ELMWOOD SENIOR SCHOOL ADDITION

261 Buena Vista Rd. - Ottawa, ON - K1M 0V9

ISSUE FOR SITE PLAN CONTROL
17 APRIL, 2026

PROJECT OVERVIEW

Farrow Partners has been involved with Elmwood since 2017 when we developed a strategic facilities master plan for the school. Growing out of this master plan, this proposed addition to the existing Senior School building includes:

- A new front entrance court and lobby, with lounge and improved reception
- A flexible combination Performing Arts Center/Gymnasium with a seating capacity of 240, with lower-level support spaces including green room and dressing rooms
- A ground level flexible fitness/athletics room overlooking the North playing field
- Lower level athletics office and change rooms accessible from the playing field
- Four new classrooms on the second level, overlooking the playing field
- Improvement of the arrival from Buena Vista Road by introducing a wide pavestone pathway, necessitating shifting of the parking exit lane further east and removal of 4 parking stalls

Guided by the school's Strategic Direction, this addition is a key step forward for the school's variety and quality of educational, artistic, and athletic opportunities. The new performing arts, athletics, and learning spaces are much needed by the current student body and faculty. Existing occupancy of the Senior School building includes 253 Students and 55 Staff. The project's intent is not to provide additional spaces for increased enrollment.

HERITAGE FACTORS

The proposed addition has been designed to sit sensitively within the Rockliffe Park Heritage Conservation District and pair harmoniously with the existing Tudor building to establish a new and coherent architectural character. Without attempting to falsely recreate the historic character of the existing Tudor Senior School (by timbering upper wall areas or adding gables, for example), the addition takes cues from the building's distinctive proportions, materiality, and timber ornamentation to establish a new architectural character that is coherent with the existing. Any interference with the front façade or the street frontage of the existing building has been avoided.

Following a Heritage Pre-Application Meeting on 3 November 2025, the City Heritage staff have been supportive of the design approach of the proposed addition. Several comments were returned and have been addressed in the current revision presented here.

FARROW PARTNERS
ARCHITECT
CONTACT:
Christopher Blackwell
t: 416-966-3666
e: christopherb@farrowpartners.ca

LEA Consulting Ltd.
STRUCTURAL
CONTACT:
Ryan Brown
t: 647-979-5745
e: rbrown@lea.ca

WSP
MECHANICAL & ELECTRICAL
CONTACT:
Langdon Liebregts
t: 613-690-3818
e: langdon.liebregts@wsp.com

Shawn Schwendemann
t: 613-690-3826
e: shawn.schwendemann@wsp.com

WSP
CIVIL
CONTACT:
Winston Yang
t: 613-829-2800
e: winston.yang@wsp.com

QUINN DESIGN ASSOCIATES
LANDSCAPE
CONTACT:
MIKE FLINT
t: 647-923-8827
e: mflint@quinndesign.ca

LIST OF DRAWINGS

1	A101_SPA	DEMOLITION SITE PLAN
2	A102_SPA	SITE PLAN
3	A103a_SPA	PRELIMINARY CONSTRUCTION MANAGEMENT PLAN-PHASE A
4	A103b_SPA	PRELIMINARY CONSTRUCTION MANAGEMENT PLAN-PHASE B
5	A201_SPA	BASEMENT LEVEL PLAN
6	A202_SPA	GROUND LEVEL PLAN
7	A203_SPA	SECOND LEVEL PLAN
8	A204_SPA	ROOF PLAN
9	A301_SPA	EXISTING ELEVATIONS - DEMOLITION
10	A302_SPA	BUILDING ELEVATIONS

1 SCOPE OF WORK
1 : 500

RENDER OF PROPOSED MAIN ENTRY

AERIAL VIEW OF EXISTING SITE AND BUILDINGS

NO.	DATE	REVISION / ISSUANCE
1	2025 08 05	ISSUE FOR COORDINATION
2	2025 08 27	ISSUE FOR REVIEW
3	2025 10 07	ISSUE FOR COSTING
4	2025 12 03	ISSUE FOR SITE PLAN CONTROL PRE-CONSULTATION
5	2026 03 13	ISSUED FOR SITE PLAN CONTROL
6	2026 04 17	ISSUED FOR SPA
7	2026-07-01	ISSUED FOR SPA RESUBMISSION

KEY PLAN

LEGEND

- PROPERTY LINE
- AREA OF PHASE A PROPOSED WORK
- PROPOSED ADDITION
- EXISTING BUILDING

Project North

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN (Building Code Designation Number).

Farrow
79 St. Clair Ave. East, Suite 206
Toronto, ON, Canada
M4T 1M5
Ontario Association of Architects COP #5388

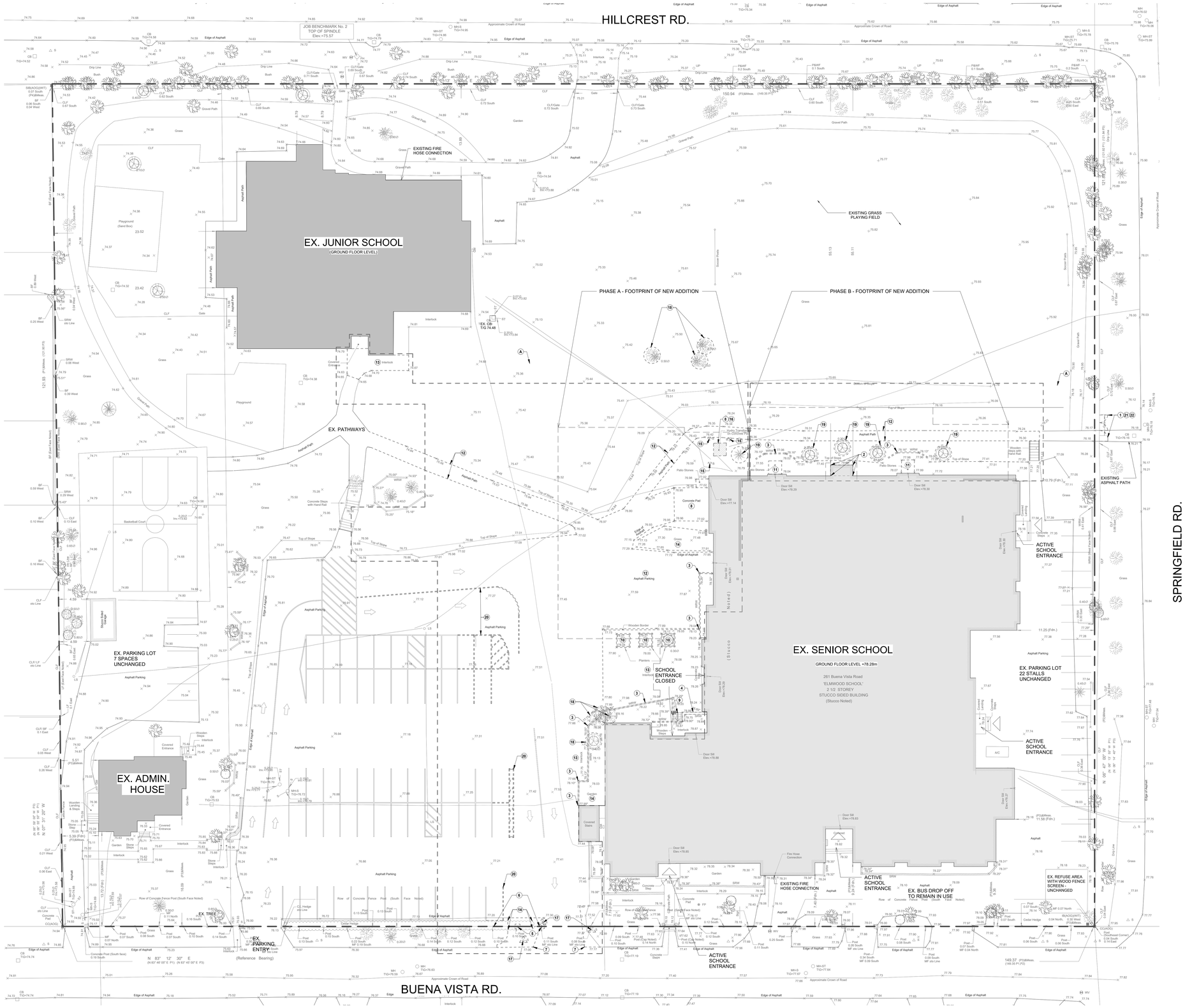
ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

