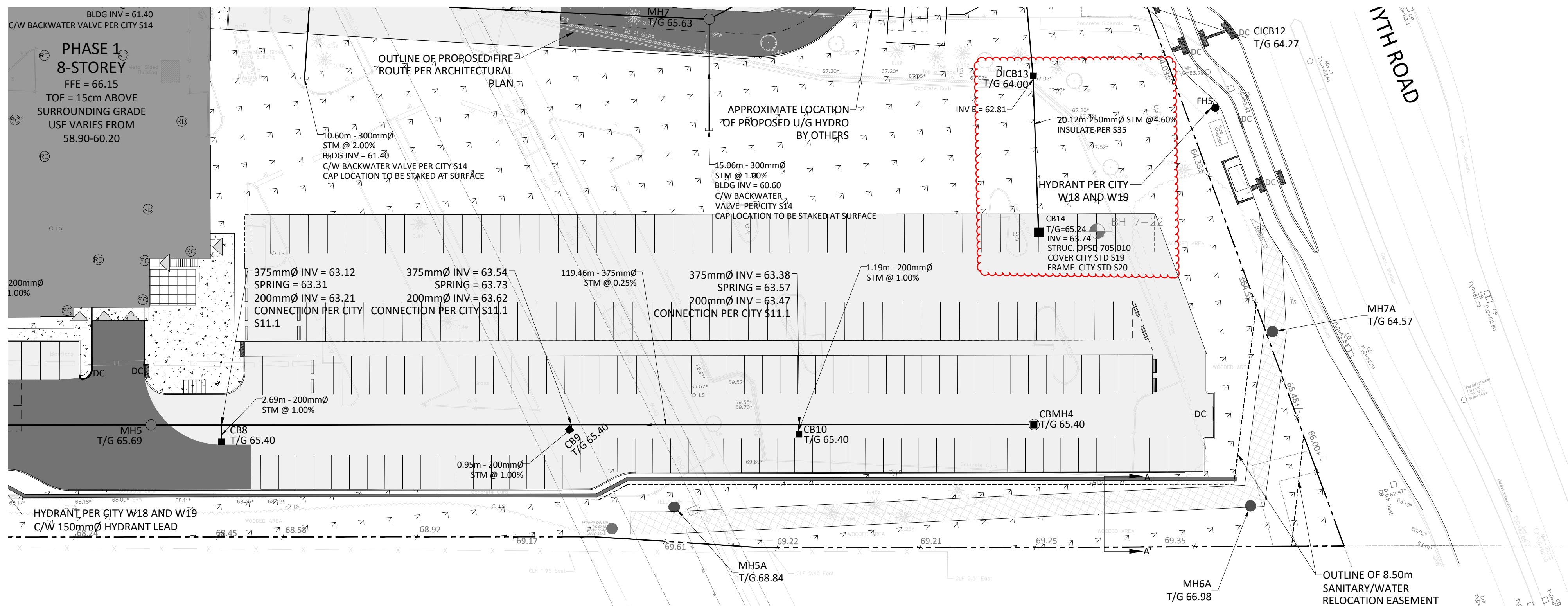




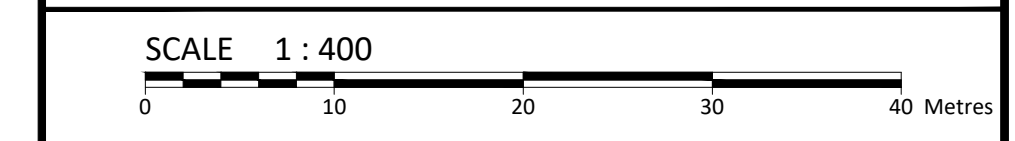
1. THE ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION SHOWN.
2. THIS PLAN IS NOT A CADASTRAL SURVEY SHOWING LEGAL PROPERTY BOUNDARIES AND EASEMENTS. THE PROPERTY BOUNDARY SHOWN HEREON HAVE NOT BEEN DATED NECESSARY SUPPLIES TO THE PROJECT: JONATHAN FARLEY, SMITH & DENNIS SURVEYING LTD. SURVEY PLAN #639-20, DATED NOVEMBER 27, 2020 AND CANNOT BE RELIED UPON TO BE ACCURATE OR COMPLETE. THE PRECISE LOCATION OF THE CURRENT PROPERTY BOUNDARIES AND EASEMENTS CAN ONLY BE DETERMINED BY AN UP-TO-DATE LAND TITLES SEARCH AND A SUBSEQUENT CADASTRAL SURVEY TO BE PERFORMED AND CERTIFIED BY AN ONTARIO LAND SURVEYOR.
3. THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY BEFORE COMMENCING CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION PHASING AND LAYOUT. A PHASING PLAN SHALL BE ESTABLISHED FOR THE PROJECT TO PROTECT THE PROPOSED WATER AND SANITARY SERVICES TO ENSURE CONTINUAL SERVICE FOR THE OFF-SITE FLOWS.
5. THE CONTRACTOR IS TO DETERMINE THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER PROMPTLY.
6. RESTORE ALL TRENCHES AND SURFACES OF PUBLIC ROAD ALLOWANCES TO CONDITION EQUAL OR BETTER THAN ORIGINAL CONDITION AND TO THE SATISFACTION OF THE CITY AUTHORITIES.
7. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE AS DIRECTED BY THE ENGINEER AND THE CITY.
8. TOPSOIL TO BE STRIPPED AND STOCKPILED FOR REHABILITATION. CLEAN FILL TO BE PLACED IN FILL AREAS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS.
