

# GLADSTONE AND LORETTA - RESIDENTIAL TOWER

## ARCHITECTURAL DRAWING PACKAGE

### ARCHITECT

**Linebox Studio Inc.**  
 Address: 116 Edgar Street, Suite 110, Ottawa, ON, K2P 0C2  
 Tel: 613.251.2609  
 Architect: Andrew Reeves  
 Point of Contact: Josée Anne Provost

### STRUCTURAL ENGINEERS

**Cunliffe & Associates Inc.**  
 Address: 200, 1550 Carling Ave 2nd Floor, Ottawa, ON K1Z 3B8  
 Tel: 416.255.3337  
 Engineer: Brad Armstrong  
 Point of Contact: Paul Dolan

### MEP ENGINEERS

**GWAL | Goodkey, Weedmark & Associates Ltd.**  
 Address: 1688 Woodward Dr, Ottawa, ON K2C 3R8  
 Tel: 613.727.5113  
 Mechanical: Mark Satooh  
 Electrical: Divyankant (Raj) Vyas

### CIVIL ENGINEERS

**WSP**  
 Address: 2611 Queensview Drive 200, 300, 400  
 Ottawa, ON K2B 4B7  
 Tel: 613.829.2800  
 Engineer: Michael Flowers  
 Point of Contact: Jared Delpelaro

### LANDSCAPE ARCHITECT

**CSW Landscape Architects Limited.**  
 Address: 319 McEwan Avenue, Ottawa, ON K1Z 0B9  
 Tel: 613.729.4336  
 Architect & Point of Contact: Christian Matteau

### CLIENT

**CLV Group Development**  
 Address: 485 Bank St. #200, Ottawa, ON K2P 1Z2  
 Tel: 905.691.5266  
 Point of Contact: Jenn Morrison

### BUILDER

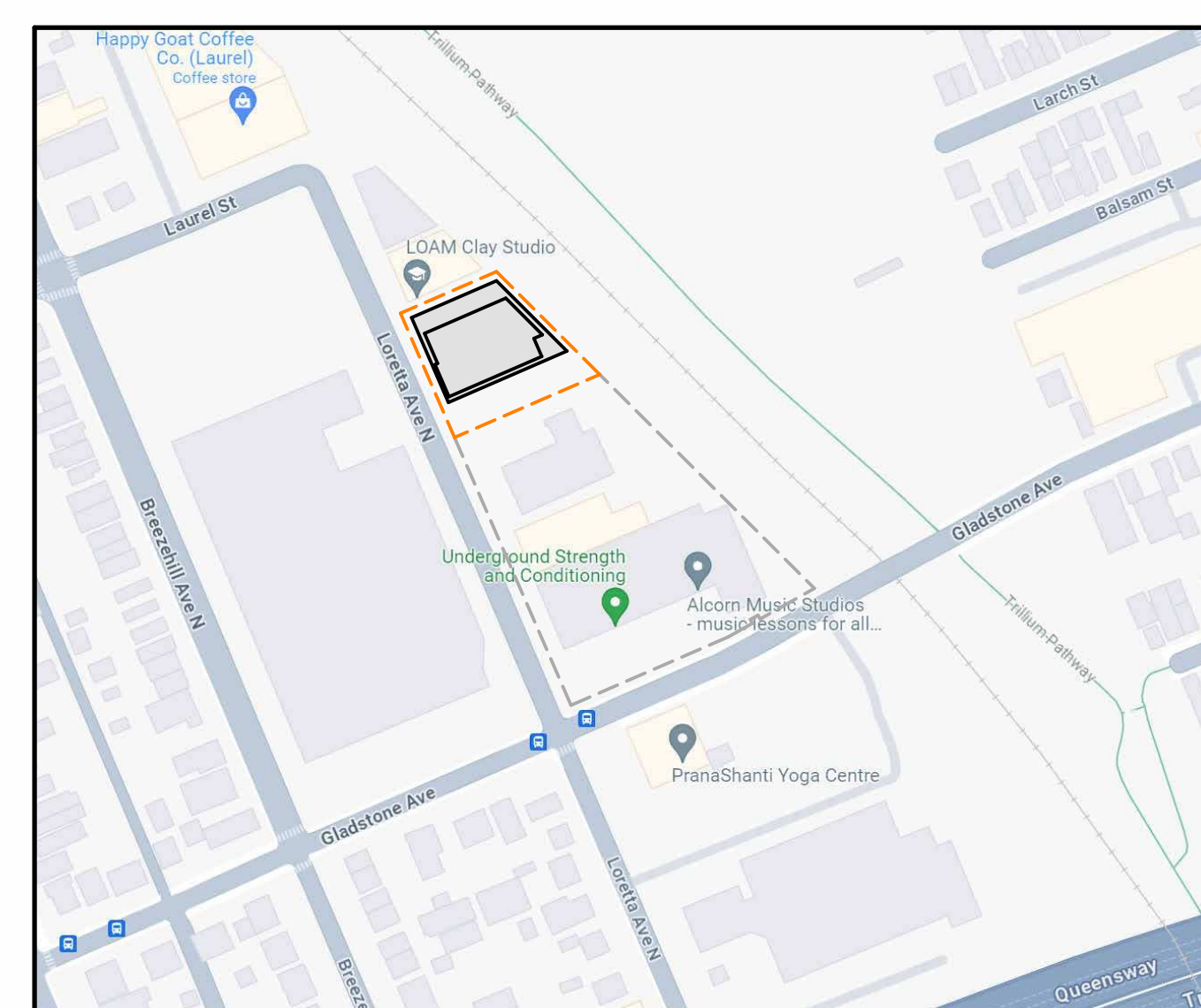
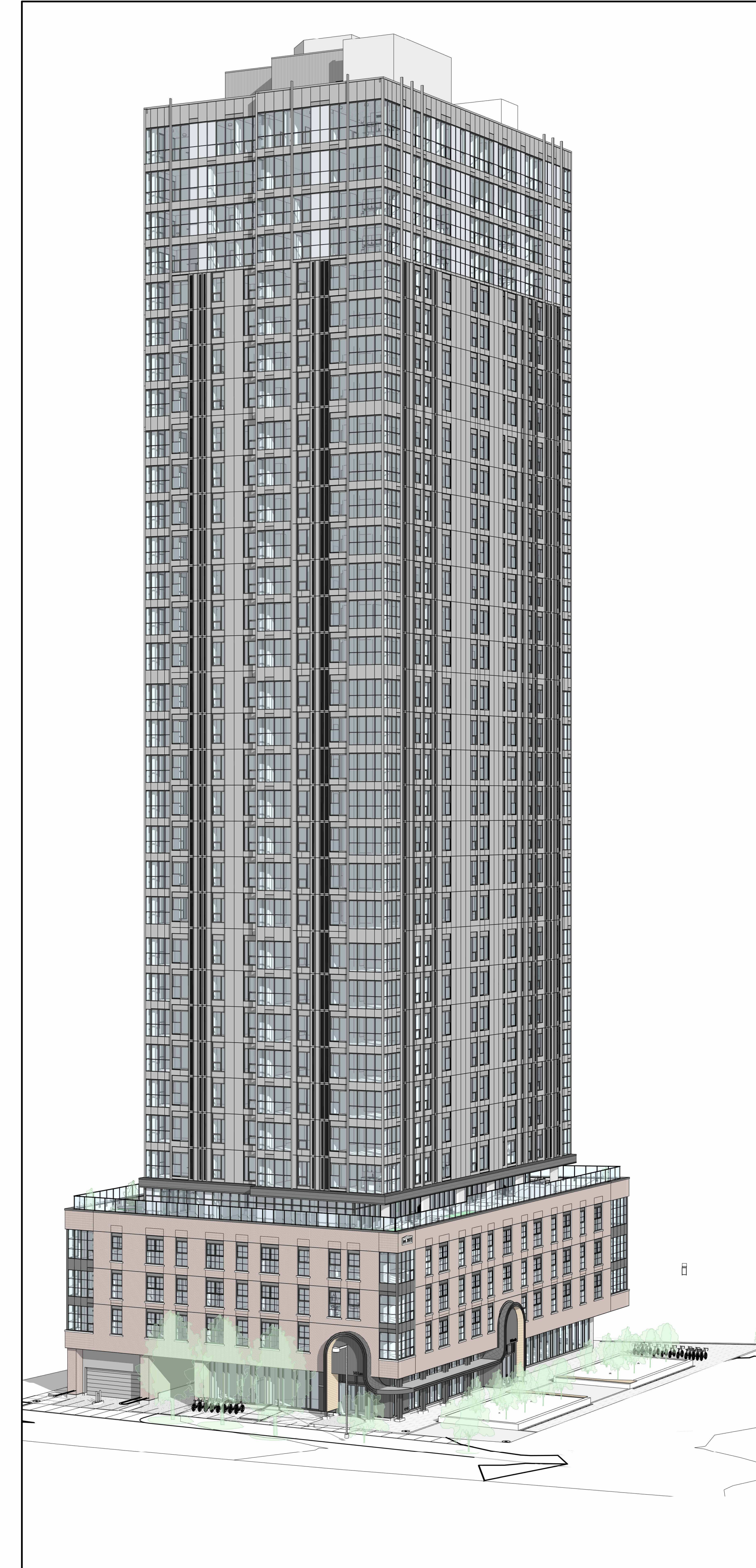
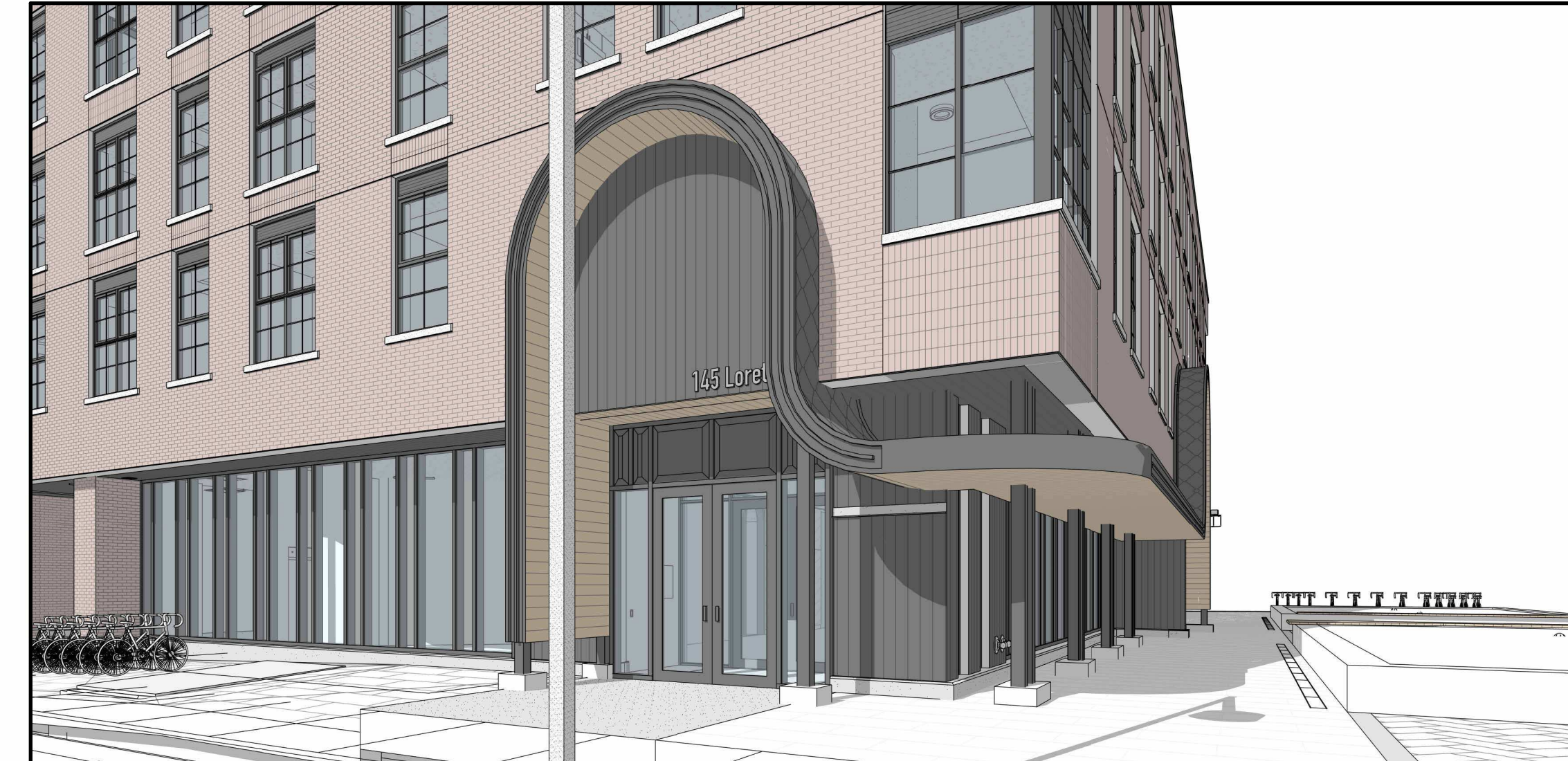
**P&C Development & Construction Management Group Inc.**  
 Address: 200-485 Bank St., Ottawa, ON K2P 1Z2  
 Tel: 613.739.1327 x226  
 Point of Contact: Maria Martinez