261 BUENA VISTA RD. - OTTAWA, ON K1M 0V9

Plan Number	19490
Application Number:	D07-12-26-0027
Project Number	17002
Prepared by	YE / KO
Reviewed by	CB
Scale	As indicated
Drawing title	COVER PAGE
Sheet no.	A000_SPA

Application Number:	D07-12-26-0027
Project Number	17002



NO.	DATE	REVISION / ISSUANCE
1	2024 03 13	ISSUED FOR SITE PLAN CONTROL
2	2024 04 17	ISSUED FOR SPA
3	2026-07-01	ISSUED FOR SPA RESUBMISSION

LEGEND

- PROPERTY LINE
- EXISTING ITEM TO REMAIN
- ITEM TO BE DEMOLISHED
- AREA OF PHASE A PROPOSED WORK
- AREA OF PHASE B PROPOSED WORK
- EXISTING BUILDING FOOTPRINT
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE DEMOLISHED
- B — EXISTING BOLLARD TO BE DEMOLISHED
- EXISTING POST TO BE DEMOLISHED
- WV — EXISTING WATER VALVE
- MH-S — EXISTING MAINTENANCE HOLE (STORM SEWER)
- MH-ST — EXISTING MAINTENANCE HOLE (SANITARY)
- ST — EXISTING UNDERGROUND STORM SEWER
- S — EXISTING UNDERGROUND SANITARY SEWER
- W — EXISTING UNDERGROUND WATER
- P — EXISTING UNDERGROUND POWER
- G — EXISTING UNDERGROUND GAS
- B — EXISTING UNDERGROUND BELL
- OHW — EXISTING OVERHEAD WIRES
- CB — EXISTING CATCH BASIN
- GM — EXISTING GAS METER
- S — EXISTING SIGN
- WRW — EXISTING WOODEN RETAINING WALL
- SRW — EXISTING STONE RETAINING WALL
- LS — EXISTING LIGHT STANDARD
- B — EXISTING BOLLARD
- EXISTING POST

DEMOLITION NOTES

NOTES AS INDICATED BY SYMBOL (1)

1. REFER TO LANDSCAPE DRAWINGS.
2. DEMOLISH THE EXISTING EXTERIOR WALL.
3. DEMOLISH THE EXISTING WOODEN RETAINING WALL.
4. DEMOLISH THE EXISTING STONE RETAINING WALL.
5. DEMOLISH THE EXISTING POST.
6. DEMOLISH PORTION OF THE EXISTING FENCE TO ACCOMMODATE NEW DRIVE.
7. INSTALL NEW ASPHALT PAVING WHERE EXISTING ASPHALT DISTURBED BY WORK.
8. REMOVE THE EXISTING CONCRETE PAD.
9. DEMOLISH THE EXISTING WOODEN STEPS.
10. DEMOLISH THE EXISTING PLANTERS.
11. NOT IN USED.
12. REMOVE THE EXISTING ASPHALT.
13. REMOVE THE EXISTING INTERLOCK.
14. REMOVE THE EXISTING GARDEN.
15. DEMOLISH THE EXISTING BOLLARDS.
16. RELOCATE THE EXISTING HYDRO TRANSFORMER. COORDINATE WITH ELECTRICAL
17. RELOCATE THE EXISTING SIGN TO NEW DRIVE.
18. REMOVAL DEAD TREE PER ARBORIST.
19. REMOVAL OF TREE FOR NEW ADDITION.
20. REMOVE THE EXISTING PARKING PAINTED LINES FOR NEW CONFIGURATION.
21. DURING CONSTRUCTION - MAINTAIN THE EXISTING GATES FOR VEHICULAR ACCESS TO THE SCHOOL.
22. AFTER COMPLETION OF PHASE B, REMOVE THE EXISTING GATES TO INCORPORATE NEW TREES AND FENCE.

HOARDING NOTES

A. EXACT LOCATION OF HOARDING TO BE DETERMINED ON SITE WITH GENERAL CONTRACTOR, CONSULTANT AND OWNER.

B. COORDINATE ANY WORK OUTSIDE OF HOARDING REQUIRED FOR RELOCATION OF SERVICES WITH CONSULTANT AND OWNER.

Project North

TORUNSKI ASSOCIATES ARCHITECTS
Corporation of Architects
Ontario
Member

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN (Building Code Designation Number).

