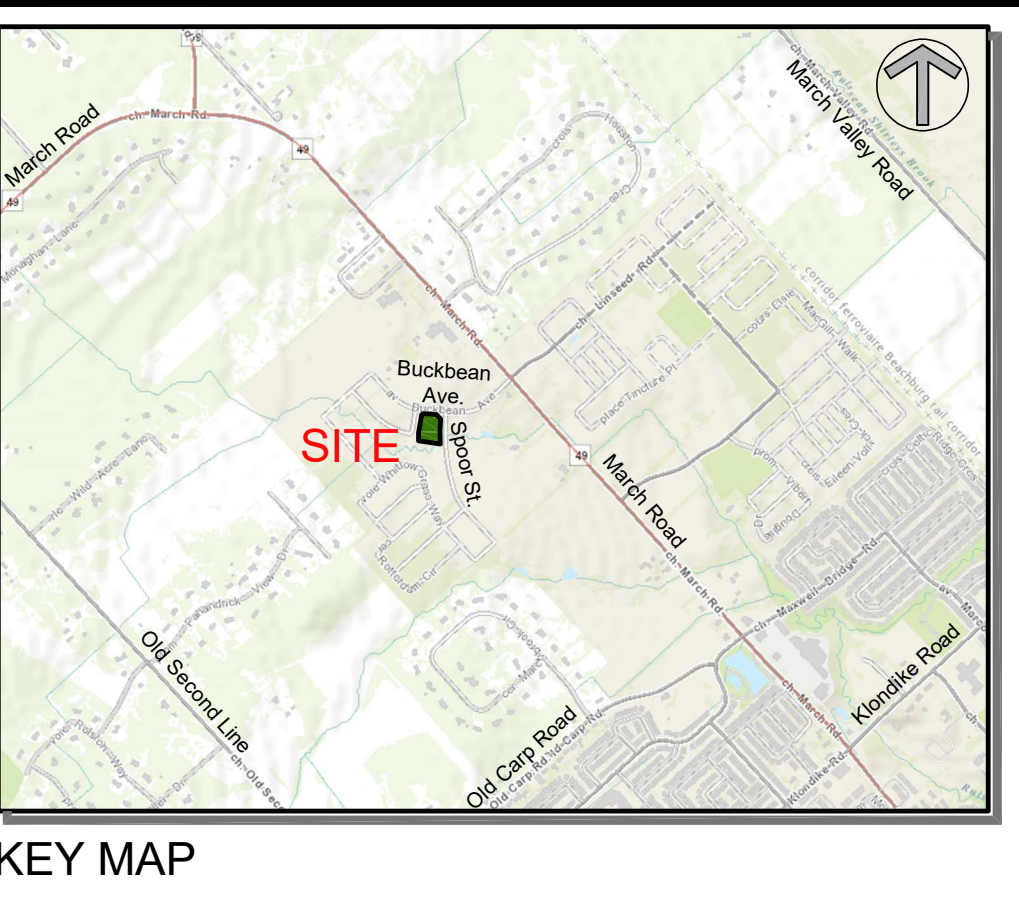
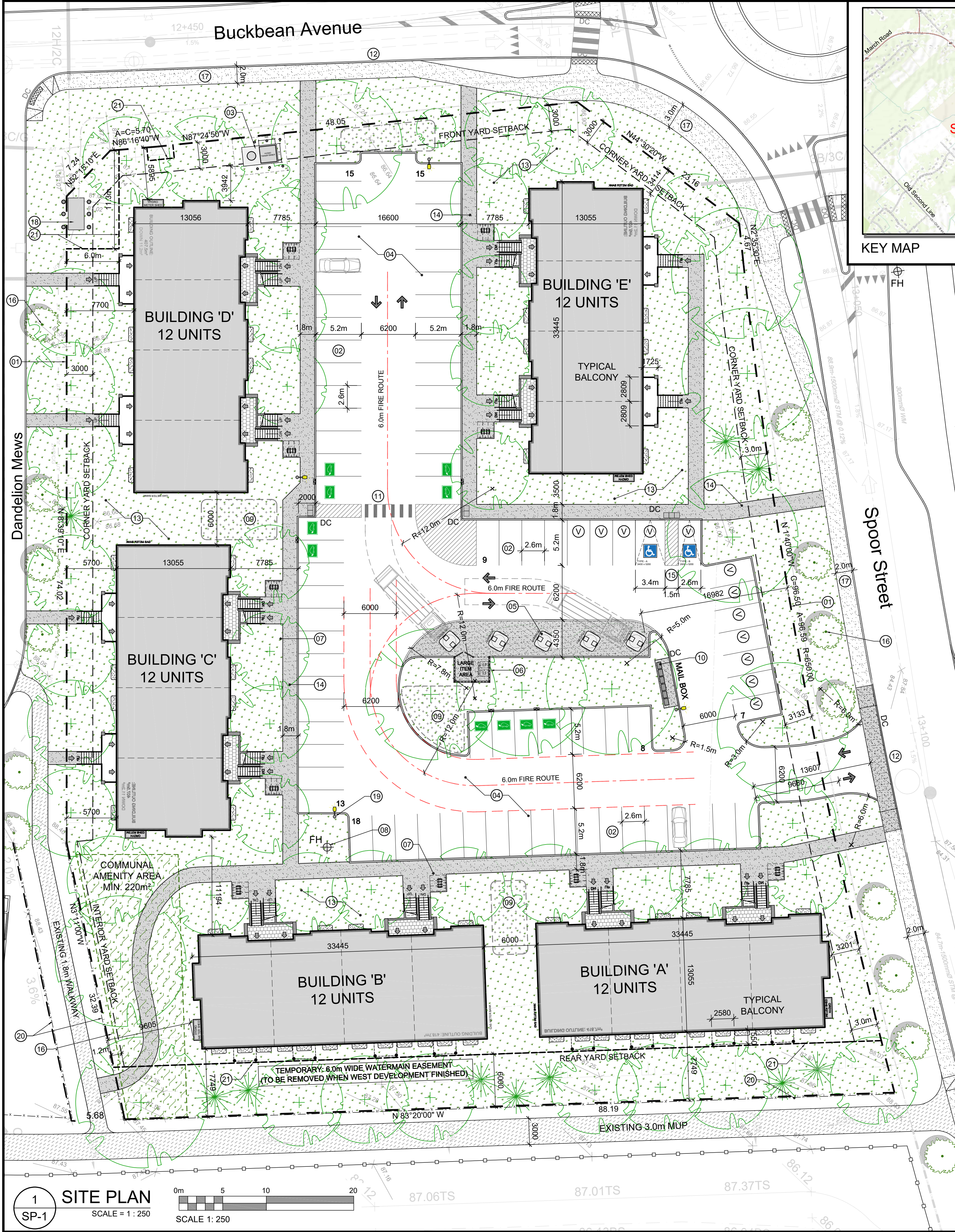