### PROJECT MAILING ADDRESS

145 Loretta Ave N,  
 Ottawa, ON  
 K1T 4W5

### ARCHITECTURAL DRAWING LIST

DWG NO.	DRAWING TITLE	REV. DATE
AD-GENERAL		
AD-000	COVER SHEET	26-05-04
A1-SITE		
A1-100	MASTER PLAN (PHASE 1)	26-05-04
A1-1000	MASTER SITE PLAN	26-05-04
A1-103	SITE SECTIONS	26-05-04
A2-FLOOR PLANS		
A2-098	FLOOR PLAN - P3 (FOUNDATION PLAN)	26-05-04
A2-099	FLOOR PLAN - P2	26-05-04
A2-100	FLOOR PLAN - P1	26-05-04
A2-101	FLOOR PLAN - LEVEL 01	26-05-04
A2-102	FLOOR PLAN - LEVEL 02 (PODIUM)	26-05-04
A2-103	FLOOR PLAN - LEVEL 03 (PODIUM)	26-05-04
A2-104	FLOOR PLAN - LEVEL 04 (PODIUM)	26-05-04
A2-105	FLOOR PLAN - LEVEL 05 (PODIUM ROOF AVENUE)	26-05-04
A2-106	FLOOR PLAN - LEVEL 06 - 30 (TYPICAL TOWER)	26-05-04
A2-131	FLOOR PLAN - LEVEL 31 - 33 (TYPICAL PENTHOUSE)	26-05-04
A2-132	FLOOR PLAN - LEVEL 33 (MECHANICAL PENTHOUSE)	26-05-04
A2-136	ROOF PLAN	26-05-04
AS-ELEVATIONS		
AS-100	BUILDING ELEVATIONS - WEST AND SOUTH	26-05-04
AS-101	BUILDING ELEVATIONS - EAST AND NORTH	26-05-04



SITE MAP -PHASE 1



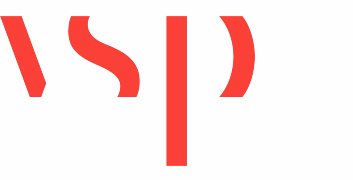
Client



structural engineers | Ingénieurs structurels



electrical engineers | Ingénieur électrique  
 mechanical engineer | Ingénieur mécanique



civil engineers | Ingénieur civil



landscape architect | architecte paysagiste

32	ISSUED FOR SPA REVISION	26-05-04
30	ISSUED FOR C.M. RFP	26-02-26
29	ISSUED FOR REVIEW	25-12-06
28	ISSUED FOR EXCAVATION & WINDOW	25-10-24
27	WALL FINISHING	25-09-19
26	ISSUED FOR ENVELOPE & INTERIOR	25-09-19
25	OFFSHORE ASSEMBLY TENDER	25-08-30
24	ISSUED FOR SHORING & INTERIOR	25-08-30
23	CUSTOM ASSEMBLY TENDER	25-08-16
19	ISSUED FOR REFERENCE - STRUCTURAL	25-06-16
18	WALL FINISHING	25-06-16
18	ISSUED FOR A&S W/D & CLIENT BUDGETING	25-03-28
14	RE-ISSUED FOR SPA	25-03-31
12	ISSUED FOR SHORING & EXCAV. IFT	24-12-19
11	ISSUED FOR ELEVATOR TENDER	24-12-02
10	ISSUED FOR SHORING & EXCAV. FF&RT	24-11-05
9	ISSUED FOR SPA	24-11-20
8	REVISED 3DS WORKING DRAWINGS	24-08-19
4	ISSUED FOR 3DS WORKING DRAWINGS	24-08-12
2	RE-ISSUED FOR CLASS 17 ESTIMATE	24-05-13
1	ISSUED FOR CLASS 17 ESTIMATE	24-05-17

no. revisions 0/06

stamp | timbre



architect | architecte



All dimensions are shown in metric.  
 Contractor shall check and verify all dimensions and report all error and omissions to the Architect.  
 Do not scale the drawings.  
 Not for construction until signed by the Architect.

project title | titre du projet

**GLADSTONE AND LORETTA  
 RESIDENTIAL TOWER**

145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin

**COVER SHEET**

project number | numéro du projet 2402

drawn | dessiné JH / DL / PC / JP

checked | vérifié JP / AR

scale | échelle 1 : 1000

date | date 02/16/24

drawing number | numéro du dessin

**A0-000**

**SURVEY INFORMATION TAKEN FROM:**  
 SURVEYOR'S REAL PROPERTY REPORT  
 PART OF LOT 1 & LOTS 2 & 3  
 (WEST CHAMPAGNE AVENUE)  
 BLOCK C AND  
 LOTS 1, 2 & 3 (EAST LORETTA AVENUE)  
 BLOCK C AND  
 LOTS 4, 5, 6, 7 & 8  
 BLOCK C AND  
 PART OF CHAMPAGNE STREET  
 (CLOSED BY BY-LAW 4863)  
 REGISTERED PLAN 73  
 CITY OF OTTAWA  
 STANTEC GEOMATICS LTD. 2017  
**SITE STATISTICS**  
 SITE AREA: 10,012m<sup>2</sup> / 2.47 ac  
 RESIDENTIAL UNIT COUNT:  
 TOWER A = 402  
 TOWER B = 304  
 TOWER C = 332  
 TOTAL = 1038

MCP[XXXX] YYYY-h	Requirement	Proposed
Minimum Lot Area (m <sup>2</sup> )	No minimum	Complies
Minimum Front Yard Setback (m)	5 metres, aside from Standard Bread Building (See S.YYY)	5m
Minimum Rear Yard Setback (m)	3 metres, (See S.YYY)	3m
Interior Side Yard Setback (m)	2 metres, aside from Standard Bread Building (See S.YYY)	2m
Corner Side Yard Setback (m)	3 metres, (See S.YYY)	3m
Maximum Building Height (m)	6.7 metres, (See S.YYY)	Complies
Maximum Floor Space Index	0m to 132m (See S.YYY)	Complies
Minimum Width of Landscaped Area	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped.	Complies
Minimum Tower Separation	25 metres	Complies
Minimum Tower Podium Stepback Distance	2 metres	2m at Gladstone frontage only

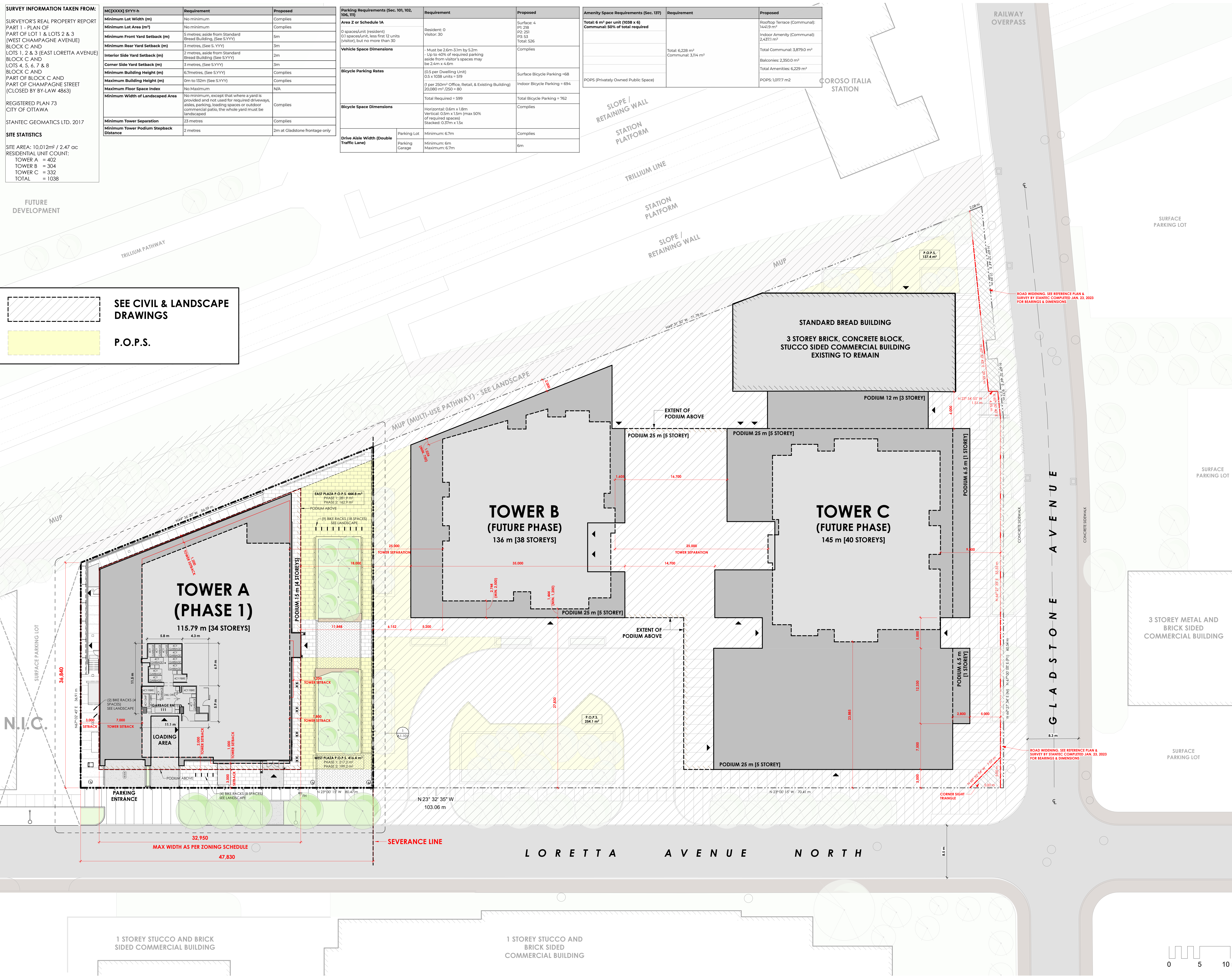
Parking Requirements (Sec. 101, 102, 106, 111)	Requirement	Proposed
Area Z or Schedule 1A	Resident: 0 Visitor: 30	Surface: 4 P: 218 P2: 291 P3: 53 Total: 526
Vehicle Space Dimensions	- Must be 2.6m x 3.1m by 5.2m - Up to 40% of required parking aside from visitor's spaces may be 2.4m x 4.6m	Complies
Bicycle Parking Rates	(0.5 per Dwelling Unit) 0.5 x 1038 units = 519 (1 per 250m <sup>2</sup> Office, Retail, & Existing Building) 20,080 m <sup>2</sup> / 250 = 80 Total Required = 599	Surface Bicycle Parking = 68 Indoor Bicycle Parking = 694 Total Bicycle Parking = 762
Bicycle Space Dimensions	Horizontal: 0.6m x 1.8m Vertical: 0.5m x 1.5m (max 50% of required spaces) Stacked: 0.37m x 1.5x	Complies
Drive Aisle Width (Double Traffic Lane)	Parking Lot Minimum: 6.7m	Complies
	Parking Garage Minimum: 6m Maximum: 6.7m	6m

Amenity Space Requirements (Sec. 137)	Requirement	Proposed
Total: 6 m <sup>2</sup> per unit (1038 x 6) Communal: 50% of total required	Total: 6,228 m <sup>2</sup> Communal: 3,114 m <sup>2</sup>	Rooftop Terrace (Communal): 1441.9 m <sup>2</sup> Indoor Amenity (Communal): 2,437.1 m <sup>2</sup> Total Communal: 3,879.0 m <sup>2</sup> Balconies: 2,350.0 m <sup>2</sup> Total Amenities: 6,229 m <sup>2</sup>
POPS (Privately Owned Public Space)		POPS: 1,077.2 m <sup>2</sup>

FUTURE DEVELOPMENT

SEE CIVIL & LANDSCAPE DRAWINGS

P.O.P.S.