Farrow
79 St. Clair Ave. East, Suite 205
Toronto, ON, Canada
M4T 1M8
Ontario Association of Architects COP #3388

ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

261 BUENA VISTA RD. - OTTAWA, ON K1M 0V9

Plan Number:	19489
Application Number:	007-12-26-0027
Project Number	17002
Prepared by	KO
Reviewed by	CB
Scale	1 : 200

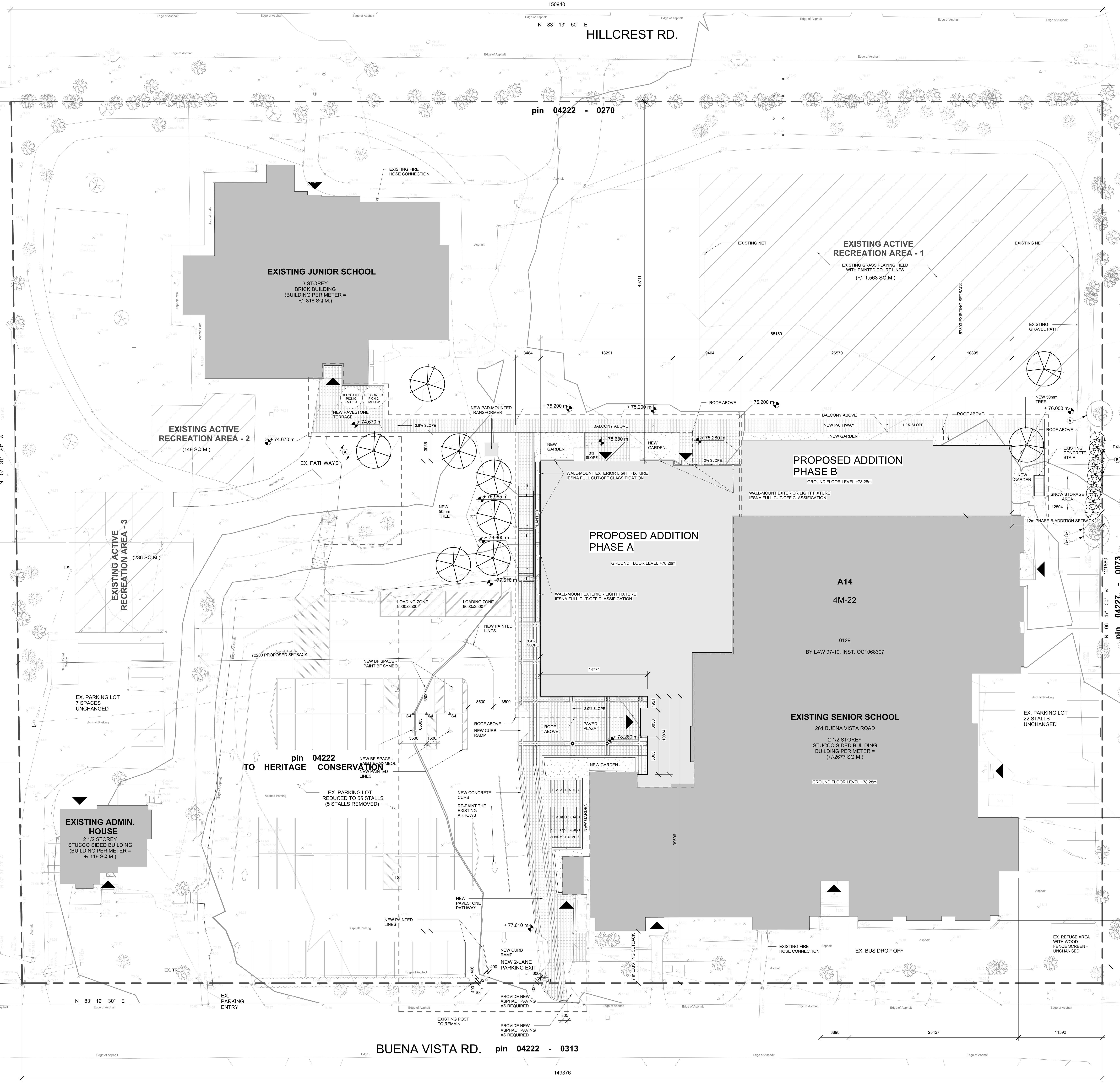
Drawing title

DEMOLITION SITE PLAN

Sheet no.

A101_SPA

Application Number:	007-12-26-0027
Project Number	17002



1 SITE PLAN.
1 : 200

ZONING COMPLIANCE CHART

A. Project Information

Review Date:	17-Nov-25	Official Plan Designation:	Special Use
Municipal Address:	261 Buena Vista Dr.	Legal Description:	Parcel 26-1, Section 4M-55; being Lots 26 and 27 on Plan 4M-55; Part of Block A14, on Plan 4M 22 PID: 04222-0129 LT
Scope of Work:	The proposal includes a new entrance lobby, reception, and lounge adjacent to the existing Buena Vista Road parking lot; a double-height gymnasium with flexible performance center capabilities; and at the rear a new fitness/athletics studio and four new classrooms all overlooking the existing playing field to the north.		
Existing Zoning Code:	I1A (by-law 2008-250) INZ (by-law 2026-50)	By-law Number:	2008-250 2026-50
Schedule 1 / 1A Area:	Area C / Area X: Inner Urban	Overlays Applicable:	Rockliffe Park Heritage Conservation District
Senior School Existing GFA:	5424 m²		
Senior School Addition GFA:	2065 m²		
Junior School Existing GFA:	2457 m2		
Heads House Existing GFA:	357 m2		
Garage Existing GFA:	23 m2		
Total GFA:	10,326 m²		

B. Zoning Review

Note: it is understood that the requirements of both Zoning By-law 2008-250 and By-law 2026-50 apply and have been included here.

