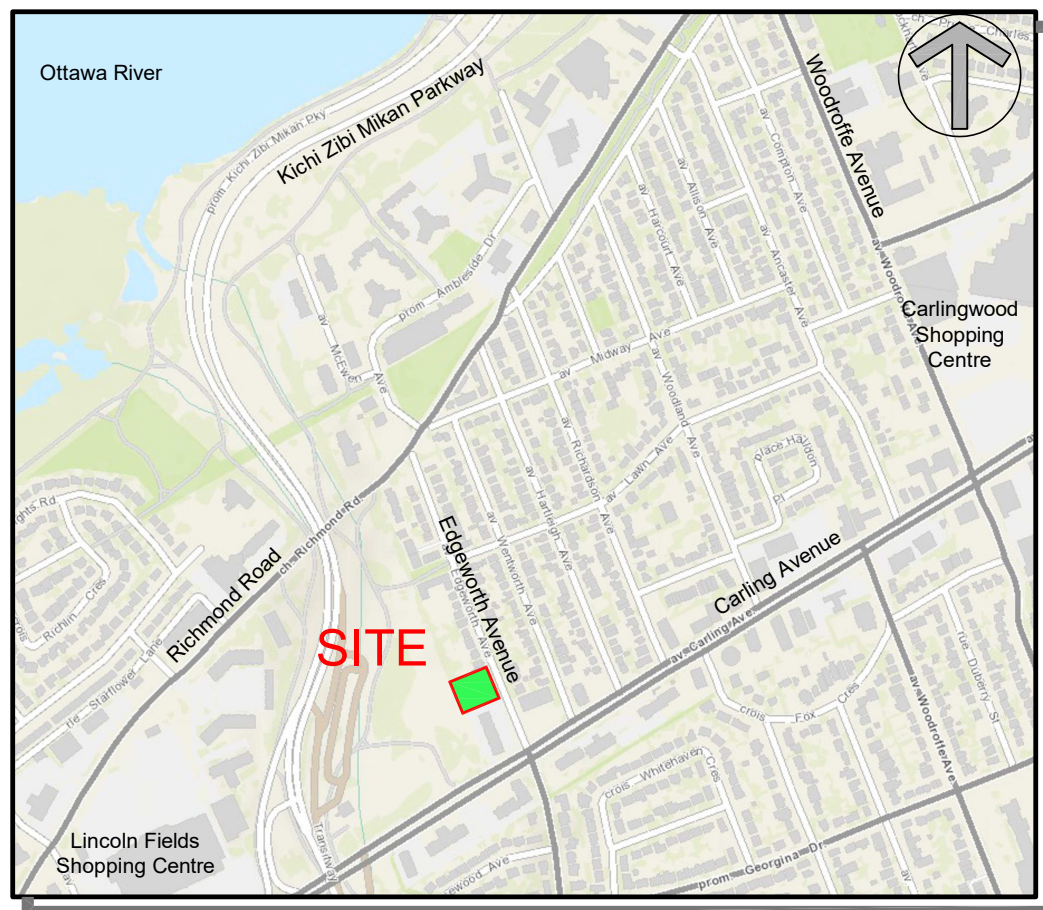




1 SITE PLAN
SCALE = 1 : 125



KEY MAP

LEGAL DESCRIPTION
SURVEYOR'S REAL PROPERTY REPORT
WITH TOPOGRAPHIC DETAILS

PART 1 - PLAN SHOWING
PART OF LOTS 108 AND 109
REGISTERED PLAN 305
CITY OF OTTAWA

SURVEYOR
J D BARNES Ltd.
Ontario Land Surveyors
62 Steacie Drive, Suite 103,
Kanata, Ontario K2K 2A9
Tel: (613) 731-7244
Fax: (613) 254-8659
Email: jdbarnes.com

WIND / SOUND ENGINEER
Gradient Wind
127 Walgreen Road,
Ottawa, ON, Canada K0A 1L0
Tel: (613) 836-0934 ext. 116
Cell: (613) 266-5273
E-Mail: joshua.foster@gradientwind.com
E-Mail: teodora.maslenkova@gradientwind.com

TRANSPORTATION ENGINEER
Novatech Eng. Consultants Limited
200 - 240 Michael Cowpland Drive
Ottawa, Ontario, K2M 1P6
Tel: (613) 254-9643
Fax: (613) 254-5867
Email: j.luong@novatech-eng.com

GEOTECHNICAL ENGINEER
EXP
2650 Queensview Drive, Suite 100
Ottawa, Ontario K2B 8H6
Tel: 613 688-1899
Email: chris.kimmerly@exp.com
Email: Leah.wells@exp.com