Client



structural engineers | Ingénieurs structurels



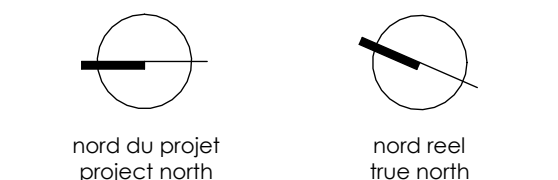
electrical engineers | Ingénieur électrique  
mechanical engineer | Ingénieur mécanique



civil engineers | Ingénieur civil



landscape architect | architecte paysagiste



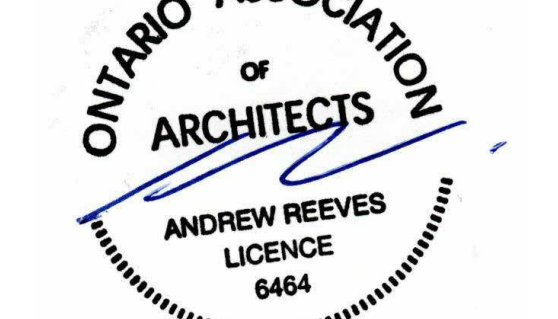
nord du projet  
project north

nord réel  
true north

32. ISSUED FOR SPA REVISION	28-05-04
33. ISSUED FOR REVIEW	25-12-08
34. ISSUED FOR CPA/28A	25-10-15
35. ISSUED FOR CPA/28A	25-03-23
36. ISSUED FOR SPA	25-03-03
37. ISSUED FOR SPA	25-02-28
38. ISSUED FOR SPA	25-02-27
39. ISSUED FOR SPA	25-01-31
40. ISSUED FOR SPA	24-11-20

no. revisions date

stamp | timbre



architect | architecte



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Contractor shall check and verify all dimensions and report all error and omissions to the Architect.  
Do not scale the drawings.  
Not for construction until signed by the Architect.

project title | titre du projet

**GLADSTONE AND LORETTA RESIDENTIAL TOWER**

145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin

**MASTER SITE PLAN**

project number | numéro du projet

drawn | dessiné

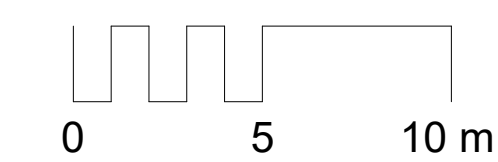
checked | vérifié

scale | échelle

date | date

drawing number | numéro du dessin

**A1-100a**



Andrew Reeves/Goodley & Weedmark/2023/145 Loretta CVL LB Tower A.rvt  
 2023-05-24 11:55:54 AM

**SURVEY INFORMATION TAKEN FROM:**  
 SURVEYOR'S REAL PROPERTY REPORT  
 PART 1 - PLAN OF  
 PART OF LOT 1 & LOTS 2 & 3  
 (WEST CHAMPAGNE AVENUE)  
 BLOCK C AND  
 LOTS 1, 2 & 3 (EAST LORETTA AVENUE)  
 BLOCK C AND  
 LOTS 4, 5, 6, 7 & 8  
 BLOCK C AND  
 PART OF BLOCK C AND  
 PART OF CHAMPAGNE STREET  
 (CLOSED BY BY-LAW 4863)  
 REGISTERED PLAN 73  
 CITY OF OTTAWA  
 STANTEC GEOMATICS LTD. 2017  
**SITE STATISTICS**  
 SITE AREA: 10,012m<sup>2</sup> / 2.47 ac  
 RESIDENTIAL UNIT COUNT:  
 TOWER A = 402  
 TOWER B = 304  
 TOWER C = 332  
 TOTAL = 1038

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

COROSO ITALIA STATION

RAILWAY OVERPASS

SLOPE / RETAINING WALL

STATION PLATFORM

TRILLIUM LINE

STATION PLATFORM

SLOPE / RETAINING WALL

TRILLIUM PATHWAY

SURFACE PARKING LOT



electrical engineers | ingénieur électrique  
 mechanical engineer | ingénieur mécanique



civil engineers | ingénieur civil



landscape architect | architecte paysagiste



nord du projet / project north

nord réel / true north

no. revisions / date

stamp / timbre

30- ISSUED FOR SPA REVISION 26-09-04

29- ISSUED FOR REVIEW 25-12-08

28- RE-ISSUED FOR SPA 25-11-13

21- RE-ISSUED FOR ENVELOPE & INTERIOR 25-06-19

20- COST PLAN AVAILABLE TO CLIENT 25-05-20

19- ISSUED FOR REFERENCE - STRUCTURAL 25-05-16

18- ISSUED FOR SPA REV & CLIENT BUDGETING 25-03-28

17- ISSUED FOR REVIEW 24-08-17

16- ISSUED FOR 3/16 WORKING DRAWINGS 24-08-17

15- ISSUED FOR SPA REVISION 24-08-17

14- ISSUED FOR SPA REVISION 24-08-17

13- ISSUED FOR SPA REVISION 24-08-17

12- ISSUED FOR SPA REVISION 24-08-17

11- ISSUED FOR SPA REVISION 24-08-17

10- ISSUED FOR SPA REVISION 24-08-17

9- ISSUED FOR SPA REVISION 24-08-17

8- ISSUED FOR SPA REVISION 24-08-17

7- ISSUED FOR SPA REVISION 24-08-17

6- ISSUED FOR SPA REVISION 24-08-17

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3- ISSUED FOR SPA REVISION 24-08-17

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1- ISSUED FOR SPA REVISION 24-08-17

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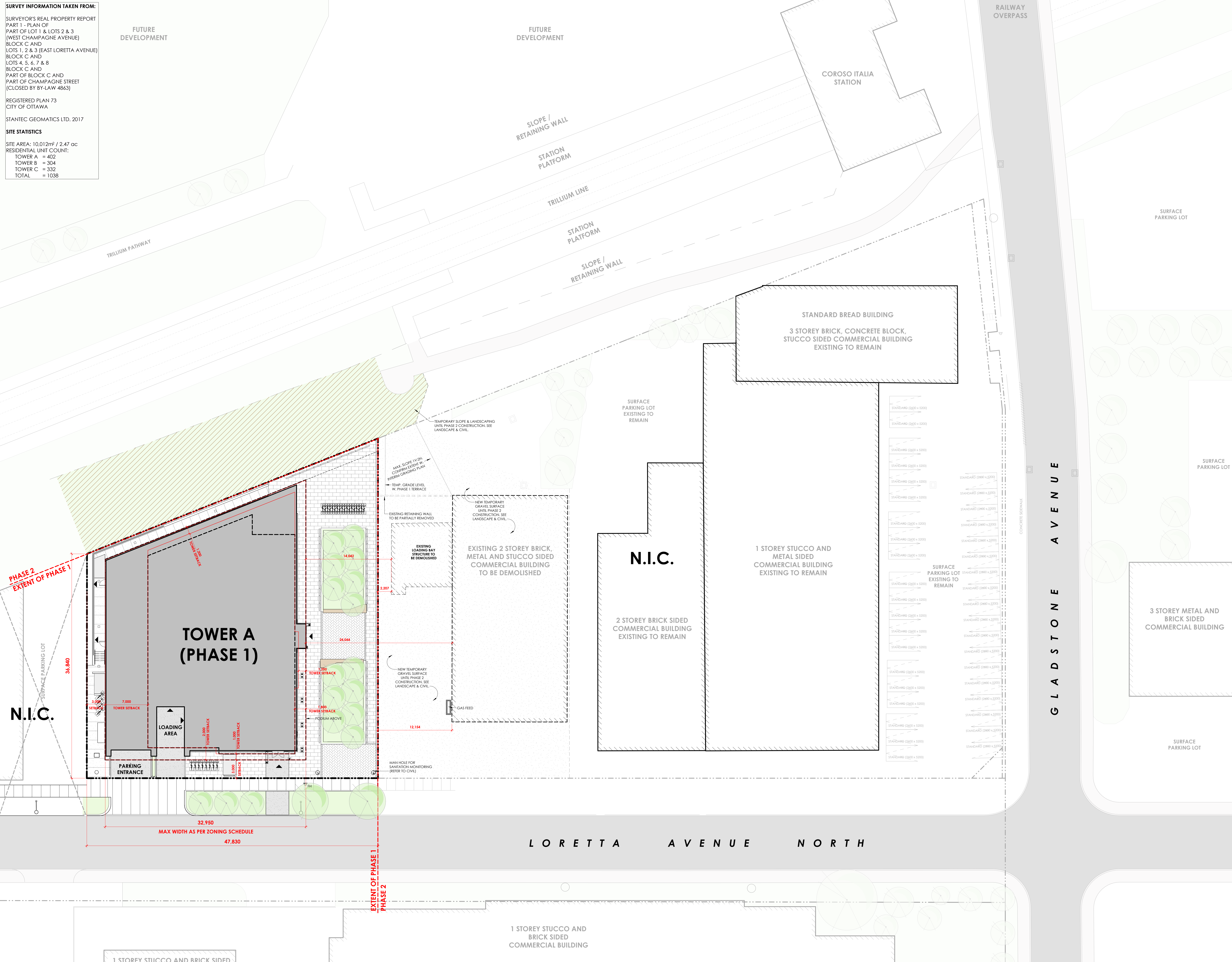
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0- ISSUED FOR SPA REVISION 24-08-17

0- ISSUED FOR SPA REVISION 24-08-17



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project title | titre du projet  
**GLADSTONE AND LORETTA RESIDENTIAL TOWER**  
 145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin

**MASTER PLAN (PHASE 1)**

project number   numéro du projet	2402
drawn   dessiné	JH / DL / PC / JP
checked   vérifié	JP / AR
scale   échelle	1:200
date   date	07/14/24
drawing number   numéro du dessin	

**A1-100**

Andrew Reeves / Gladstone & Loretta P&ID, 145 Loretta Ave. N, Tower A.mxd  
 2024-05-24 11:46:59 AM



ITEM	FIELD	DATA
1	LEGAL DESCRIPTION	SEE LEGAL DESCRIPTION ON SITE PLAN.
2	CURRENT ZONING PERMITTED USES:	MIXED-USE CENTRE ZONE - MC(280) 3466-F1-H2
3	LOT AREA	2,215 m <sup>2</sup>
4	LOT FRONTAGE	47.817 m
5	BUILDING AREA	1,284 m <sup>2</sup>
6	BUILDING SETBACKS (SEE SCHEDULE 466)	FRONT YARD REQUIRED: 3 m (3 m PROVIDED) REAR YARD REQUIRED: 2 m (2 m PROVIDED) INTERIOR SIDE YARD REQUIRED: 3 m (3 m PROVIDED) TOWER SETBACKS: SEE PLAN & SCHEDULE 466
7	SUITE COUNT	402 DWELLING UNITS
8	AMENITY SPACE	REQUIRED: SUITE COUNT x 6m <sup>2</sup> = 2,412.00 m <sup>2</sup> PROVIDED: SHARED INTERIOR AMENITY AREA 1,936.66 m <sup>2</sup> SHARED EXTERIOR AMENITY AREA 475.29 m <sup>2</sup> PRIVATE EXTERIOR AMENITY AREA 0.00 m <sup>2</sup> TOTAL AMENITY AREA PROVIDED 2,411.95 m <sup>2</sup>
9	BUILDING HEIGHT	15.48 m PODIUM ROOF 115.47 m TOP OF MECHANICAL PENTHOUSE
10	LOADING ZONE	
11	VEHICLE PARKING	REQUIRED: VISITOR: MINIMUM: 0.1 PER UNIT 402 x 0.1 SPACES = 40 SPACES STANDARD: 2000x3000 MAXIMUM REQUIRED: 30 SPACES PROVIDED: ACCESSIBLE TYPE A (3400x3200) 1 ACCESSIBLE TYPE B (2400x3200) 1 COMPACT (2000x3000) 28 TOTAL PROVIDED (VISITOR) 30 RESIDENTIAL: MAXIMUM: 1.75 PER UNIT (LESS VISITOR SPACES) 402 x 1.75 SPACES = 704 SPACES STANDARD: 2000x3000 TOTAL PROVIDED (TENANT) 117
12	BICYCLE PARKING	REQUIRED: RESIDENTIAL: MINIMUM: 0.5 PER UNIT 402 x 0.5 SPACES = 201 SPACES MIN. PROVIDED: HORIZONTAL 26 HORIZONTAL STACKED 180 TOTAL PROVIDED 206
13	DRIVE ABLES	REQUIRED: 6m WIDE PROVIDED: 6m WIDE

**CLVGROUP DEVELOPMENTS**

Client

**CUNLIFFE & ASSOCIATES**  
CONSULTING STRUCTURAL ENGINEERS

structural engineers | Ingénieurs structurels

**GWAL**  
Goodley, Weidmark & Associates Ltd.

electrical engineers | Ingénieur électrique  
mechanical engineer | Ingénieur mécanique

**wsp**

civil engineers | Ingénieur civil

**CSW**

landscape architect | architecte paysagiste

nord du projet  
project north

nord réel  
true north

NO.	REVISION	DATE
32	ISSUED FOR SPA REVISION	26-03-04
30	ISSUED FOR C.A. RFP	26-02-26
29	ISSUED FOR REVIEW	25-12-06
28	ISSUED FOR CLADDING & WINDOW WALL FINISHING	25-10-24
26	ISSUED FOR ENVELOPE & INTERIOR GLASSUM ASSEMBLES TENDER	25-09-19
25	ISSUED FOR ENVELOPE & INTERIOR GLASSUM ASSEMBLES TENDER	25-05-30
19	ISSUED FOR REFERENCE - STRUCTURAL MASS PRICING	25-05-16
18	ISSUED FOR 645 W/D & CLIENT BUDGETING	25-03-28
14	ISSUED FOR SPA	25-01-31
12	ISSUED FOR SHORING & EXCAV. RFP/IT	24-12-19
10	ISSUED FOR SHORING & EXCAV. RFP/IT	24-11-05
9	ISSUED FOR SPA	24-11-20
7	ISSUED FOR REVIEW	24-10-07
5	ISSUED FOR REVIEW	24-08-12
4	ISSUED FOR 31% WORKING DRAWINGS	24-06-12
2	ISSUED FOR CLASS 17 ESTIMATE	24-05-13
1	ISSUED FOR CLASS 17 ESTIMATE	24-05-17

no. revisions 0/06

stamp | Imprime

**ONTARIO ASSOCIATION OF ARCHITECTS**  
ANDREW REEVES  
LICENCE  
6464

architect | architecte

**linebox**  
STUDIO

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project title | titre du projet  
**GLADSTONE AND LORETTA RESIDENTIAL TOWER**  
145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin  
**SITE PLAN (PHASE 1)**

project number | numéro du projet 2402  
drawn | dessiné JH / DL / PC / JP  
checked | vérifié JP / AR  
scale | échelle As Indicated  
date | date 02/16/24  
drawing number | numéro du dessin