Zoning Provision	By-law Requirement or Applicable Section, Exception, or Schedule Reference	Proposal	Compliant (Y//N)
Principal Land Use	Various incl. School In accordance with by-laws 2008-250 and 2026-50	School	Y
Lot Width	15m min. In accordance with by-laws 2008-250 and 2026-50	149.376m	Y
Lot Area	400m² min. In accordance with by-laws 2008-250 and 2026-50	18,212m²	Y
Front Yard Set Back	4.5m In accordance with by-laws 2008-250 and 2026-50	12m (Springfield Road)	Y
Corner Side Yard Setback	3m In accordance with by-laws 2008-250 and 2026-50	6.8m (Buena Vista Road, Unchanged)	Y
Interior Side Yard Setback	7.5m In accordance with by-laws 2008-250 and 2026-50	46.828m (Hillcrest Road)	Y
Rear Yard Setback	7.5m In accordance with by-laws 2008-250 and 2026-50	72.224m (Manor Ave)	Y
Lot Coverage F.S.I.	35% In accordance with by-law 2008-250 (most restrictive)	27%	Y (see comment A)
Building Height	15m min. In accordance with by-laws 2008-250 and 2026-50	12m	Y
Accessory Buildings	N/A In accordance with by-laws 2008-250 (Section 55) and by-law 2026-50 (Part 2 table 202)	N/A	Y
Projections into Height Limit	N/A In accordance with by-law 2008-250 (Section 64) and by-law 2026-50(Part 2 Section 203)	N/A	Y
Projections into Required Yard Section 65	N/A In accordance with by-laws 2008-250 (Section 65) and by-law 2026-50 (Part 2 Section 204)	N/A	Y
Required Parking Spaces	N81: 0.75 per junior school classroom (13); 1.25 per senior school classroom (30 ex. + 4 proposed) In accordance with by-law 2008-250 (Sections 101 and 103)(most restrictive)	84 Total Existing Parking Stalls	Y (see comment B)
Visitor Parking Spaces	N/A In accordance with by-laws 2008-250 (Section 102) and by-law 2026-50 (Part 6 Section 603)	N/A	Y
Size of Space	N/A In accordance with by-laws 2008-250 (Section 105 and 106) andby-law 2026-50 (Part 6 Section 605)	N/A	Y
Driveway Width	N/A In accordance with by-laws 2008-250 (Section 107) and by-law 2026-50 (Part 6 Section 607)	N/A	Y
Aisle Width	N/A In accordance with by-laws 2008-250 (Section 107) and by-law 2026-50 (Part 6 Section 607)	N/A	Y
Location of Parking	N/A In accordance with by-laws 2008-250 (Section 109) and by-law 2026-50 (Part 6 Section 604)	N/A	Y
Refuse Collection Section 110	By-law 2008-250 Section 110 (3)(a),(b),(c)	Existing Refuse Loading Area to remain	N (see comment C)
Bicycle Parking Rates Section 111	includes 10 stalls + 2 per classroom (4 stalls) = 18 stalls In accordance with by-law 2026-50 (Part 6 Section 613) 21 new spaces have been accommodated	15 Bicycle Stalls existing	Y
Accessible Parking Space Provision Requirements	Total Parking: 76-100 Spaces = 4 Accessible Spaces provided (2 Type A, 2 Type B) In accordance with 2008-250 bylaw (Section 112) and Trafffic and Parking By-law 2017-30 (Part C section 112)	2 Type A, 2 Type B	Y
Amenity Space	N/A In accordance with by-laws 2008-250 (Section 137) and by-law 2026-50 (Part 2 Section 208)	N/A	Y
Loading Section 610	2 In accordance with by-laws 2008-250 (Section 610) and by-law 2026-50 (Part 6 Section 610)	2	Y

E. Comments / Calculations

A) Note to Lot Coverage F.S.I.: Calculation	EXISTING JUNIOR SCHOOL FOOTPRINT EXISTING HEAD'S HOUSE FOOTPRINT EXISTING GARAGE FOOTPRINT EXISTING SENIOR SCHOOL FOOTPRINT PROPOSED ADDITION FOOTPRINT TOTAL NEW FOOTPRINT MAXIMUM LOT COVERAGE PROPOSED LOT COVERAGE AVAILABLE LOT COVERAGE Note: 2008-250 by-law in effect (most restrictive) as by-law 2026-50 does not have lot coverage FSI for Institutional Zones (2026-50 Part 11 table 1101)	826 m² 122 m² 23 m² 2733 m² 1312.5 m² 826 + 122 + 23 + 2733 + 1230 = 5016.5 m² 35% = 6455.4 m² 27% = 5016.5 m² 8% = 1438.9 m²
B) Note to Required Parking Spaces: Calculation	Junior School classroom count : 13 Senior School classroom count: 30 Senior School Addition Phase B new classroom count : 4 0.75 x 13 junior school classrooms = 9.75 parking spots 1.25 x (30+4) senior school classrooms = 42.5 parking spots Note: The 2008-250 parking provision to be used as it is most restrictive. 2026-50 by-law ammendment removed minimum parking space requirements.	*42.5+9.75=52.25* ***53 Parking Stalls Required***
C) Refuse Collection Section 110: Comment	***Comment:*** *Existing refuse area is ideally situated and entirely shielded from view by both a wood screen enclosure more than 2m in height and by ample planting. Relocation of this refuse area would diminish the ease of refuse loading and the architectural presence of both the existing heritage school and the new addition. It is not anticipated that the new additions will impact current garbage production, storage, or collection.*	
D) Note to Bicycle Parking Rates: Calculation	**Note:** 2026-50 by-law in effect as its ammendment for inclusive stalls makes it more restrictive than by-law 2008-250 bicycle stall requirements of 1stall/100sm. 21 Bicycle Stalls have been accommodated	

BUILDING CODE DATA
Occupancy Type A Division 2

BUILDING SIZE & CONSTRUCTION TYPE
3.2.2.24.

REQUIRED EXITS

Lower Level	Required: 2	Provided: 2
Ground Level	Required: 2	Provided: 5
Second Level	Required: 2	Provided: 4

PARKLAND DEDICATION - CALCULATIONS

1. THE EXISTING GROSS LAND AREA = 18,304 SQ.M.
2. THE GROSS FLOOR AREA OF THE PROPOSED DEVELOPMENT = 2,065 SQ.M.
3. THE GROSS FLOOR AREA OF THE EXISTING DEVELOPMENT = +/- 7,228 SQ.M. APPROX.
4. THE PROPORTION OF DEVELOPMENT PROPOSED ON SITE (PROPOSED GFA % SITE AREA x 100) = +/- 11.28 % APPROX.

PARKLAND DEDICATION - 5 %

4. 5% OF THE GROSS LAND AREA = 915 SQ.M.
NOTE: THE EXISTING OUTDOOR AMENITY SPACES ARE PROPOSED TO REMAIN. THE EXISTING AMENITY AREAS EXCEEDS THE REQUIRED 5% OF PARKLAND DEDICATION.

OUTDOOR AMENITY SPACES

1. EXISTING ACTIVE RECREATION AREA - 1 = 1,563 SQ.M.
2. EXISTING ACTIVE RECREATION AREA - 2 = 149 SQ.M.
3. EXISTING ACTIVE RECREATION AREA - 3 = 236 SQ.M.

TOTAL AREA = 1,948 SQ.M.

NO.	DATE	REVISION / ISSUANCE
1	2025 12 03	ISSUE FOR SITE PLAN CONTROL PRE-CONSULTATION
2	2026 03 13	ISSUED FOR SITE PLAN CONTROL
3	2026 04 17	ISSUED FOR SPA
4	2026-07-01	ISSUED FOR SPA RESUBMISSION

