

NCBP BUILDING E  
4055 RUSSELL RD.  
OTTAWA, ON K1G 6Y4

---

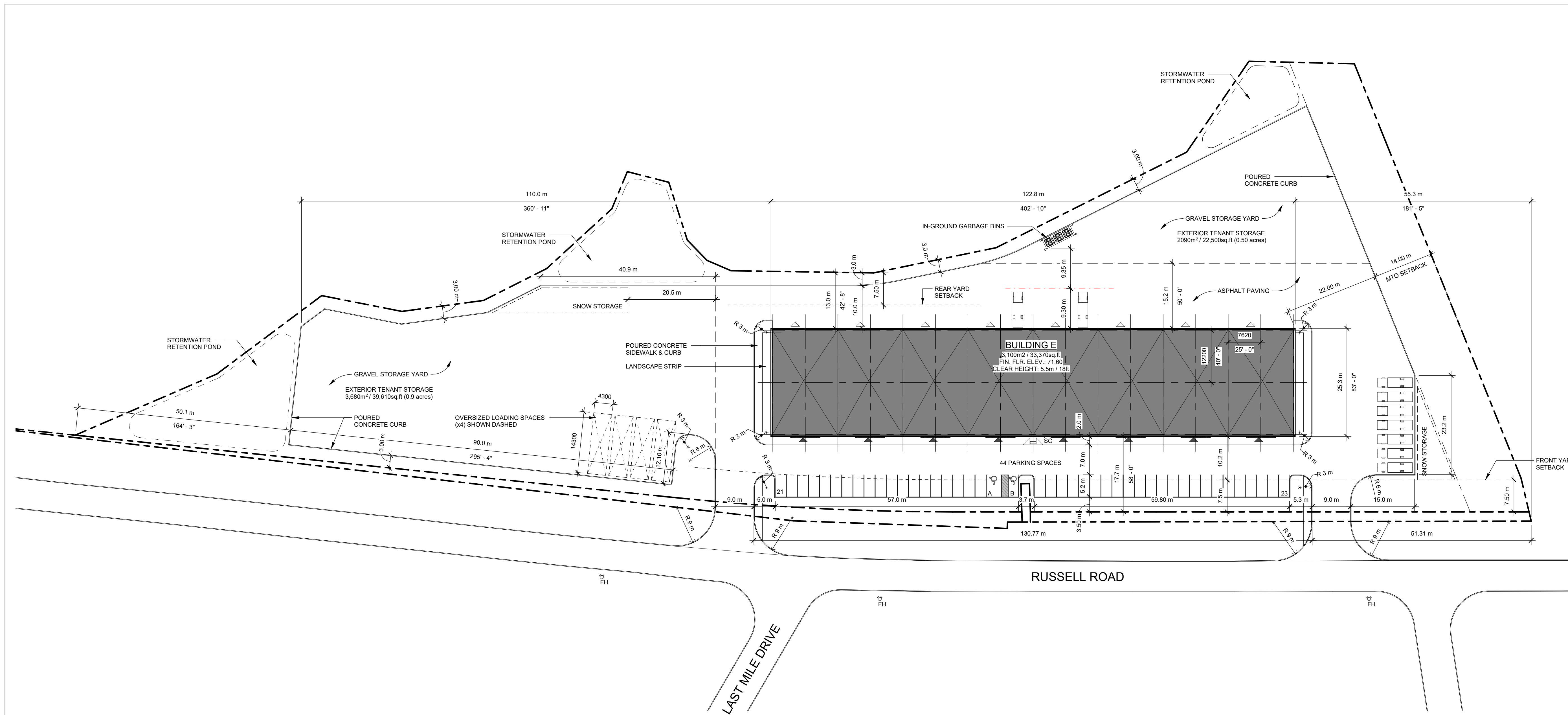
ISSUED FOR SPA

2026-03-06

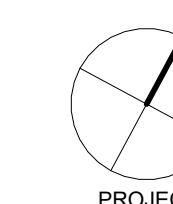
ARCHITECTURAL

SPA-01	LOCATION PLAN, SITE DATA, ZONING REVIEW & SITE PLAN
A101	GROUND LEVEL FLOOR PLAN & ROOF PLAN
A201	EXTERIOR ELEVATIONS