**LANDSCAPE DESIGN BY OTHERS**

**EXTENT OF PHASE 1 (LINE OF OUTSIDE FACE OF GARAGE CONCRETE FOUNDATION WALL)**

**A1-101**

2024-05-24 11:38:38 AM  
A:\Projects\2402\Gladstone & Loretta\2402\_145 Loretta CVL LB Tower A.rvt

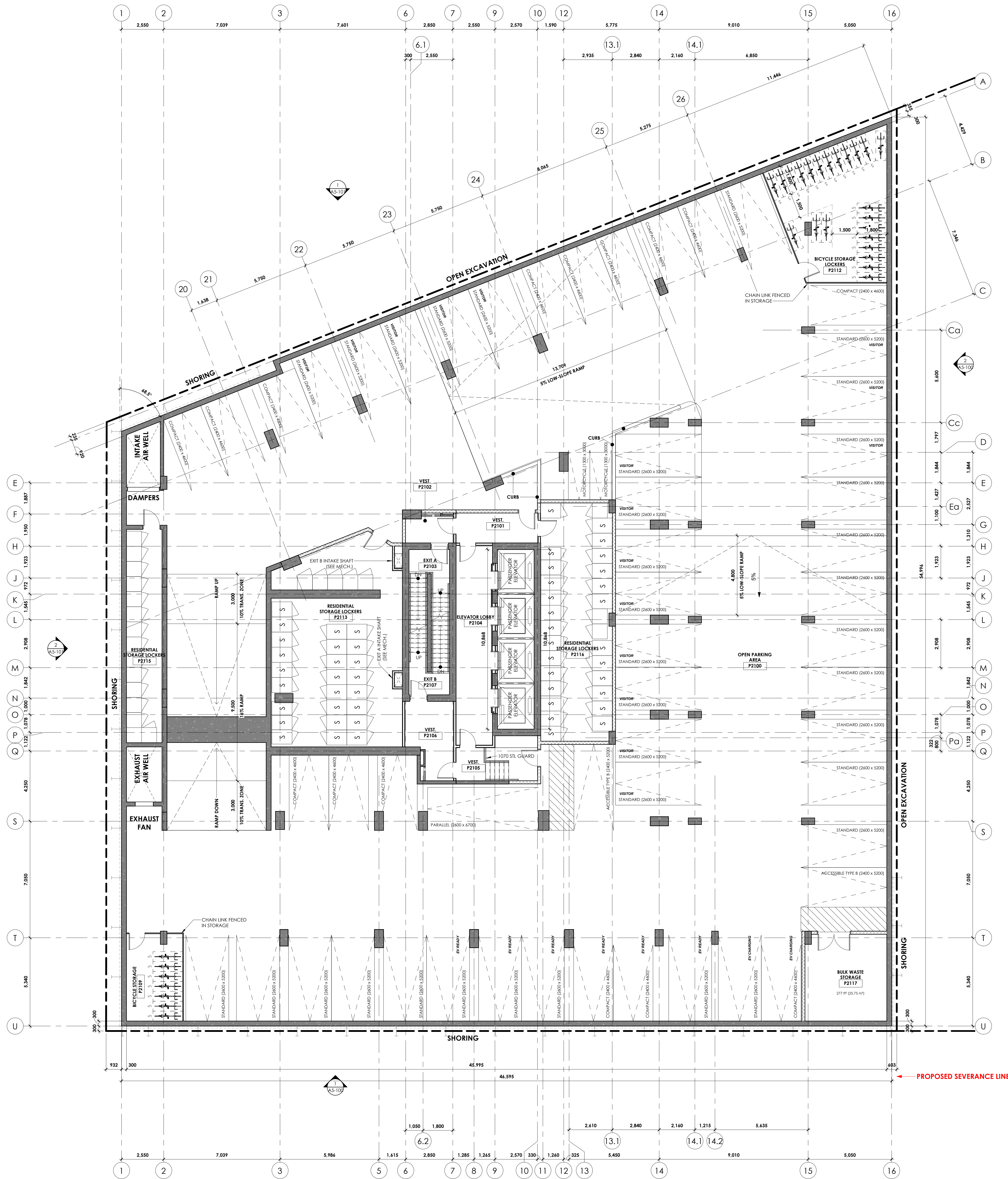




BICYCLE PARKING PROVIDED	
TYPE	TOWER A COUNT
<b>P3</b>	
HORIZONTAL	4
HORIZONTAL STACKED	64
	<b>68</b>
<b>P2 (LOWER)</b>	
HORIZONTAL STACKED	14
	<b>14</b>
<b>P2</b>	
HORIZONTAL	4
HORIZONTAL STACKED	38
	<b>42</b>
<b>P1</b>	
HORIZONTAL	6
HORIZONTAL STACKED	64
	<b>70</b>
<b>LEVEL 01</b>	
HORIZONTAL	12
	<b>12</b>
<b>GRAND TOTAL</b>	<b>206</b>

RESIDENTIAL STORAGE LOCKERS	
LOCKER SIZE AND TYPE	TOWER A COUNT
<b>P3</b>	
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	22
36"W x 48"D x 40"H STACKED	86
	<b>114</b>
<b>P2</b>	
30"W x 48"D x 40"H STACKED	2
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	22
36"W x 48"D x 40"H STACKED	94
	<b>124</b>
<b>P1</b>	
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	19
36"W x 48"D x 40"H STACKED	56
	<b>81</b>
<b>LEVEL 02 (PODIUM)</b>	
36"W x 48"D x 40"H STACKED	32
	<b>32</b>
<b>LEVEL 03 (PODIUM)</b>	
36"W x 48"D x 40"H STACKED	52
	<b>52</b>
<b>GRAND TOTAL</b>	<b>403</b>

VEHICLE PARKING PROVIDED	
PARKING STALL TYPE	TOWER A COUNT
<b>P3</b>	
ACCESSIBLE TYPE B (2400x5200)	2
COMPACT (2400x4600)	14
MOTORCYCLE (1300x3000)	2
PARALLEL (2600x700)	1
STANDARD (2600x5200)	35
	<b>56</b>
<b>P2</b>	
ACCESSIBLE TYPE B (2400x5200)	2
COMPACT (2400x4600)	15
MOTORCYCLE (1300x3000)	2
PARALLEL (2600x700)	1
STANDARD (2600x5200)	35
	<b>55</b>
<b>P1</b>	
ACCESSIBLE TYPE A (3400x5200)	2
ACCESSIBLE TYPE B (2400x5200)	1
COMPACT (2400x4600)	7
MOTORCYCLE (1300x3000)	3
PARALLEL (2600x700)	1
STANDARD (2600x5200)	22
	<b>36</b>
<b>GRAND TOTAL</b>	<b>147</b>



**GENERAL NOTES:**  
 1. REFER TO A100 FOR TYPICAL ASSEMBLY TYPES  
 2. REFER TO A100 FOR TYPICAL DOOR TYPES  
 3. RESIDENTIAL SUITES AND ELEVATOR LOBBIES ON LEVELS 27-30 TO RECEIVE HIGH-END FINISHES

**LEGEND:**  
 CAST IN PLACE CONCRETE, EXPOSED WHERE SHOWN IN PLAN  
 CMU PARTITIONS  
 GYPSUM PARTITION, W. ACOUSTIC INSULATION  
 GYPSUM PARTITION

**CLV GROUP DEVELOPMENTS**  
 Client

**CUNLIFFE & ASSOCIATES**  
 CONSULTING STRUCTURAL ENGINEERS  
 structural engineers | ingénieurs structurels

**GWAL**  
 Goodway, Wendenburg & Associates Ltd.  
 electrical engineers | ingénieur électrique  
 mechanical engineer | ingénieur mécanique

**wsp**  
 civil engineers | ingénieur civil

**CSW**  
 landscape architect | architecte paysagiste

nord du projet / project north  
 nord réel / true north

32- ISSUED FOR SPA REVISION 25-05-04  
 30- ISSUED FOR E.M. RFP 26-09-06  
 29- ISSUED FOR REVIEW 25-04-08  
 21- RE-ISSUED FOR ENVELOPE & INTERIOR 25-06-12  
 20- ISSUED FOR ENVELOPE & INTERIOR 24-12-02  
 20- ISSUED FOR ENVELOPE & INTERIOR 25-05-20  
 19- ISSUED FOR REFERENCE - STRUCTURAL 25-05-16  
 MAE PRICING  
 18- ISSUED FOR A/E, I/D, & CLIENT BUDGETING 25-05-08  
 14- ISSUED FOR SPA 25-01-31  
 12- RE-ISSUED FOR SHORING & EXCAV. I/F 24-12-19  
 11- ISSUED FOR ELEVATOR TENDER 24-12-02  
 10- ISSUED FOR SHORING & EXCAV. I/F R/I 24-11-05  
 4- ISSUED FOR 30% WORKING DRAWINGS 24-08-12  
 3- ISSUED FOR EXCAVATION PERMITS 24-06-13  
 2- ISSUED FOR CLASS 'D' ESTIMATE 24-05-13  
 1- ISSUED FOR CLASS 'D' ESTIMATE 24-05-17

no. revisions 0/06  
 stamp | Imbire

**ONTARIO ASSOCIATION OF ARCHITECTS**  
 ANDREW REEVES  
 LICENCE 6464

architect | architecte

**linebox**  
 STUDIO

All dimensions are shown in metric. Contractor shall check and verify all dimensions and report all error and omissions to the Architect. Do not scale the drawings. Not for construction until signed by the Architect.

project title | titre du projet  
**GLADSTONE AND LORETTA RESIDENTIAL TOWER**  
 145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin  
**FLOOR PLAN - P2**

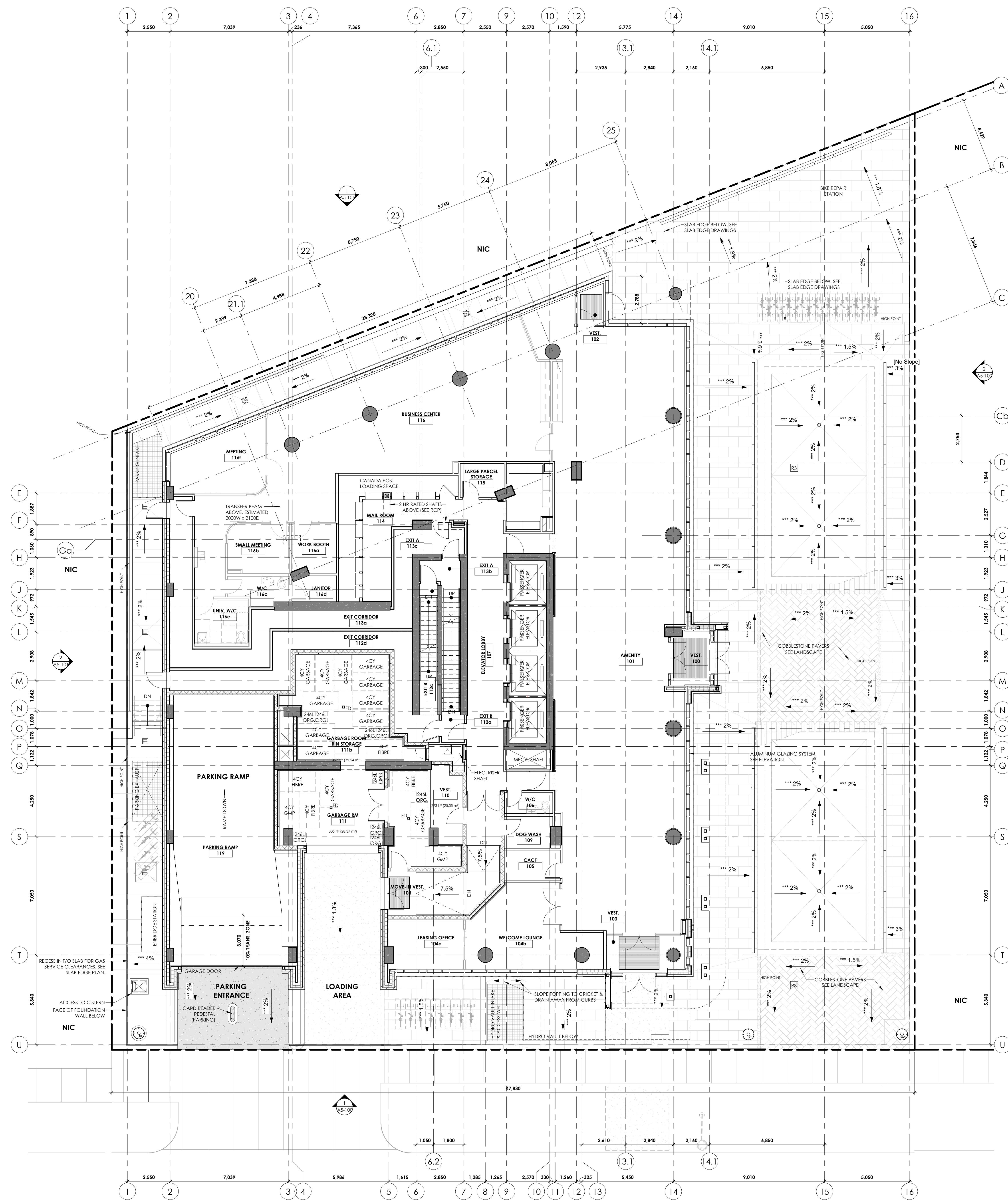
project number | numéro du projet 2402  
 drawn | dessiné JH / DL / PC / JP  
 checked | vérifié JP / AR  
 scale | échelle 1:100  
 date | date 02/16/24  
 drawing number | numéro du dessin  
**A2-099**