SURVEY INFORMATION

TOPOGRAPHICAL PLAN SURVEY OF

LOTS 26 AND 27
REGISTERED PLAN 4M-55
PART OF BLOCK A14
REGISTERED PLAN 4M-22
CITY OF OTTAWA

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
DATED: SEPTEMBER 07, 2018

SURVEYOR'S ADDRESS: 14 CONCOURSE GATE, SUITE 500. NEPEAN, ONTARIO K2E 7S6

Scale 1 : 200

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- PROPERTY LINE
- EXISTING ITEM TO REMAIN
- NEW SITE ITEM
- AREA OF PHASE A PROPOSED WORK
- AREA OF PHASE B PROPOSED WORK
- EXISTING BUILDING FOOTPRINT
- EXISTING CONVEYANCE PARKLAND
- PROPOSED ADDITION FOOTPRINT
- PROPOSED PAVING
- GARDEN BED
- EXISTING TREE
- PROPOSED TREE
- EXISTING UTILITY LINE
- WV EXISTING WATER VALVE
- MH-S EXISTING MAINTENANCE HOLE (STORM SEWER)
- MH-ST EXISTING MAINTENANCE HOLE (SANITARY)
- ST EXISTING UNDERGROUND STORM SEWER
- S EXISTING UNDERGROUND SANITARY SEWER
- W EXISTING UNDERGROUND WATER
- P EXISTING UNDERGROUND POWER
- G EXISTING UNDERGROUND GAS
- B EXISTING UNDERGROUND BELL
- OHW EXISTING OVERHEAD WIRES
- CB EXISTING CATCH BASIN
- GM EXISTING GAS METER
- S EXISTING SIGN
- WRW EXISTING WO0DEN RETAINING WALL
- SRW EXISTING STONE RETAINING WALL
- LS EXISTING LIGHT STANDARD
- S1 EXISTING RELOCATED DIRECTIONAL AND EXIT SIGNS, REFER TO DETAIL D100
- S2 EXISTING RELOCATED "DO NOT ENTER" SIGN, REFER TO DETAIL D101
- S3 EXISTING RELOCATED "NO STOPPING" SIGN, REFER TO DETAIL D102
- S4 NEW "ACCESSIBLE PARKING" SIGNS, REFER TO DETAIL D103
- ACTIVE SCHOOL ENTRANCE

NOTES

NOTES AS INDICATED BY SYMBOL (X)

A. PROVIDE TREE PROTECTION FENCING FOR EXISTING TREES ADJACENT TO AFFECTED AREA.

B. PROVIDE NEW FENCE SIMILAR TO EXISTING. READ IN CONJUNCTION WITH DEMOLITION SITE PLAN.

Project North

ONTARIO ASSOCIATION OF ARCHITECTS 2026 June 30 LICENCE

The architect noted above has exercised responsible control with respect to design activties. The architect's seal sumber is the architect's BCDN (Building Code Designation Number).

Farrow
79 St. Clair Ave. East, Suite 206
Toronto, ON, Canada
M4T 1M6
Ontario Association of Architects COP #5388

ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

261 BUENA VISTA RD. - OTTAWA, ON K1M 0V9

Plan Number:	19480
Application Number:	D07-12-26-0027
Project Number	17002
Prepared by	KO
Reviewed by	CB
Scale	As indicated
Drawing title	SITE PLAN
Sheet no.	A102_SPA
Application Number:	D07-12-26-0027
Project Number	17002

HILLCREST RD.

EXISTING FIRE HOSE CONNECTION

EXISTING GRASS PLAYING FIELD

EX. JUNIOR SCHOOL

(GROUND FLOOR LEVEL)

6. MATERIAL STORAGE.

Material Storage/ Laydown

46530

7. WASTE.

Garbage Bins

Worker Parking

Portable Toilets

5. TEMPORARY PORTABLE TOILETS.

Site Trailers

4. SITE OFFICES @ CONSTRUCTION SITE TRAILER.

Worker Parking

Gate 1
Small Deliveries Only. Gate to limit access to construction site during regular hours. Fence to be closed to allow foot access from school to gate exit during off hours.

EXISTING ASPHALT PATH

8. GATE.

Access and Egress Route

Foot traffic from existing building for egress.

EX. SCHOOL ENTRANCE CLOSED

PROPOSED ADDITION PHASE A

GROUND FLOOR LEVEL +78.28m

BALCONY ABOVE

ROOF ABOVE

NEW GARDEN

2% SLOPE

PLANTER

EXISTING CONCRETE STAIR

EX. SENIOR SCHOOL

GROUND FLOOR LEVEL +78.28m

EX. PARKING LOT 22 STALLS UNCHANGED

EX. PATHWAYS

NEW PAVESTONE TERRACE

2.8% SLOPE

NEW PAD-MOUNTED TRANSFORMER

NEW 50mm TREE

LOADING ZONE 6000x3500

12. minimum distance required

Overhead Protection

New line painting to accommodate flow of traffic. Accessible parking spots to be relocated.

NEW BF SPACE - PAINT BF SYMBOL

NEW PAINTED LINES

NEW CURB RAMP

3.9% SLOPE

PAVED PLAZA

78.280 m

EX. SCHOOL ENTRANCE CLOSED

EX. PARKING LOT 7 SPACES UNCHANGED

EX. PARKING LOT REDUCED TO 55 STALLS (5 STALLS REMOVED)

NEW CONCRETE CURB

RE-PAINT THE EXISTING ARROWS

21 BICYCLE STALLS

NEW GARDE

Gate 2
Large Deliveries

8. GATE.

NEW PAVESTONE PATHWAY

EX. SCHOOL ENTRANCE CLOSED

NEW PAINTED LINES

NEW CURB RAMP

NEW 7-LANE PARKING EXIT

EX. ADMIN. HOUSE

EX. TREE

EX. PARKING ENTRY

EXISTING POST TO REMAIN

PROVIDE NEW ASPHALT PAVING AS REQUIRED

7 m EXISTING SETBACK

EXISTING FIRE HOSE CONNECTION

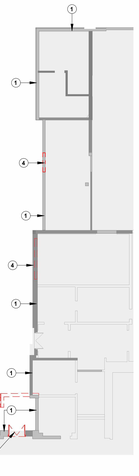
EX. BUS DROP OFF 2

EX. REFUSE AREA WITH WOOD FENCE SCREEN - UNCHANGED

BUENA VISTA RD.

SPRINGFIELD RD.

1 PROPOSED SITE PLAN - PHASE A
1 : 200



2 PART GROUND PLAN DEMOLITION - PHASE A
1 : 200

PRELIMINARY CONSTRUCTION MANAGEMENT PLAN - SECTION 2

1. Will construction require the temporary detour of a bus route?
   NO
2. Will this work block a bike lane?
   NO
3. Will this work block a sidewalk?
   NO
4. Will this work require a lane of traffic to be closed?
   NO