PROJECT INFORMATION			
Zoning By-law 2008-250 / 2026-50	R4Z / N4B	SITE AREA	0.9 ha.
			9,219.4 m ² 99,237 ft ²
ZONING	REQUIRED	PROVIDED	
ZONE: PLANNED UNIT DEVELOPMENT: STACKED STYLE TOWNHOUSE	R4Z / N4B	R4Z / N4B	
BUILDING HEIGHT	14.5m	9.3m	
MINIMUM LOT WIDTH	7.5m	53.8m	
MINIMUM LOT AREA	1,400m ²	9,219.4m ²	
FRONT YARD SETBACK: BUCKBEAN AVENUE	3.0m	5.8m	
CORNER YARD SETBACK: SPOOR STREET & DANDELION MEWS	3.0m	6.8m & 5.7m	
INTERIOR YARD SETBACK: PATHWAY	1.2m	9.6m	
REAR YARD SETBACK	6.0m	7.7m	
BUILDING SETBACK TO A PRIVATE WAY	1.8m	4.8m	
BUILDING SEPARATION (UNDER 14.5m HT.)	1.2m	6.0m	
AMENITY AREA - TOTAL 6.0m ² PER UNIT	360.0m ²	380.0m ²	
AMENITY AREA - 50% COMMUNAL PER UNIT	180.0m ²	220.0m ²	
VEHICLE PARKING: RESIDENTIAL - 1.2 PER UNIT	72	73	
VEHICLE PARKING: VISITOR - 0.2 PER UNIT	12	12	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	30	30	
WALKWAY & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.2m / 6.7m	
MINIMUM WIDTH OF LANDSCAPED AREA - ABUTTING A RESIDENTIAL ZONE	3.0m	9.6m	
MINIMUM WIDTH OF LANDSCAPED AREA - ABUTTING A STREET	3.0m	3.0m	
MINIMUM WIDTH OF LANDSCAPED AREA - AROUND A PARKING LOT	15%	26.5%	
MINIMUM LANDSCAPED AREA - IN A PLANNED UNIT DEVELOPMENT	25%	43.3%	
MINIMUM AGGREGATED SOFT LANDSCAPED AREA - 3.0m SETBACK & LOT WIDTH 12m>	40%	97.5%	