BICYCLE PARKING PROVIDED	
TYPE	TOWER A COUNT
<b>P3</b>	
HORIZONTAL	4
HORIZONTAL STACKED	64
	<b>68</b>
<b>P2 (LOWER)</b>	
HORIZONTAL STACKED	14
	<b>14</b>
<b>P2</b>	
HORIZONTAL	4
HORIZONTAL STACKED	38
	<b>42</b>
<b>P1</b>	
HORIZONTAL	6
HORIZONTAL STACKED	64
	<b>70</b>
<b>LEVEL 01</b>	
HORIZONTAL	12
	<b>12</b>
<b>GRAND TOTAL</b>	<b>206</b>

RESIDENTIAL STORAGE LOCKERS	
LOCKER SIZE AND TYPE	TOWER A COUNT
<b>P3</b>	
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	22
36"W x 48"D x 40"H STACKED	86
	<b>114</b>
<b>P2</b>	
30"W x 48"D x 40"H STACKED	2
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	22
36"W x 48"D x 40"H STACKED	94
	<b>124</b>
<b>P1</b>	
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	19
36"W x 48"D x 40"H STACKED	56
	<b>81</b>
<b>LEVEL 02 (PODIUM)</b>	
36"W x 48"D x 40"H STACKED	32
	<b>32</b>
<b>LEVEL 03 (PODIUM)</b>	
36"W x 48"D x 40"H STACKED	52
	<b>52</b>
<b>GRAND TOTAL</b>	<b>403</b>

CANADA POST STD MAIL COMPARTMENT COUNT		
Type	Count	Compartment Count
4 x 8	4	128
5 x 8	1	40
6 x 8	5	240
<b>Grand total:</b>	<b>10</b>	<b>408</b>



- GENERAL NOTES:**
- REFER TO A210 FOR TYPICAL DOOR TYPES
  - REFER TO A200 FOR TYPICAL DOOR TYPES
  - RESIDENTIAL SUITES AND ELEVATOR LOBBIES ON LEVELS 27-30 TO RECEIVE HIGH-END FINISHES
- LEGEND:**
- CAST IN PLACE CONCRETE, EXPOSED WHERE SHOWN IN PLAN
  - CMU PARTITIONS
  - GYPSUM PARTITION, W. ACOUSTIC INSULATION
  - GYPSUM PARTITION

**CLV GROUP DEVELOPMENTS**

Client

**CUNLIFFE & ASSOCIATES**  
CONSULTING STRUCTURAL ENGINEERS

structural engineers | ingénieurs structurels

**GWAL**  
Goodley, Wainman & Associates Ltd.

electrical engineers | ingénieur électrique  
mechanical engineer | ingénieur mécanique

**wsp**

civil engineers | ingénieur civil

**CSW**

landscape architect | architecte paysagiste

nord du projet  
project north

nord réel  
true north

22	ISSUED FOR SPA REVISION	26-05-01
31	ISSUED FOR ... (POST-RFP CLOSE)	26-05-01
30	ISSUED FOR C.A. RFP	26-02-26
28	ISSUED FOR CLADDING & WINDOW WALL FINISHES	25-12-08
23	ISSUED FOR ENVELOPE & INTERIOR - CIVILIAN ASSEMBLY TENDER	25-07-07
21	ISSUED FOR ENVELOPE & INTERIOR - CIVILIAN ASSEMBLY TENDER	25-06-19
20	ISSUED FOR ENVELOPE & INTERIOR - CIVILIAN ASSEMBLY TENDER	25-05-30
19	ISSUED FOR RESIDENTIAL - STRUCTURAL MAE PRICING	25-05-16
18	ISSUED FOR A.S. W.D. & CLIENT BUDGETING	25-03-28
14	ISSUED FOR SPA	25-01-31
11	ISSUED FOR ELEVATOR TENDER	24-12-02
4	ISSUED FOR 3% WORKING DRAWINGS	24-08-12
2	ISSUED FOR CLASS 'D' ESTIMATE	24-05-13
1	ISSUED FOR CLASS 'D' ESTIMATE	24-05-17
no. revisions		0/06
stamp   Imprime		



architect | architecte

**linebox**  
STUDIO

All dimensions are shown in metric. Contractor shall check and verify all dimensions and report all error and omissions to the Architect. Do not scale the drawings. Not for construction until signed by the Architect.

project title | titre du projet

**GLADSTONE AND LORETTA RESIDENTIAL TOWER**

145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin

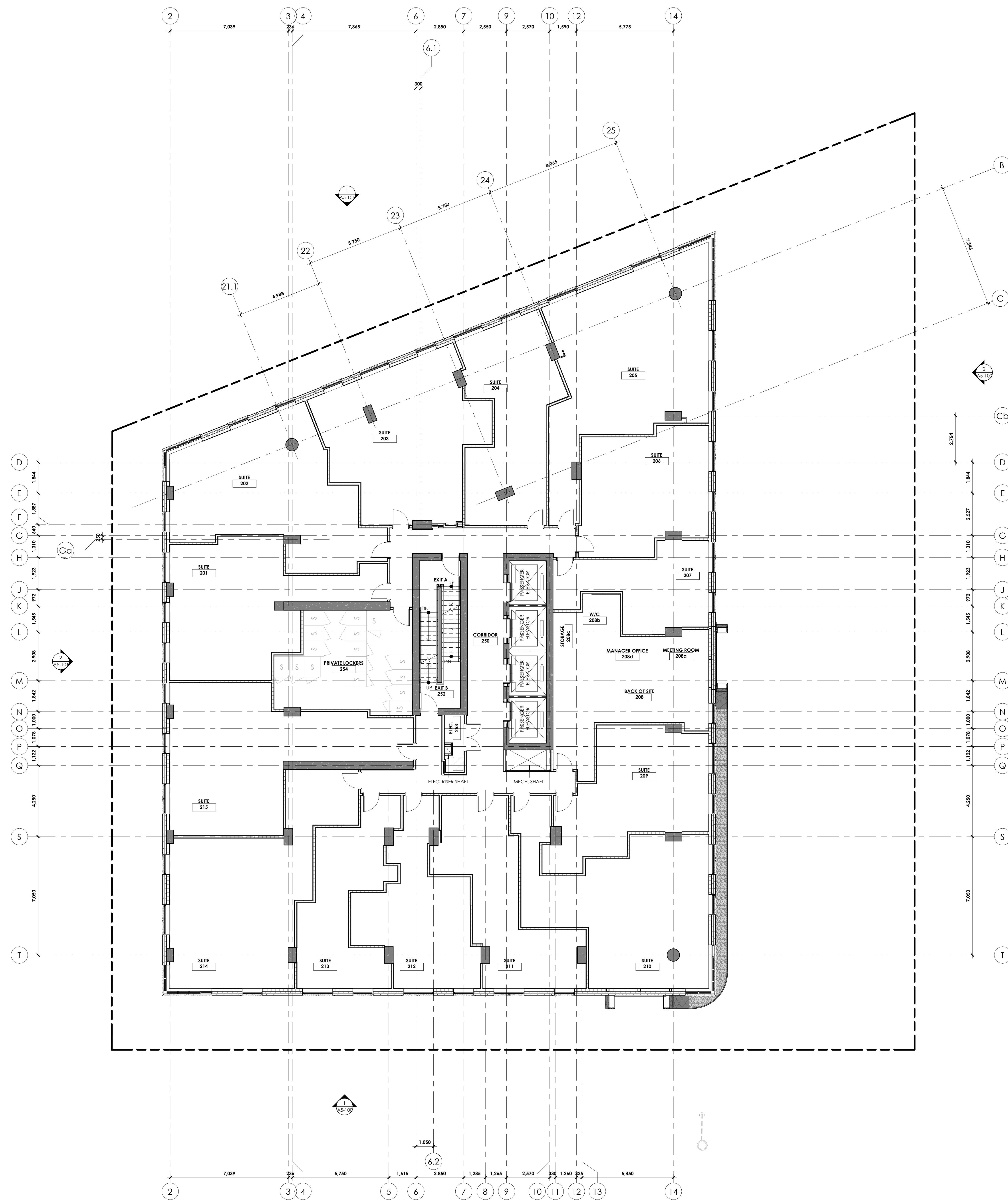
**FLOOR PLAN - LEVEL 01**

project number   numéro du projet	2402
drawn   dessiné	JH / DL / PC / JP
checked   vérifié	JP / AR
scale   échelle	1:100
date   date	02/16/24
drawing number   numéro du dessin	

**A2-101**

BICYCLE PARKING PROVIDED	
TYPE	TOWER A COUNT
<b>P3</b>	
HORIZONTAL	4
HORIZONTAL STACKED	64
	<b>68</b>
<b>P2 (LOWER)</b>	
HORIZONTAL STACKED	14
	<b>14</b>
<b>P2</b>	
HORIZONTAL	4
HORIZONTAL STACKED	38
	<b>42</b>
<b>P1</b>	
HORIZONTAL	6
HORIZONTAL STACKED	64
	<b>70</b>
<b>LEVEL 01</b>	
HORIZONTAL	12
HORIZONTAL STACKED	12
	<b>24</b>
<b>GRAND TOTAL</b>	<b>206</b>

RESIDENTIAL STORAGE LOCKERS	
LOCKER SIZE AND TYPE	TOWER A COUNT
<b>P3</b>	
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	22
36"W x 48"D x 40"H STACKED	86
	<b>114</b>
<b>P2</b>	
30"W x 48"D x 40"H STACKED	2
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	22
36"W x 48"D x 40"H STACKED	94
	<b>124</b>
<b>P1</b>	
34"W x 48"D x 40"H STACKED	6
36"W x 36"D x 80"H SINGLE	19
36"W x 48"D x 40"H STACKED	56
	<b>81</b>
<b>LEVEL 02 (PODIUM)</b>	
36"W x 48"D x 40"H STACKED	32
	<b>32</b>
<b>LEVEL 03 (PODIUM)</b>	
36"W x 48"D x 40"H STACKED	52
	<b>52</b>
<b>GRAND TOTAL</b>	<b>403</b>



**GENERAL NOTES:**

- REFER TO A101 FOR TYPICAL ASSEMBLY TYPES
- REFER TO A102 FOR TYPICAL DOOR TYPES
- RESIDENTIAL SUITES AND ELEVATOR LOBBIES ON LEVELS 27-30 TO RECEIVE HIGH-END FINISHES

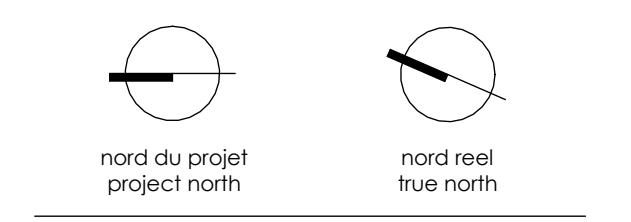
**LEGEND:**

- CAST IN PLACE CONCRETE, EXPOSED WHERE SHOWN IN PLAN
- CMU PARTITIONS
- GYPSUM PARTITION, W. ACOUSTIC INSULATION
- GYPSUM PARTITION

**STRUCTURAL NOTES (HIGH-LEVEL ESTIMATE):**

SLAB = 250 THK  
 SHEAR WALLS = 400 THK  
 TYPICAL TOWER COLUMN = 300x300  
 TYPICAL PODIUM COLUMN = 600x600 OR 600 DIAM

**CONCRETE STRENGTHS:**  
 SLABS = 35 MPa (TYPE N)  
 COLUMNS & SHEAR WALLS = 45 MPa (TYPE N)  
 PODIUM COLUMNS = 35 MPa (TYPE N)



NO.	REVISIONS	DATE
29	ISSUED FOR SPA REVISION	26-05-24
31	ISSUED FOR ... POST REPLY CLOSE	26-05-24
30	ISSUED FOR C.M. RFP	26-02-26
29	ISSUED FOR REVIEW	25-12-08
28	ISSUED FOR CLADDING & WINDOW	25-10-24
--- WALL FINISHING ---		
31	ISSUED FOR ENVELOPE & INTERIOR	25-06-19
--- CIVIL/PAVING ASSEMBLY TENDER ---		
30	ISSUED FOR ENVELOPE & INTERIOR	25-05-30
--- CIVIL/PAVING ASSEMBLY TENDER ---		
29	ISSUED FOR RESIDENTIAL - STRUCTURAL	25-05-16
--- MAPE FINISHING ---		
18	ISSUED FOR A.S.W.D. & CLIENT BUDGETING	25-03-28
11	ISSUED FOR ELEVATOR TENDER	24-12-02
8	REVISED 3DS WORKING DRAWINGS	24-08-19
4	ISSUED FOR 3DS WORKING DRAWINGS	24-06-12
2	ISSUED FOR CLASS 'D' ESTIMATE	24-05-13
1	ISSUED FOR CLASS 'D' ESTIMATE	24-05-17