NO.	DATE	REVISION / ISSUANCE
1	2026 03 13	ISSUED FOR SITE PLAN CONTROL
2	2026 04 17	ISSUED FOR SPA

LEGEND

- PROPERTY LINE
- EXISTING ITEM TO REMAIN
- CONSTRUCTION FENCE
- EXISTING BUILDING FOOTPRINT
- PROPOSED ADDITION FOOTPRINT - PHASE A
- PROPOSED PAVING
- GARDEN BED
- EXISTING TREE
- PROPOSED TREE
- EXISTING UTILITY LINE
- WV EXISTING WATER VALVE
- MH-S EXISTING MAINTENANCE HOLE (STORM SEWER)
- MH-ST EXISTING MAINTENANCE HOLE (SANITARY)
- ST EXISTING UNDERGROUND STORM SEWER
- S EXISTING UNDERGROUND SANITARY SEWER
- W EXISTING UNDERGROUND WATER
- P EXISTING UNDERGROUND POWER
- G EXISTING UNDERGROUND GAS
- B EXISTING UNDERGROUND BELL
- OHW EXISTING OVERHEAD WIRES
- CB EXISTING CATCH BASIN
- GM EXISTING GAS METER
- S EXISTING SIGN
- WRW EXISTING WOODEN RETAINING WALL
- SRW EXISTING STONE RETAINING WALL
- LS EXISTING LIGHT STANDARD
- S1 EXISTING RELOCATED DIRECTIONAL AND EXIT SIGNS. REFER TO DETAIL D100
- S2 EXISTING RELOCATED "DO NOT ENTER" SIGN. REFER TO DETAIL D101
- S3 EXISTING RELOCATED "NO STOPPING" SIGN. REFER TO DETAIL D102
- S4 NEW "ACCESSIBLE PARKING" SIGNS, REFER TO DETAIL D103
- ACTIVE SCHOOL ENTRANCE

GENERAL NOTES

NOTES AS INDICATED BY SYMBOL X

1. EXISTING SITE ENTRANCES TO REMAIN IN USE, UNLESS NOTED OTHERWISE.
2. BUS LOOP TO REMAIN IN USE.
3. VISITOR AND STAFF PARKING TO REMAIN AS NOTED.
4. SITE OFFICES @ CONSTRUCTION SITE TRAILER.
5. TEMPORARY PORTABLE TOILETS.
6. MATERIAL STORAGE.
7. WASTE.
8. GATE.
9. TEMPORARY PARKING ENTRANCE AND EXIT.

PHASE A - NOTES

NOTES AS INDICATED BY SYMBOL X

1. EXISTING EXTERIOR WALL TO REMAIN.
2. REFER TO THE PROPOSED BASEMENT PLAN. EXCAVATION BEGINS.
3. PROVIDE UNDERGROUND SERVICES.
4. DEMOLISH ITEMS NOTED ON THE PART - DEMOLITION PLAN 2/A103a AND THE ELEVATIONS - DEMOLITION SHOWN ON DRAWING SHEET A301.
5. COMPLETE PROPOSED WORK AT THE EXTERIOR ELEVATIONS. REFER TO THE PROPOSED ELEVATIONS SHOWN ON DRAWING SHEET A302.
6. COMPLETE ALL SITE WORK IN THIS AREA - NEW TREES, GARDEN, PATHWAYS, EXTERIOR STAIR, ETC. REFER TO LANDSCAPE DRAWINGS.
7. RELOCATE THE EXISTING DOOR.

HOARDING NOTES

A. EXACT LOCATION OF HOARDING TO BE DETERMINED ON SITE WITH GENERAL CONTRACTOR, CONSULTANT AND OWNER.

B. COORDINATE ANY WORK OUTSIDE OF HOARDING REQUIRED FOR RELOCATION OF SERVICES WITH CONSULTANT AND OWNER.

Project North

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN (Building Code Designation Number).

Farrow
79 St. Clair Ave. East, Suite 200
Toronto, ON, Canada
M4T 1N9
Ontario Association of Architects COP #5388

ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

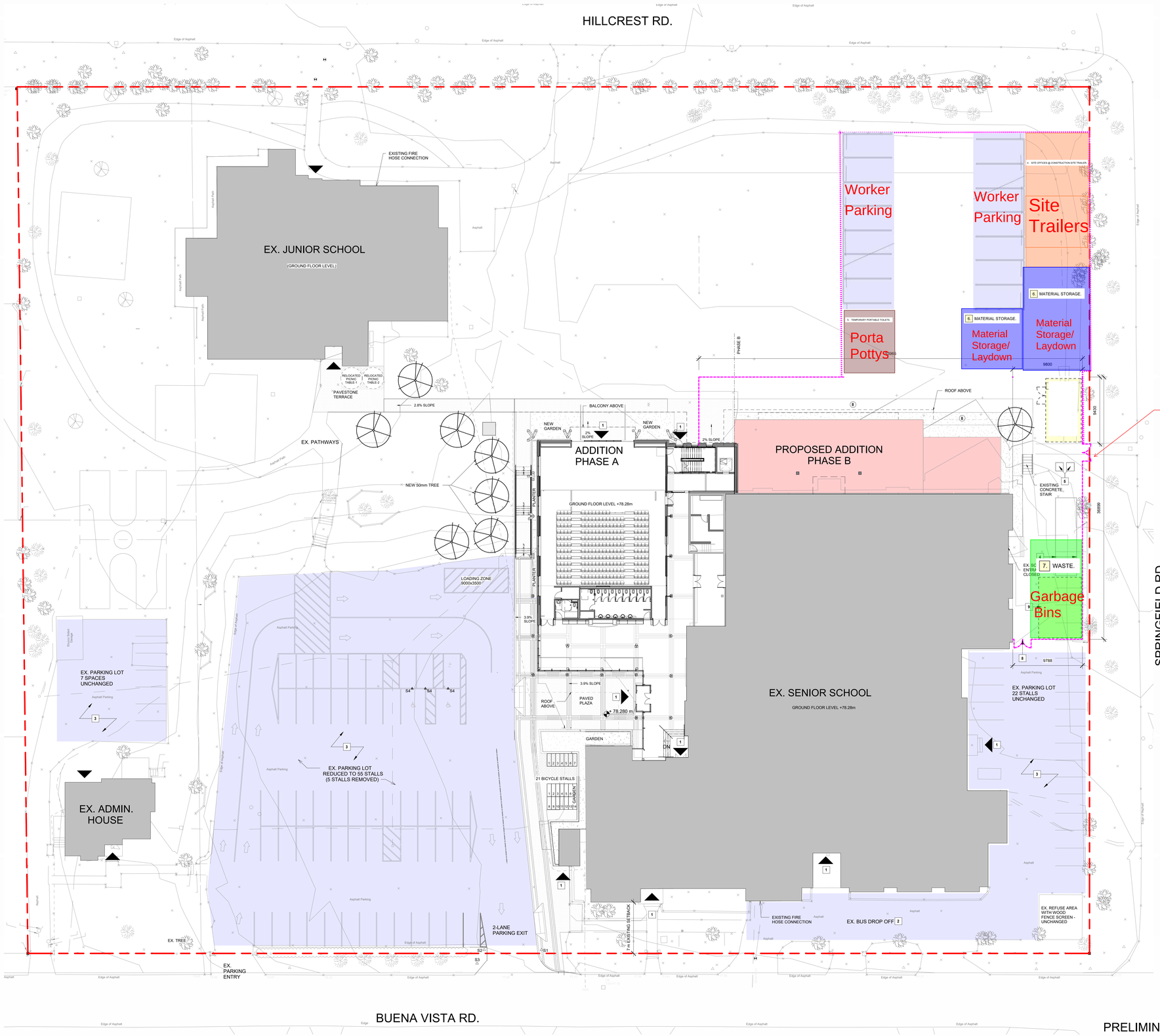
261 BUENA VISTA RD. - OTTAWA, ON K1M 0V9