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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Email: sdennis@patersongroup.ca

LEGAL DESCRIPTION
PRELIMINARY 4M-PLAN
BLOCK 73
Geographic Township of March
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

SURVEYOR
Annis O'Sullivan Vollebakk Ltd.
14 Concourse Gate, Suite 500,
Nepean, Ontario K2E 7S6
Tel: (613) 727-0850
E-Mail: TravisH@aovltd.com

- DRAWING NOTES**
- PROPERTY LINE
 - PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
 - PROPOSED HYDRO TRANSFORMER
 - ASPHALT DRIVING SURFACE
 - IN GROUND WASTE / RECYCLING BINS
 - ORGANIC WASTE / OVER SIZED GARBAGE ENCLOSURE 2.0m HIGH OPAQUE SCREEN AROUND PERIMETER
 - BICYCLE PARKING SPACES 0.6m x 1.8m (8) WITH RACK
 - PROPOSED HYDRANT
 - SEASONAL SNOW STORAGE
 - CANADA POST MAIL BOXES ON CONCRETE SURFACE
 - 1.8m WIDE PAINTED CROSSWALK WITH TWSI & DC
 - DEPRESSED STREET CURB & SIDEWALK, CONTINUOUS AND DEPRESSED @ DRIVEWAY
 - SOFT LANDSCAPED AREA, SEE LANDSCAPING
 - 1.8m WIDE CONCRETE WALK
 - ACCESSIBLE PARKING SPACE WITH ACCESS AISLE, DEPRESSED CURB AND TWSI
 - PROPOSED SUBDIVISION TREES TO BE PLANTED BY OTHERS
 - EXISTING CITY SIDEWALK, WIDTH VARIES
 - EXISTING HYDRO TRANSFORMER WITH EASEMENT
 - LIGHT POLE: LOCATION TO BE CONFIRMED BY ELEC.
 - EXISTING CHAIN LINK FENCE TO REMAIN, ALTER AS REQUIRED FOR NEW CONNECTION PATH
 - EXISTING UTILITY EASEMENT

- SITE PLAN SYMBOLS**
- CONCRETE UNIT PAVERS PATIOS
 - SOFT LANDSCAPING
 - COMMUNAL AMENITY SPACE
 - SNOW STORAGE
 - CONCRETE WALK / PATH
 - BIKE RACK / BIKE PARKING SPOT (0.6 x 1.8m)
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - PROPERTY LINE
 - ZONING SETBACKS
 - STANDARD PARKING SPACE 2.6m x 5.2m
 - VISITOR PARKING SPACE 2.6m x 5.2m
 - ELECTRICAL VEHICLE READ PARKING SPACE WITH CHARGING POST
 - ACCESSIBLE PARKING SPACE WITH 1.5 AISLE DEPRESSED CURB & TWSI

GROSS BUILDING - AREAS	
(CITY OF OTTAWA'S DEFINITION)	
PROPOSED BUILDING 'A'	1,256.0 m ² 13,520 ft ²
PROPOSED BUILDING 'B'	1,256.0 m ² 13,520 ft ²
PROPOSED BUILDING 'C'	1,256.0 m ² 13,520 ft ²
PROPOSED BUILDING 'D'	1,256.0 m ² 13,520 ft ²
PROPOSED BUILDING 'E'	1,256.0 m ² 13,520 ft ²
TOTAL PROPOSED AREA	6,280.0 m ² 67,600 ft ²