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project title | titre du projet  
**GLADSTONE AND LORETTA RESIDENTIAL TOWER**  
 145 LORETTA AVE. N | OTTAWA | ON

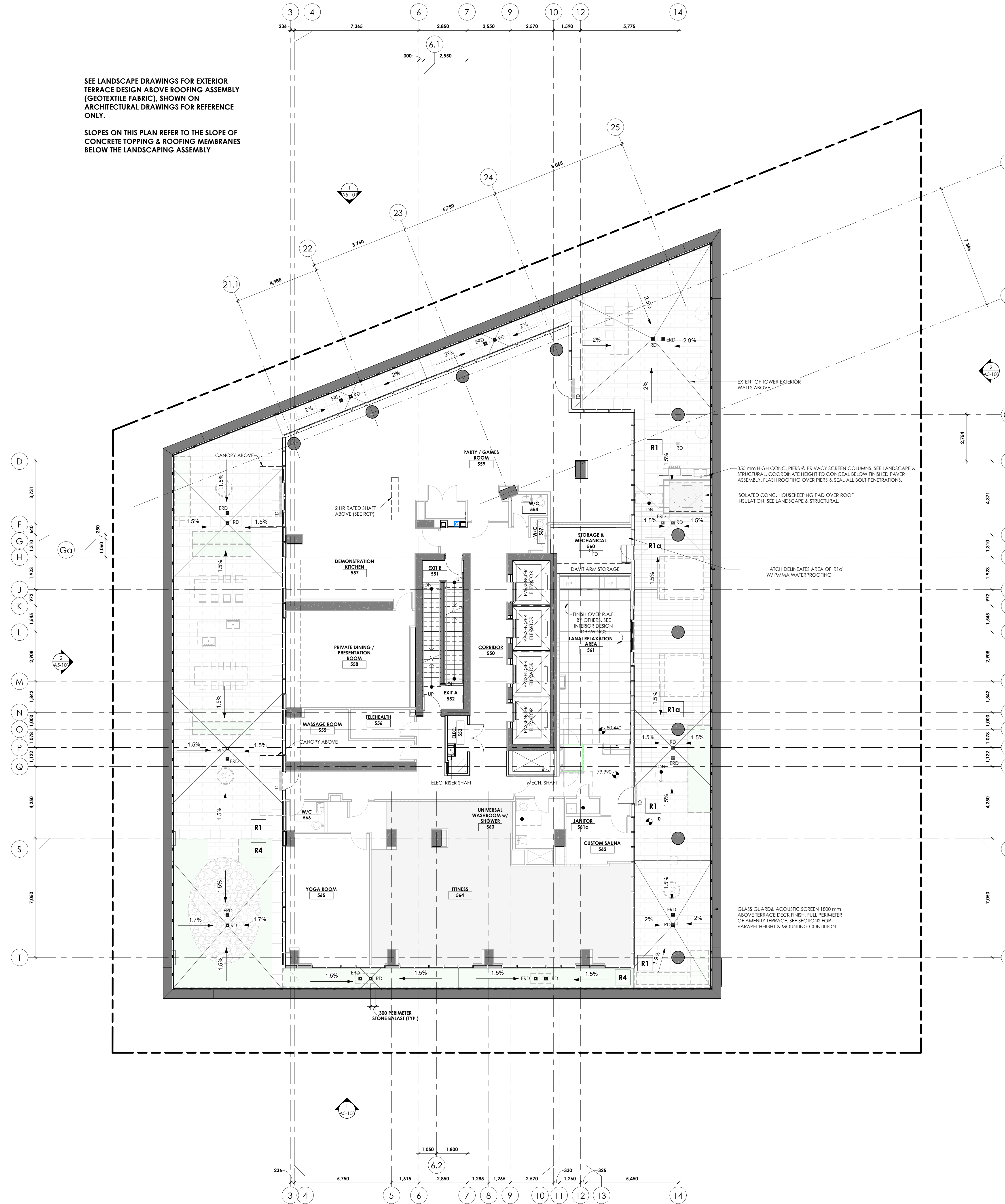
drawing title | titre du dessin  
**FLOOR PLAN - LEVEL 02 (PODIUM)**

project number   numéro du projet	2402
drawn   dessiné	JH / DL / PC / JP
checked   vérifié	JP / AR
scale   échelle	1:100
date   date	02/16/24
drawing number   numéro du dessin	

**A2-102**







SEE LANDSCAPE DRAWINGS FOR EXTERIOR TERRACE DESIGN ABOVE ROOFING ASSEMBLY (GEOTEXTILE FABRIC), SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY.

SLOPES ON THIS PLAN REFER TO THE SLOPE OF CONCRETE TOPPING & ROOFING MEMBRANES BELOW THE LANDSCAPING ASSEMBLY

**GENERAL NOTES:**

- REFER TO A100 FOR TYPICAL ASSEMBLY TYPES
- REFER TO A100 FOR TYPICAL DOOR TYPES
- RESIDENTIAL SUITES AND ELEVATOR LOBBIES ON LEVELS 27-30 TO RECEIVE HIGH-END FINISHES

**LEGEND:**

- CAST IN PLACE CONCRETE, EXPOSED WHERE SHOWN IN PLAN
- CMU PARTITIONS
- GYPSUM PARTITION, W. ACOUSTIC INSULATION
- GYPSUM PARTITION

**STRUCTURAL NOTES (HIGH-LEVEL ESTIMATE):**

LS PODIUM SLAB = 300 THK + SLOPED TOPPING

SHEAR WALLS = 400 THK

TYPICAL TOWER COLUMN = 500x500 or 750 DIAM

**CONCRETE STRENGTHS:**

LS SLAB = 30 MPa (TYPE N)

INTERIOR SLABS = 30 MPa (TYPE N)

COLUMNS & SHEAR WALLS = 40 MPa (TYPE N) L1-L10

COLUMNS & SHEAR WALLS = 35 MPa (TYPE N) L11-L16

COLUMNS & SHEAR WALLS = 30 MPa (TYPE N) L17-27

**CLIENT**

**CUNLIFFE & ASSOCIATES**  
CONSULTING STRUCTURAL ENGINEERS

structural engineers | Ingénieurs structurels

**GWAL**  
Goodway, Weidmark & Associates Ltd.

electrical engineers | Ingénieur électrique  
mechanical engineer | Ingénieur mécanique

**wsp**

civil engineers | Ingénieur civil

**CSW**

landscape architect | architecte paysagiste

nord du projet / project north  
nord réel / true north

32	ISSUED FOR SPA REVISION	26-05-24
31	ISSUED FOR ... (POST-RFP CLOSE)	26-04-27
30	ISSUED FOR C.A.R. RFP	26-02-26
29	ISSUED FOR REVIEW	25-12-28
28	RE-ISSUED FOR CLADDING & WINDOW	25-10-24
- WALL FINISHING		
27	RE-ISSUED FOR ENVELOPE & INTERIOR	25-06-19
- GYPSUM ASSEMBLY TENDER		
26	ISSUED FOR ENVELOPE & INTERIOR	25-05-30
- GYPSUM ASSEMBLY TENDER		
25	ISSUED FOR REFERENCE - STRUCTURAL	25-06-16
- MAKE FINISHING		
24	ISSUED FOR ARTS W/D & CLIENT BUDGETING	25-03-28
14	ISSUED FOR SPA	25-03-31
11	ISSUED FOR ELEVATOR TENDER	24-12-02
9	ISSUED FOR SPA	24-11-20
8	ISSUED FOR 3/16 WORKING DRAWINGS	24-08-12
7	RE-ISSUED FOR CLASS 'D' ESTIMATE	24-05-13
6	ISSUED FOR CLASS 'D' ESTIMATE	24-05-17

no. revisions: 04/06

stamp | Imprime



architect | architecte

**linebox**  
STUDIO

All dimensions are shown in metric. Contractor shall check and verify all dimensions and report all error and omissions to the Architect. Do not scale the drawings. Not for construction until signed by the Architect.

project title | titre du projet

**GLADSTONE AND LORETTA RESIDENTIAL TOWER**

145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin

**FLOOR PLAN - LEVEL 05 (PODIUM ROOF AMENITY)**

project number | numéro du projet: 2402

drawn | dessiné: JH / DL / PC / JP

checked | vérifié: JP / AR

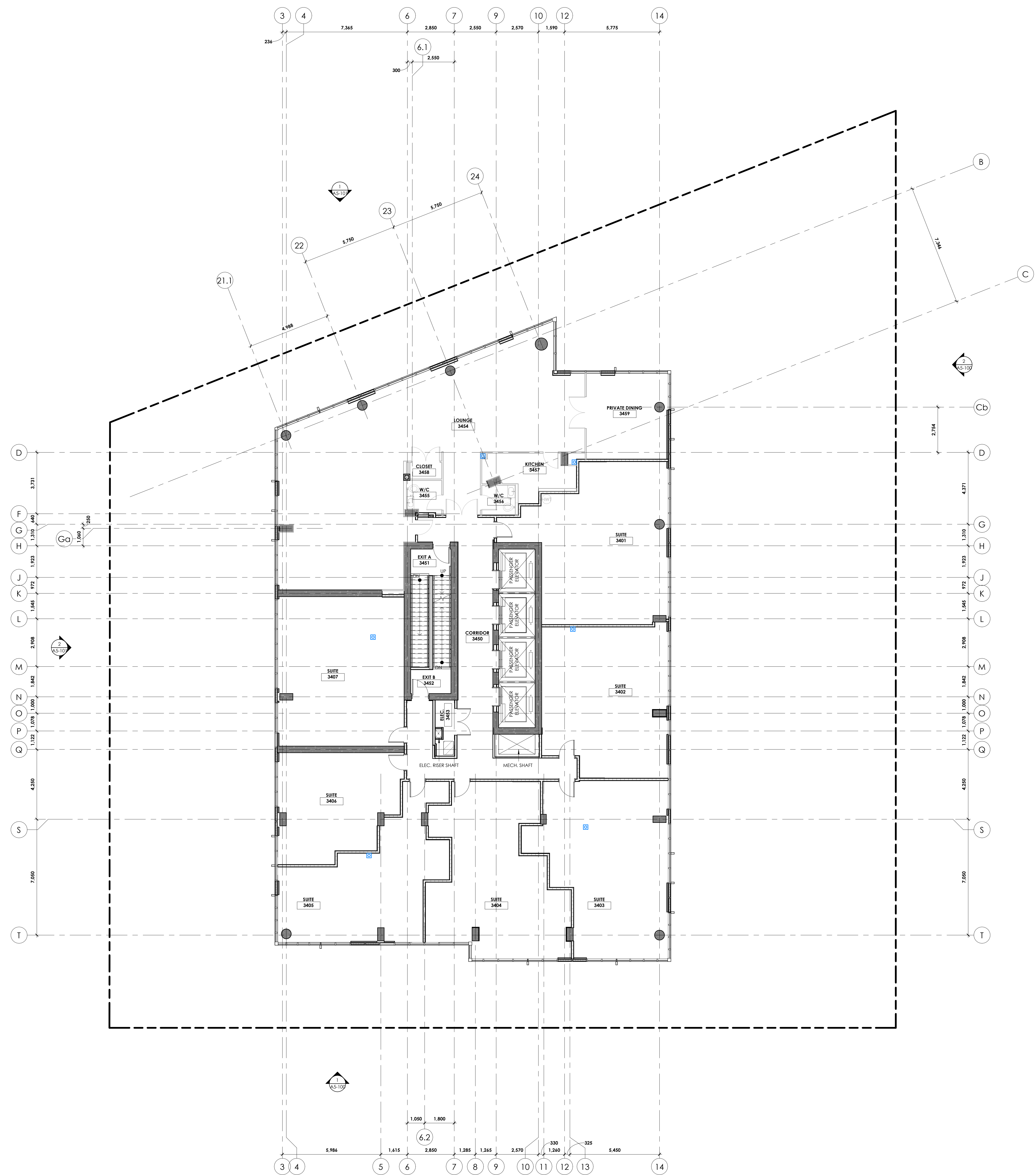
scale | échelle: 1:100

date | date: 02/16/24

drawing number | numéro du dessin







**GENERAL NOTES:**  
 1. REFER TO A100 FOR TYPICAL ASSEMBLY TYPES  
 2. REFER TO A100 FOR TYPICAL DOOR TYPES  
 3. RESIDENTIAL SUITES AND ELEVATOR LOBBIES ON LEVELS 27-30 TO RECEIVE HIGH-END FINISHES

**LEGEND:**  
 CAST IN PLACE CONCRETE, EXPOSED WHERE SHOWN IN PLAN  
 CMU PARTITIONS  
 GYPSUM PARTITION, W. ACOUSTIC INSULATION  
 GYPSUM PARTITION

**STRUCTURAL NOTES (HIGH-LEVEL ESTIMATE):**  
 SLAB = 225 THK  
 SHEAR WALLS = 400 THK  
 TYPICAL TOWER COLUMN = 400x600 OR 600 DIAM

**CONCRETE STRENGTH:**  
 INTERIOR SLABS = 30 MPa (TYPE N)  
 BALCONY SLABS = 35 MPa (TYPE C-1)  
 COLUMNS & SHEAR WALLS = 30 MPa (TYPE N)