11. DO NOT ALTER GRADING OF THE SITE WITHOUT PRIOR APPROVAL OF THE CITY.

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- LOCATION PLAN**

	PROPERTY LINE		CENTRELINE OF SWALE
	BARRIER CURB & CURB DEPRESSION		CENTRELINE OF DITCH
	PROPOSED ASPHALT		SLOPING AT 3:1, UNLESS SPECIFIED
	PROPOSED HEAVY DUTY ASPHALT		PROPOSED ELEVATION EXISTING ELEVATION
	CONCRETE WALKWAY		95.94 93.20
	STORM MANHOLE		95.94 100.50
	CATCH-BASIN, CURB INLET OR DITCH INLET		100.50 90.50
	LANDSCAPE CATCHBASIN		EMERGENCY OVERLAND FLOW ROUTE
	SANITARY MANHOLE		SILT FENCE BARRIER PER OPOD 215.110
	PERFORATED PIPE		BUILDING ENTRANCE OVERHEAD DOOR
	WATER VALVE/CHAMBER		SIAMSESE CONNECTION
	PROPOSED FIRE HYDRANT PER CITY M&W10		SILT PROTECTIVE DEVICE PER DETAIL
	WATER WELL LOCATION		CONSTRUCTION MUD MAT
	PROPOSED BOLLARD		TWS1 PER CITY SC7.3
	PROPOSED WALL		REINFORCED GRASS SERVICE ROAD. REFER TO DETAIL ON C201
	ROOF DRAIN AND SCUPPER LOCATION		

1	ISSUED FOR CCN 016	MAY 13, 2025
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work	Do not scale drawings
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	Stamp:
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Client: **RBJ SCHLEGEL HOLDINGS**
325 MAX BECKER DRIVE SUITE 201
KITCHENER, ON N2E 4H5

Project:

SCHLEGEL VILLAGES OTTAWA
100 SMYTH ROAD
(FORMERLY 1919, 1967 RIVERSIDE DRIVE)

Drawing Title:	
TEMPORARY PARKING LOT GRADING AND SERVICING PLAN	

Scale:	1:400	Project Number:	CCO-21-2955
Drawn By:	R.R.R.		
Checked By:	R.D.F.	Drawing Number:	C301-3
Designed By:	R.R.R.		