Plan Number:	19489
Application Number:	D07-12-26-0027
Project Number	17002
Prepared by	KO
Reviewed by	CB
Scale	As indicated

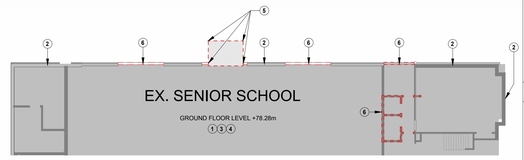
Drawing title
PRELIMINARY CONSTRUCTION MANAGEMENT PLAN-PHASE A

Sheet no.
A103a_SPA

Application Number:	D07-12-26-0027
Project Number	17002



1 PROPOSED SITE PLAN - PHASE B
1 : 200



2 PART GROUND PLAN DEMOLITION - PHASE B
1 : 200

PRELIMINARY CONSTRUCTION MANAGEMENT PLAN - SECTION 2

1. Will construction require the temporary detour of a bus route?
   NO
2. Will this work block a bike lane?
   NO
3. Will this work block a sidewalk?
   NO
4. Will this work require a lane of traffic to be closed?
   NO

NO.	DATE	REVISION / ISSUANCE
1	2026 03 13	ISSUED FOR SITE PLAN CONTROL
2	2026 04 17	ISSUED FOR SPA

LEGEND

- PROPERTY LINE
- EXISTING ITEM TO REMAIN
- CONSTRUCTION FENCE
- EXISTING BUILDING FOOTPRINT
- PROPOSED ADDITION FOOTPRINT - PHASE B
- PROPOSED PAVING
- GARDEN BED
- EXISTING TREE
- PROPOSED TREE
- EXISTING UTILITY LINE
- WV EXISTING WATER VALVE
- MH-S EXISTING MAINTENANCE HOLE (STORM SEWER)
- MH-ST EXISTING MAINTENANCE HOLE (SANITARY)
- ST EXISTING UNDERGROUND STORM SEWER
- S EXISTING UNDERGROUND SANITARY SEWER
- W EXISTING UNDERGROUND WATER
- P EXISTING UNDERGROUND POWER
- G EXISTING UNDERGROUND GAS
- B EXISTING UNDERGROUND BELL
- OHW EXISTING OVERHEAD WIRES
- CB EXISTING CATCH BASIN
- GM EXISTING GAS METER
- S EXISTING SIGN
- WRW EXISTING WOODEN RETAINING WALL
- SRW EXISTING STONE RETAINING WALL
- LS EXISTING LIGHT STANDARD
- S1 EXISTING RELOCATED DIRECTIONAL AND EXIT SIGNS, REFER TO DETAIL D100
- S2 EXISTING RELOCATED "DO NOT ENTER" SIGN, REFER TO DETAIL D101
- S3 EXISTING RELOCATED "NO STOPPING" SIGN, REFER TO DETAIL D102
- S4 NEW "ACCESSIBLE PARKING" SIGNS, REFER TO DETAIL D103
- ACTIVE SCHOOL ENTRANCE

GENERAL NOTES

NOTES AS INDICATED BY SYMBOL X

1. EXISTING SITE ENTRANCES TO REMAIN IN USE, UNLESS NOTED OTHERWISE.
2. BUS LOOP TO REMAIN IN USE.
3. VISITOR AND STAFF PARKING TO REMAIN AS NOTED.
4. SITE OFFICES @ CONSTRUCTION SITE TRAILER.
5. TEMPORARY PORTABLE TOILETS.
6. MATERIAL STORAGE.
7. BINS FOR WASTE.
8. GATE.
9. AREA FOR ADDITIONAL CONSTRUCTION STORAGE IF REQUIRED. PROVIDE CONSTRUCTION FENCING.

PHASE B - NOTES

NOTES AS INDICATED BY SYMBOL X

1. PHASE B STARTS WHEN PHASE A IS COMPLETE.
2. EXISTING EXTERIOR WALL TO REMAIN.
3. REFER TO THE PROPOSED BASEMENT PLAN. EXCAVATION BEGINS.
4. PROVIDE UNDERGROUND SERVICES.
5. DEMOLISH THE EXISTING EXTERIOR FULL HEIGHT WALL - BUMP OUT.
6. DEMOLISH ITEMS NOTED ON THE PART - DEMOLITION PLAN 2/A103b AND THE NORTH ELEVATION - DEMOLITION 1/A301.
7. COMPLETE PROPOSED WORK AT THE EXTERIOR ELEVATION. REFER TO THE PROPOSED ELEVATION SHOWN ON DRAWING SHEET A302.
8. COMPLETE ALL SITE WORK IN THIS AREA - NEW GARDEN AND NEW PATHWAY. REFER TO LANDSCAPE DRAWINGS.

HOARDING NOTES

A. EXACT LOCATION OF HOARDING TO BE DETERMINED ON SITE WITH GENERAL CONTRACTOR, CONSULTANT AND OWNER.

B. COORDINATE ANY WORK OUTSIDE OF HOARDING REQUIRED FOR RELOCATION OF SERVICES WITH CONSULTANT AND OWNER.

Project North

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCIN (Building Code Designation Number).

Farrow
79 St. Clair Ave. East, Suite 206
Toronto, ON, Canada
M4T 1M6
Ontario Association of Architects COP #5388

ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

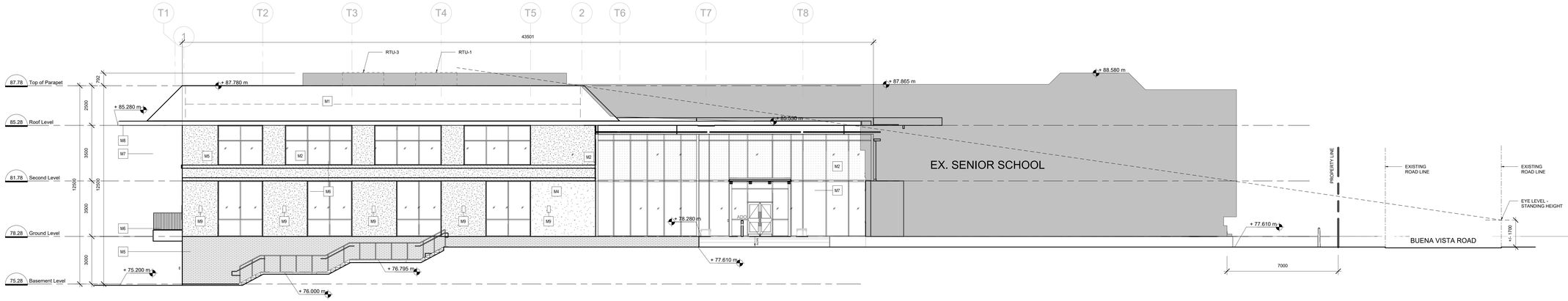
261 BUENA VISTA RD. - OTTAWA, ON K1M 0V9