**CLVGROUP DEVELOPMENTS**  
 Client

**CUNLIFFE & ASSOCIATES**  
 CONSULTING STRUCTURAL ENGINEERS  
 structural engineers | Ingénieurs structurels

**GWAL**  
 Goodway, Weidmark & Associates Ltd.  
 electrical engineers | ingénieur électrique  
 mechanical engineer | ingénieur mécanique

**wsp**  
 civil engineers | ingénieur civil

**C S W**  
 landscape architect | architecte paysagiste

nord du projet north  
 nord réel true north

no.	revisions	date
30	ISSUED FOR C.A. RFP	26-02-26
29	ISSUED FOR REVIEW	23-12-26
28	REISSUED FOR CLADDING & WINDOW	23-10-24
- WAIT PENDING -		
24	REISSUED FOR ENVELOPE & INTERIOR	25-06-19
- GYPSUM ASSEMBLY TENDER -		
20	ISSUED FOR ENVELOPE & INTERIOR	25-05-20
- GYPSUM ASSEMBLY TENDER -		
19	ISSUED FOR REFERENCE - STRUCTURAL	25-06-18
- MAKE PENDING -		
18	ISSUED FOR ARTS, W/D & CLIENT BUDGETING	25-03-28
14	RE ISSUED FOR SPA	25-01-31
11	ISSUED FOR ELEVATOR TENDER	24-12-02
8	REVISED ITR WORKING DRAWINGS	24-08-19
6	ISSUED FOR ITR WORKING DRAWINGS	24-06-12
2	RE ISSUED FOR CLASS 17 ESTIMATE	24-05-13
1	ISSUED FOR CLASS 17 ESTIMATE	24-05-17



architect | architecte

**linebox**  
 STUDIO

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project title | titre du projet  
**GLADSTONE AND LORETTA RESIDENTIAL TOWER**  
 145 LORETTA AVE. N | OTTAWA | ON

drawing title | titre du dessin  
**FLOOR PLAN - LEVEL 34 (RESIDENTIAL AND AMENITY SKY LEVEL)**

project number | numéro du projet **2402**  
 drawn | dessiné **JH / DL / PC / JP**  
 checked | vérifié **JP / AR**  
 scale | échelle **1:100**  
 date | date **02/16/24**

drawing number | numéro du dessin  
**A2-134**

**GENERAL NOTES:**

- REFER TO A100 FOR TYPICAL ASSEMBLY TYPES
- REFER TO A100 FOR TYPICAL JOIST TYPES
- RESIDENTIAL SUITES AND ELEVATOR LOBBIES ON LEVELS 27-30 TO RECEIVE HIGH-END FINISHES

**LEGEND:**

- CAST IN PLACE CONCRETE, EXPOSED WHERE SHOWN IN PLAN
- CMU PARTITIONS
- GYPSUM PARTITION, W. ACOUSTIC INSULATION
- GYPSUM PARTITION

**STRUCTURAL NOTES (HIGH-LEVEL ESTIMATE):**

ROOF/TERRACE SLAB = 300 THK + SLOPED TOPPING  
 RFT MECHANICAL/SERVICE AREAS = 300 THK + 100 THK SLAB  
 MECHANICAL FLOATING SLAB (FS) = 300 THK + 100 THK SLAB  
 SHEAR WALLS = 400 THK  
 COLUMNS = 400x800  
 CONCRETE STRENGTHS:  
 SLABS = 35 MPa (TYPE H)  
 COLUMNS & SHEAR WALLS = 30 MPa (TYPE N)



Client



structural engineers | Ingénieurs structurels



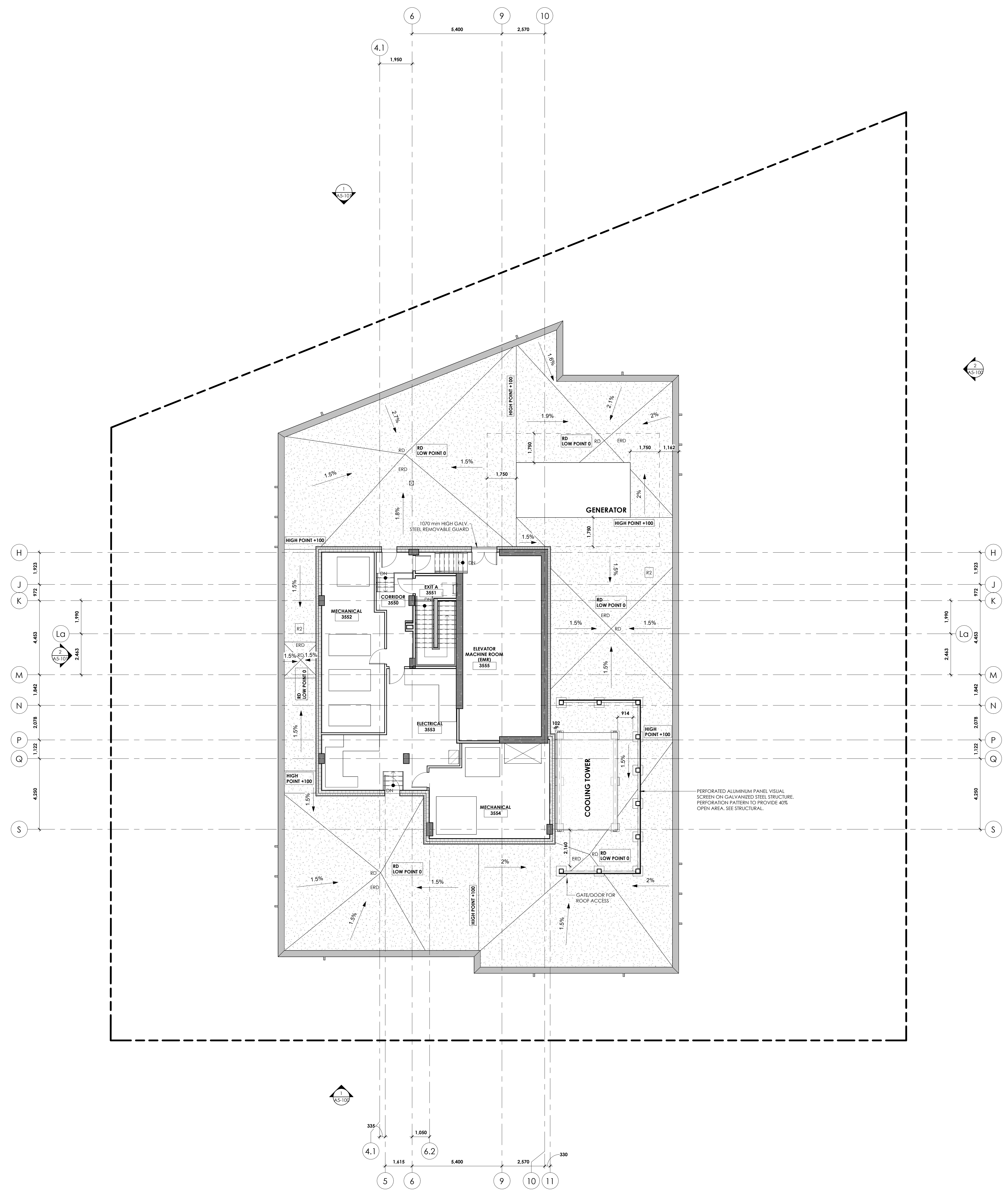
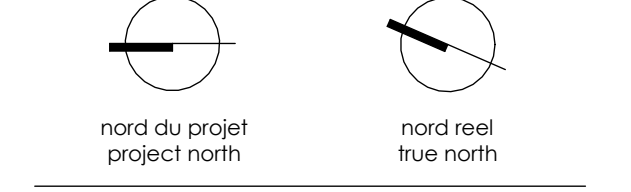
electrical engineers | Ingénieur électrique  
 mechanical engineer | Ingénieur mécanicien



civil engineers | Ingénieur civil



landscape architect | architecte paysagiste



32	ISSUED FOR SPA REVISION	24-05-24
30	ISSUED FOR C.A. RFP	24-02-26
29	ISSUED FOR REVIEW	25-12-26
25	ISSUED FOR CLADDING & WINDOW WALL PRICING	25-10-24
23	ISSUED FOR ENVELOPE & INTERIOR GYPSUM ASSEMBLES TENDER	25-07-09
19	ISSUED FOR ENVELOPE & INTERIOR GYPSUM ASSEMBLES TENDER	25-06-19
18	ISSUED FOR ENVELOPE & INTERIOR GYPSUM ASSEMBLES TENDER	25-05-30
19	ISSUED FOR REFERENCE - STRUCTURAL MASS PRICING	25-05-16
18	ISSUED FOR MASS W/D & CLIENT BUDGETING	25-03-28
11	ISSUED FOR ELEVATOR TENDER	24-12-02
4	ISSUED FOR 30% WORKING DRAWINGS	24-08-12
2	ISSUED FOR CLASS D' ESTIMATE	24-05-13
1	ISSUED FOR CLASS D' ESTIMATE	24-05-17

no. revisions 04/06  
 stamp | timbre



All dimensions are shown in metric. Contractor shall check and verify all dimensions and report all error and omissions to the Architect. Do not scale the drawings. Not for construction until signed by the Architect.