LANDSCAPE ARCHITECT
FoTenn Consultants Inc.
420 O'Connor Street,
Ottawa ON K2P 0P4
Tel.: (613) 730-5709
Fax: (613) 730-1136
E-Mail: mitchell@fotenn.com
E-Mail: fountain@fotenn.com

CIVIL ENGINEER
Novatech Eng. Consultants Limited
200 - 240 Michael Cowpland Drive
Ottawa, Ontario, K2M 1P6
Tel: 613 254-9643
Fax: 613 254-5867
Email: m.bissett@novatech-eng.com

PROJECT DEVELOPER
Antilia Homes
326 Churchill Ave N,
Ottawa ON K1Z 5B9
Tel: 613-518-6488
Cell: 613-261-3708
Email: ravi@antiliahomes.com

PROJECT INFORMATION																																																																																																																																																																																																																																																																																																																																																				
Zoning By-law 2008-250 Consolidation	R2F	SITE AREA	0.27 ha, 2,756.6 sq. m, 29,872 sq. ft.																																																																																																																																																																																																																																																																																																																																																	
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BUILDING HEIGHT	NOT NOTED	24 STOREYS / 77.0m																																																																																																																																																																																																																																																																																																																																																		
GRADE: PRELIMINARY ESTIMATE	67.50m ASL	67.00m ASL																																																																																																																																																																																																																																																																																																																																																		
DENSITY - GFA	n/a	6.1																																																																																																																																																																																																																																																																																																																																																		
FRONT YARD SETBACK	3.0m	14.8m																																																																																																																																																																																																																																																																																																																																																		
FRONT YARD SETBACK: 2nd to 7th FLOOR SETBACK	+2.5m	14.8m																																																																																																																																																																																																																																																																																																																																																		
INTERIOR YARD SETBACK: ABUTTING RESIDENTIAL ZONE	3.0m	1.0m																																																																																																																																																																																																																																																																																																																																																		
INTERIOR YARD SETBACK: ABOVE THE 6th STOREY	12.0m	1.0m																																																																																																																																																																																																																																																																																																																																																		
REAR YARD SETBACK: ABOVE THE 6th STOREY	12.0m	4.7m																																																																																																																																																																																																																																																																																																																																																		
REAR YARD SETBACK: ABOVE THE 9th STOREY	12.0m	11.6m																																																																																																																																																																																																																																																																																																																																																		
AMENITY AREA - TOTAL 6.0m² PER UNIT	1,572.0m²	1,900.0m²																																																																																																																																																																																																																																																																																																																																																		
AMENITY AREA - 50% COMMUNAL PER UNIT	786.0m²	900.0m²																																																																																																																																																																																																																																																																																																																																																		
AMENITY AREA - 2% OF LOT AREA @ GRADE EXTERIOR	55.1m²	175.0m²																																																																																																																																																																																																																																																																																																																																																		
VEHICLE PARKING: RESIDENTIAL - 0.5 PER UNIT AFTER 12	125	98																																																																																																																																																																																																																																																																																																																																																		
VEHICLE PARKING: VISITOR - 0.1 PER UNIT AFTER 12	25	25																																																																																																																																																																																																																																																																																																																																																		
VEHICLE PARKING: MAXIMUM - 1.75 PER UNIT	459	123																																																																																																																																																																																																																																																																																																																																																		
BICYCLE PARKING: RESIDENTIAL - 0.5 PER UNIT	131	210																																																																																																																																																																																																																																																																																																																																																		
ASILE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m	5.4m																																																																																																																																																																																																																																																																																																																																																		
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1 PROPERTY LINE 2 BUILDING SETBACK LINES 3 INTERNAL RAMP TO UIC GARAGE WITH TRENCH DRAIN 4 FIRE HYDRANT 5 OUTLINE OF TOWER ABOVE 6 OUTLINE OF PARKING GARAGE 7 1.8m WIDE CONCRETE SIDEWALK WITH 150mm HT. CONCRETE BARRIER CURB 8 EXISTING TREE TO REMAIN, PROTECT AS REQUIRED 9 SOFT LANDSCAPING, SEE LANDSCAPE PLAN 10 BELOW GRADE CISTERN IN PARKING GARAGE WITH OVERFLOW / ACCESS MH. 11 UNIT PAVEMENT PEDESTRIAN SURFACE 12 OUTLINE OF PODIUM LEVELS ABOVE 13 BICYCLE RACK, SEE LANDSCAPING 14 2.1m HT. 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