UNIT STATISTICS	
2 BEDROOM UNIT	60

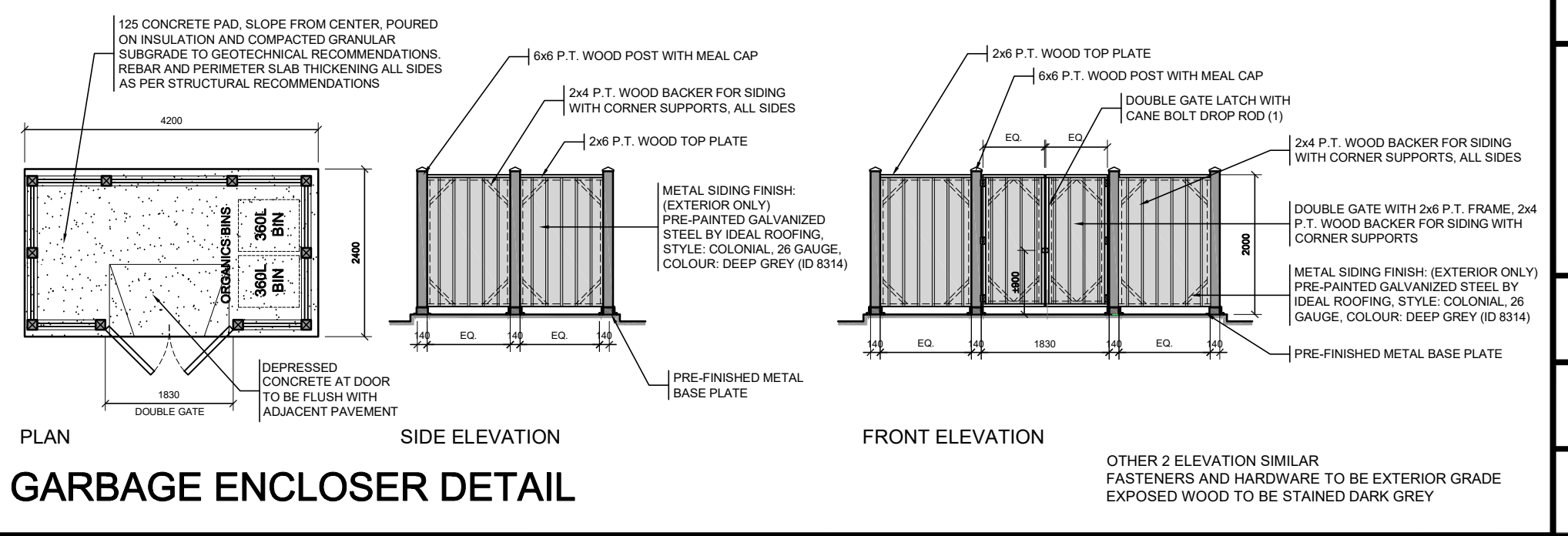
CAR PARKING	
REQUIRED BY ZONING BY-LAW	
RESIDENCE	- 1.2 PER UNIT 72
VISITOR	- 0.2 PER DWELLING UNIT 12
TOTAL	84
PROVIDED	
RESIDENCE	- 1.2 PER UNIT 73
VISITOR	- 0.2 PER DWELLING UNIT 12
TOTAL	85

BICYCLE PARKING	
REQUIRED	
	- 0.5 PER UNIT 30
PROVIDED	
	30

WASTE COLLECTION	
GUIDELINES	
GARBAGE	- 0.231 YARDS ³ / UNIT 13.9 YARDS ³
RECYCLING (GMP)	- 0.018 YARDS ³ / UNIT 1.1 YARDS ³
RECYCLING (FIBRE)	- 0.062 YARDS ³ / UNIT 3.7 YARDS ³
ORGANICS	- 240L CONTAINER / 50 UNITS 1.2 x 240L

AMENITY REQUIREMENT	
REQUIRED AMENITY SPACE	
6.0 m ² PER UNIT =	360.0 m ²
50% COMMUNAL AMENITY AREA =	180.0 m ²
PROVIDED AMENITY SPACE	
16 BALCONIES @ 4.0 m ² =	64.0 m ²
24 BALCONIES @ 4.8 m ² =	115.2 m ²
COMMUNAL EXTERIOR AREA =	220.0 m ²
TOTAL =	399.2 m ²

SITE COVERAGE	
BUILDING FOOTPRINT =	22.7% 2,093.5 m ²
DRIVING SURFACE =	27.2% 2,509.3 m ²
LANDSCAPE AREA =	50.1% 4,616.6 m ²
TOTAL =	100.0% 9,219.4 m ²
HARD SURFACE WALK AREA =	6.7% 621.0 m ²
SOFT LANDSCAPE AREA =	43.3% 3,995.6 m ²



REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR PRELIMINARY REVIEW	2026 01 13

ARCHITECT SEAL:
ONTARIO ASSOCIATION OF ARCHITECTS
CLARIDGE HOMES
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roderick lahey architect inc.
56 beach street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

CLIENT:
CLARIDGE HOMES

PROJECT TITLE:
COPPERWOOD ESTATES

1100 SPOOR STREET
BLOCK 73: NORTH KANATA

OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN

DRAWN:
R.V.

CHECKED:
RV

SCALE:
1:250

PROJECT No.:
2513

SHEET No.:
SP-1