project title | titre du projet

**GLADSTONE AND LORETTA RESIDENTIAL TOWER**

145 LORETTA AVE. N | OTTAWA | ON

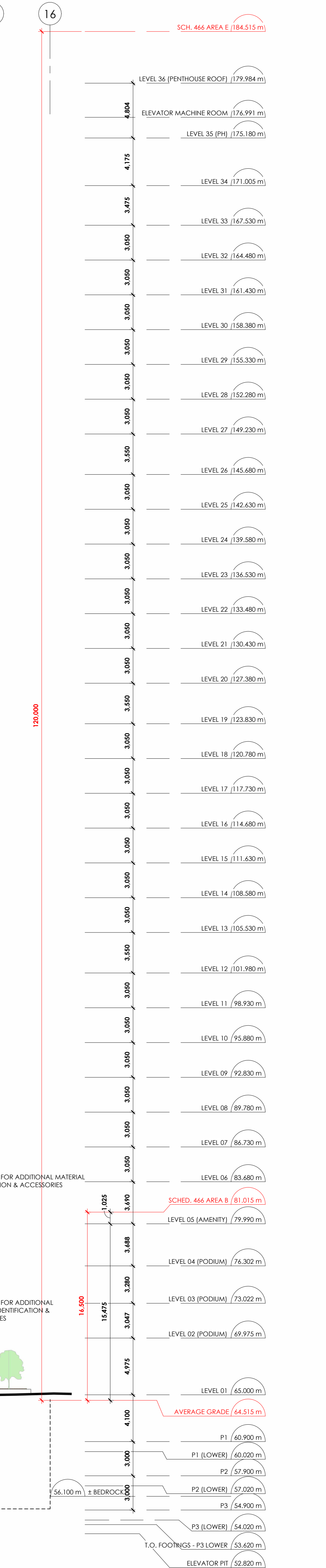
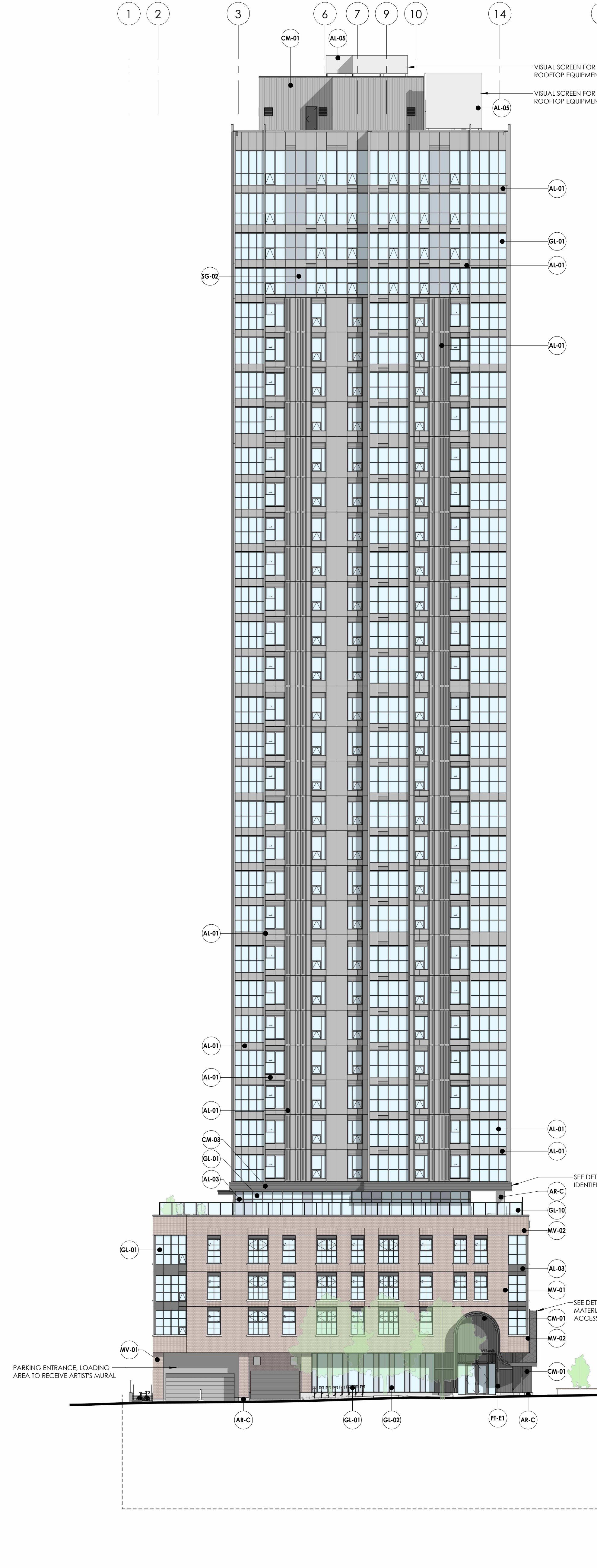
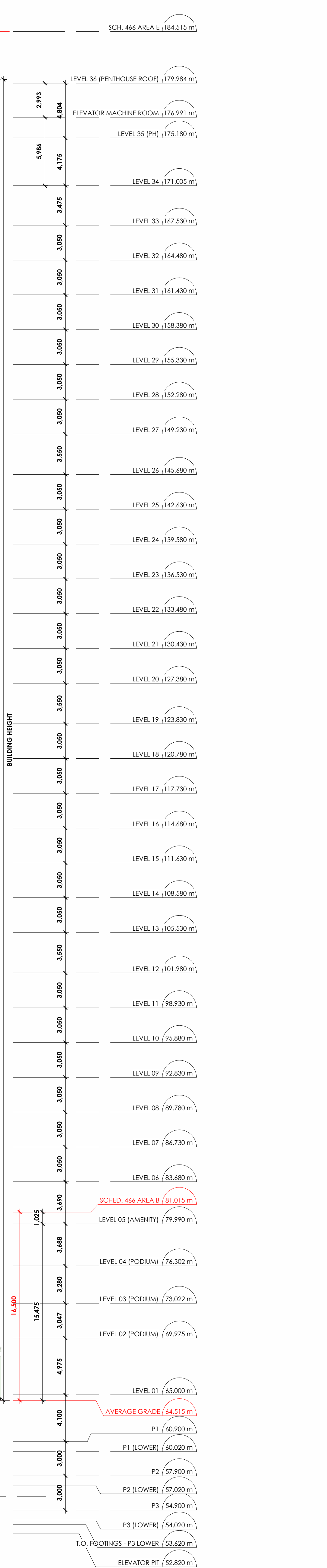
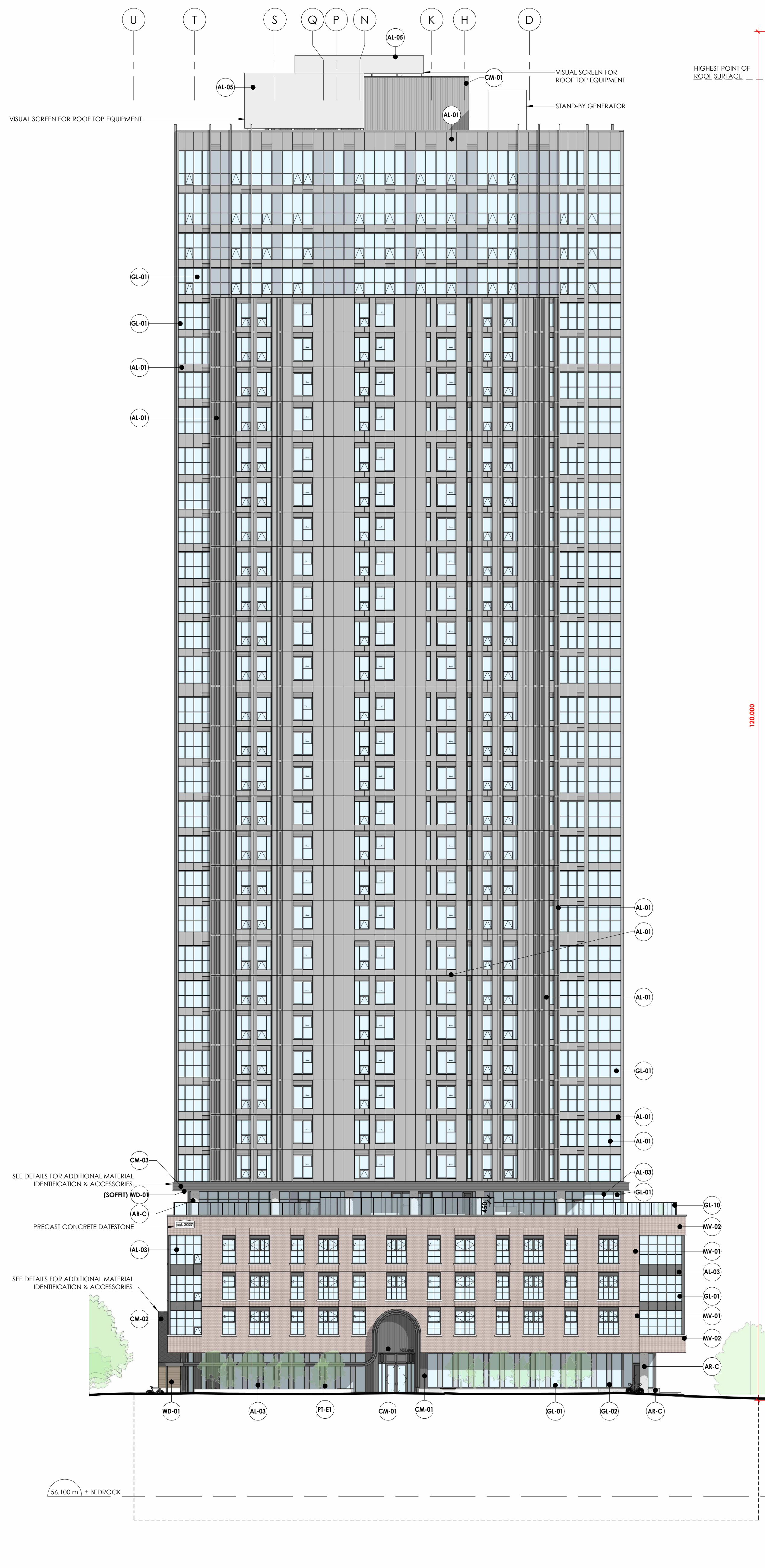
drawing title | titre du dessin

**FLOOR PLAN - LEVEL 35 (MECHANICAL PENTHOUSE)**

project number | numéro du projet 2402  
 drawn | dessiné JH / DL / PC / JP  
 checked | vérifié JP / AR  
 scale | échelle 1:100  
 date | date 02/16/24  
 drawing number | numéro du dessin

**A2-135**





2 BUILDING ELEVATION - SOUTH  
A5-100

1 BUILDING ELEVATION - WEST (LORETTA AVE N)  
A5-100

EXTERIOR FINISH MATERIALS LEGEND

TAG	DESCRIPTION	MANUFACTURER	PRODUCT	PROFILE	FINISH	COLOUR
AL-01	ALUMINUM PLANK WOOD LOOK SIDING OR SCFIT	STATE	DURANAR EXTRUSION COATINGS	VARIABLES	SOLID COLOUR - 2 COAT	UC10982 - CHARCOAL
AL-02	ALUMINUM PANEL OR EXTRUSION BY WINDOW WALL SUPPLIER - COLOUR 1. SEE WINDOW SCHEDULES.	STATE	VARIABLES	VARIABLES	ANODIZED ARCHITECTURAL GLASS (0.7 mm MIN.)	CLEAR
AL-03	ALUMINUM PANEL OR EXTRUSION BY WINDOW WALL SUPPLIER - COLOUR 2. SEE WINDOW SCHEDULES.	STATE	VARIABLES	VARIABLES	SOLID COLOUR - 2 COAT	UC4027
AL-05	PERFORATED PERFORATED ALUMINUM PANEL SCREENING W/ 40% FREE AREA.	STATE	DURANAR EXTRUSION COATINGS	VARIABLES	VARIABLES	CLEAR SATIN 70
AR-C	ARCHITECTURAL CONCRETE FINISH	N/A	A-25-40 PERFORATED PANEL	CORRUGATED BWC374	ANODIZED	NATURAL
CM-01	PREFINISHED VERTICAL SIDING	N/A	OPALINE	OPM	PVDF KYNAR 500	BLACK 02
CM-02	PRE-FINISHED 4-FOLD INTERLOCKING STEEL ROOFING TILE W/ CONCEALED FASTENERS.	N/A	3R TILES	SQUARE ROOFING TILE	PVDF KYNAR 500	BLACK 02
CM-03	PREFINISHED PICKLED STEEL SIDING (SEE DETAILS)	CUSTOM OR SOURCE MATCHING	SEE DETAILS	SEE DETAILS	PVDF KYNAR 500	BLACK 02
GL-01	CLEAR GLASS INSULATED GLAZING UNIT. SEE WINDOW SCHEDULES.	STATE - GUARDIAN GLASS	STATE - GUARDIAN GLASS	N/A	CLEAR	CLEAR
GL-02	TINTED INSULATED GLAZING UNIT. SEE WINDOW SCHEDULES.	STATE - GUARDIAN GLASS	BH11 ETCH	N/A	ETCH DX22 - NON-DIRECTIONAL 5mm DOTS 50 mm x 50 mm APART	GUARDIAN GRAY
GL-10	TEMPERED GLASS GUARD	STATE - GUARDIAN GLASS	CHATEAU LOCAS	METRIC MODULAR	N/A	N/A
MV-01	CLAY BRICK MASONRY VENEER - RIPPING BOND	CANADA BRICK	CHATEAU LOCAS	METRIC MODULAR	N/A	N/A
MV-02	CLAY BRICK MASONRY VENEER - STACK BOND/FLDOR COURSES	CANADA BRICK	CHATEAU LOCAS	METRIC MODULAR	N/A	N/A
PC-01	CLAY BRICK MASONRY VENEER - STACK BOND/FLDOR COURSES	ED'S CONCRETE PRODUCTS	SIL/BANDING	SIL23	STANDARD	STANDARD
PF-E1	EXTERIOR ACRYLIC LATEX PAINT COMPATIBLE W/ GALVANIZED STEEL. COORDINATE SURFACE PREP. W/ GALVANIZING	STATE - GUARDIAN GLASS	TO BE CONFIRMED	N/A	N/A	TO BE CONFIRMED
SG-02	SINGLE PANE MONOCHROMIC OPQUE SPANTEL GLASS. SPECIFY REFER TO OPACIFIER.	N/A	TO BE CONFIRMED	N/A	CIBACAM ENAMEL FRT ON SURFACE 2	TO BE CONFIRMED
WD-01	ALUMINUM PLANK WOOD LOOK SIDING OR SCFIT	LONGBOARD ARCHITECTURAL PRODUCTS	TONGUE & GROOVE	V-GROOVE, 132mm	WOODGRAIN	ROCK ELM - REM

**CLVGROUP**  
DEVELOPMENTS

Client

**CUNLIFFE & ASSOCIATES**  
CONSULTING STRUCTURAL ENGINEERS

structural engineers | Ingénieurs structurels

**GWAL**  
Goodley, Wernick & Associates Ltd

electrical engineers | Ingénieur électrique  
mechanical engineer | Ingénieur mécanique

**wsp**

civil engineers | Ingénieur civil

**CSW**

landscape architect | architecte paysagiste

32	ISSUED FOR SPA REVISION	26-05-04
30	ISSUED FOR C.M. RFP	26-02-06
29	ISSUED FOR REVIEW	25-12-08
28	RE ISSUED FOR CLAZING & WINDOW	25-10-24
27	TRIPLE FINISH	
23	ISSUED FOR ENVELOPE & INTERIOR	25-07-09
21	ISSUED FOR ENVELOPE & INTERIOR	25-06-19
20	ISSUED FOR ENVELOPE & INTERIOR	25-05-30
19	ISSUED FOR ENVELOPE & INTERIOR	25-05-30
18	ISSUED FOR REFERENCE - STRUCTURAL	25-05-16
14	ISSUED FOR SPA	25-01-01
11	ISSUED FOR SPA	24-12-02
10	ISSUED FOR SPA	24-11-20
9	ISSUED FOR SPA	24-08-12
8	ISSUED FOR CLASS 17 ESTIMATE	24-05-13
7	ISSUED FOR CLASS 17 ESTIMATE	24-05-17

no. revisions 0/06

stamp | timbre

**ONTARIO ASSOCIATION OF ARCHITECTS**  
ANDREW REEVES  
LICENCE 6464

architect | architecte

**linebox**  
STUDIO

All dimensions are shown in metric. Contractor shall check and verify all dimensions and report all errors/omissions to the Architect. Do not scale the drawings. Not for construction until signed by the Architect.

project title | titre du projet  
**GLADSTONE AND LORETTA RESIDENTIAL TOWER**

145 LORETTA AVE. N | OTTAWA | ON

**BUILDING ELEVATIONS - WEST AND SOUTH**

project number   numéro du projet	2402
drawn   dessiné	JH / DL / JC / JP
checked   vérifié	JP / AR
scale   échelle	1:200
date   date	02/16/24

drawing number | numéro du dessin  
**A5-100**

Addressed Plans / Plans Addressés: 145 Loretta Ave N, Ottawa, ON  
 2024-05-04 1:07:30 PM