Plan Number:	19480
Application Number:	D07-12-26-0027
Project Number	17002
Prepared by	KO
Reviewed by	CB
Scale	As indicated

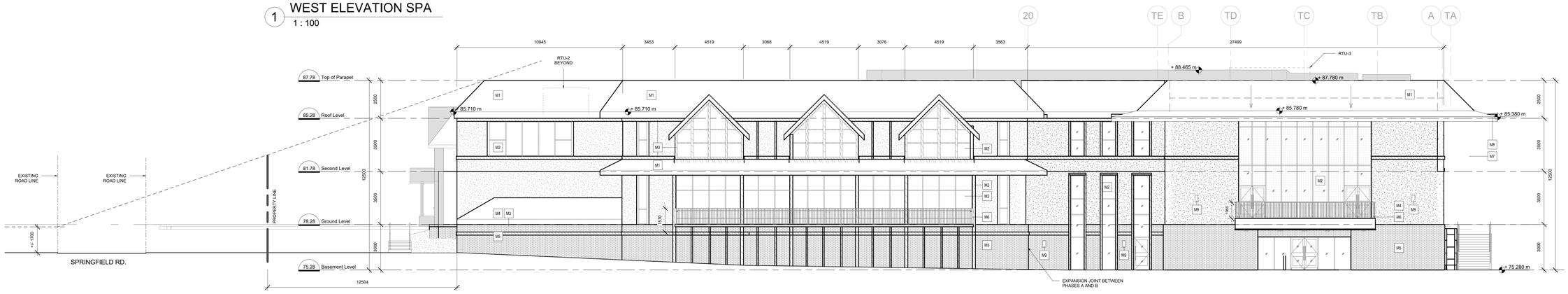
Drawing title
PRELIMINARY CONSTRUCTION MANAGEMENT PLAN-PHASE B

Sheet no.
A103b_SPA

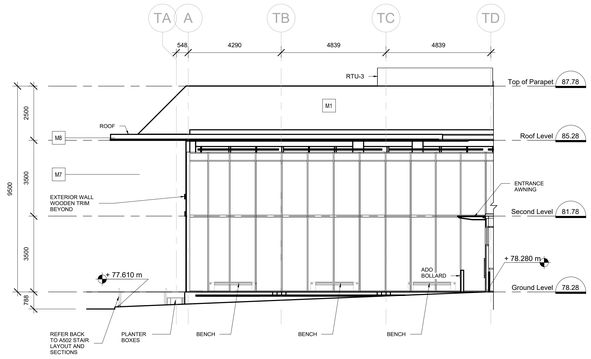
Application Number: D07-12-26-0027
Project Number 17002



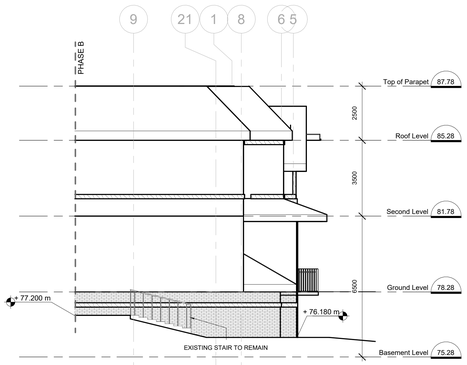
1 WEST ELEVATION SPA
1 : 100



2 NORTH ELEVATION SPA
1 : 100



3 SOUTH ELEVATION AT PAVED PLAZA
1 : 100



4 PART EAST ELEVATION - PHASE B
1 : 100

EXTERIOR MATERIAL PALETTE

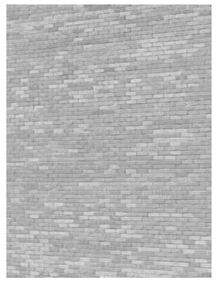
M1 ROOF SHINGLES: RED TO MATCH EXISTING

M2 VISION GLASS

M3 WOODEN TRIM, DARK STAINED TO MATCH EXISTING TIMBERING

M4 IVORY PLASTER STUCCO

M5 BRICK TO COMPLEMENT EXISTING IN JUNIOR SCHOOL



M6 RAL-COATED HOLLOW METAL WINDOW-WALL FRAMES

M7 MASS TIMBER STRUCTURE, STAINED TO COMPLEMENT EXISTING TIMBERING

M8 STEEL FASCIA

NO.	DATE	REVISION / ISSUANCE
1	2025 08 05	ISSUE FOR COORDINATION
2	2025 08 27	ISSUE FOR REVIEW
3	2026 03 13	ISSUED FOR SITE PLAN CONTROL
4	2026 04 17	ISSUED FOR SPA
5	2026-07-01	ISSUED FOR SPA RESUBMISSION

EXTERIOR MATERIALS LEGEND

- M1 ROOF SHINGLES: RED TO MATCH EXISTING
- M2 VISION GLASS - WITH EXTERNAL VISUAL MARKERS FOR BIRD SAFETY AS REQUIRED
- M3 WOODEN TRIM, DARK STAINED TO MATCH EXISTING TIMBERING
- M4 PLASTER STUCCO IVORY TO COMPLEMENT EXISTING
- M5 BRICK TO COMPLEMENT EXISTING IN JUNIOR SCHOOL
- M6 RAL-COATED HOLLOW METAL WINDOW-WALL FRAMES
- M7 MASS TIMBER STRUCTURE, STAINED TO COMPLEMENT EXISTING TIMBERING
- M8 STEEL FASCIA
- M9 WALL-MOUNT EXTERIOR LIGHTING - IESNA FULL CUT-OFF CLASSIFICATION

Project North

The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN (Building Code Designation Number).

Farrow
79 St. Clair Ave. East, Suite 206
Toronto, ON, Canada
M4T 1M6
Ontario Association of Architects COP #5388

ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

261 BUENA VISTA RD. - OTTAWA, ON K1M 0V9

Plan Number:	19480
Application Number:	D07-12-26-0027
Project Number	17002
Prepared by	YE
Reviewed by	Christopher Blackwell
Scale	As indicated

Drawing title

BUILDING ELEVATIONS

Sheet no.

A302_SPA

Application Number:	D07-12-26-0027
Project Number	17002