**MCROBIE**  
ARCHITECTS + INTERIOR DESIGNERS



North

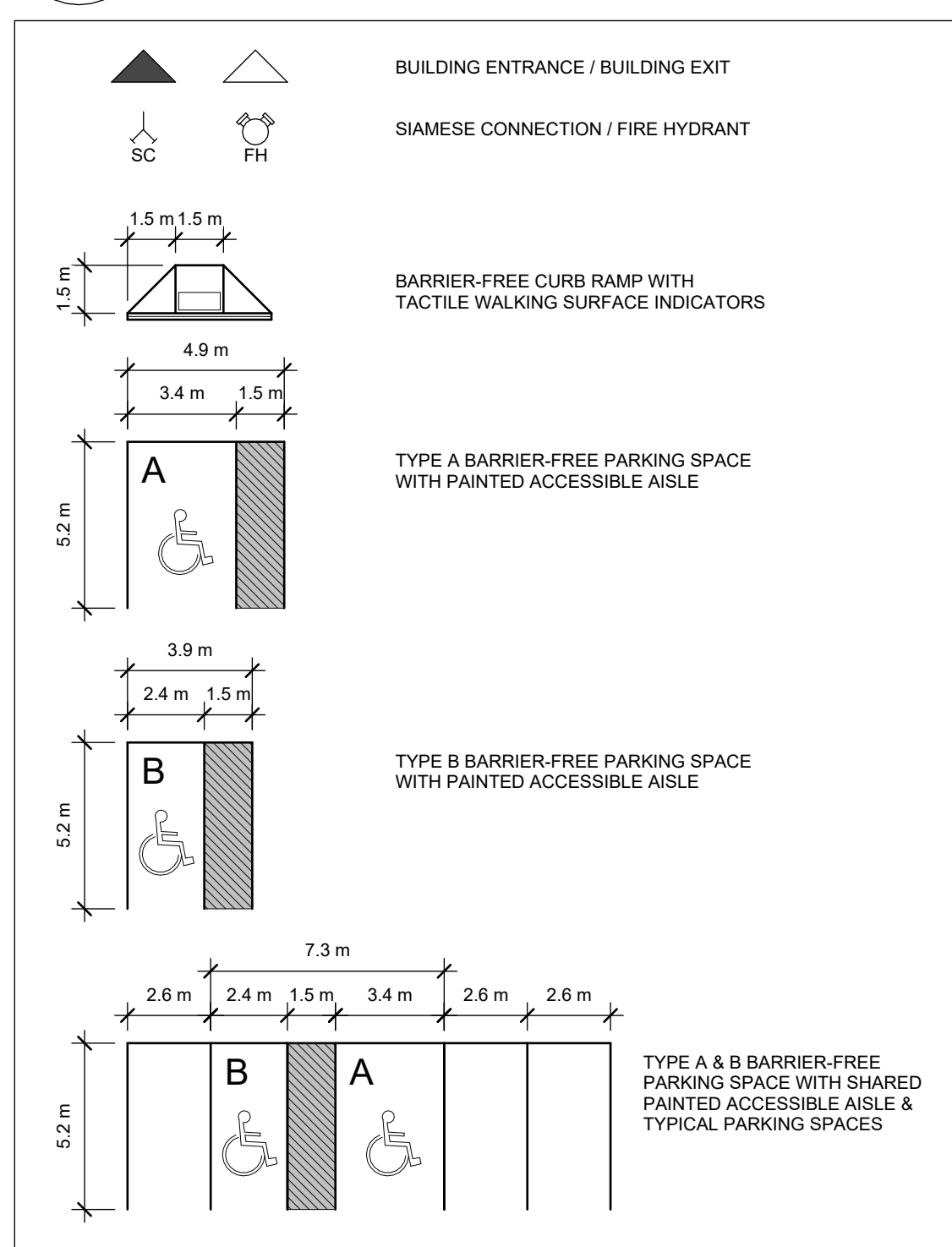


Revisions

Revision Number	Description	Date
1	ISSUED FOR REVIEW	2025-10-31
2	ISSUED FOR REVIEW	2025-11-17
3	ISSUED FOR REVIEW	2025-11-18
4	ISSUED FOR REVIEW	2025-11-19
5	ISSUED FOR COORDINATION	2025-11-27
6	ISSUED FOR COORDINATION	2025-12-11
7	ISSUED FOR COORDINATION	2026-02-09
8	ISSUED FOR COORDINATION	2026-02-20
9	ISSUED FOR SPA	2026-03-06

**04 SITE PLAN**

SPA-01 Scale: 1 : 500



**01 SITE PLAN DRAWING LEGEND**

SPA-01 Scale: N/A

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
ZONING: IH HEAVY INDUSTRIAL ZONE	HEAVY INDUSTRIAL LIMITED COMMERCIAL	HEAVY INDUSTRIAL WAREHOUSE (N95)
MINIMUM LOT AREA:	0.4HA	1.99HA / 4.83 ACRES
MINIMUM LOT WIDTH:	NO MINIMUM	IRREGULAR LOT SHAPE
MINIMUM FRONT YARD:	7.5m	COMPLIANT WITH ZONING
MINIMUM CORNER SIDE YARD:	7.5m	COMPLIANT WITH ZONING
MINIMUM INTERIOR YARD SETBACKS:	15m WHEN ABUTTING R OR I ZONE 7.5m TYPICAL	COMPLIANT WITH ZONING
MINIMUM REAR YARD SETBACKS:	15m WHEN ABUTTING R OR I ZONE 7.5m TYPICAL	COMPLIANT WITH ZONING
MAXIMUM FLOOR SPACE INDEX:	2	COMPLIANT WITH ZONING (0.158)
MAXIMUM BUILDING HEIGHT:	22m	7m
MINIMUM LANDSCAPE BUFFER WIDTH:	7.5m WHEN ABUTTING R OR I ZONE 3m TYPICAL	COMPLIANT WITH ZONING

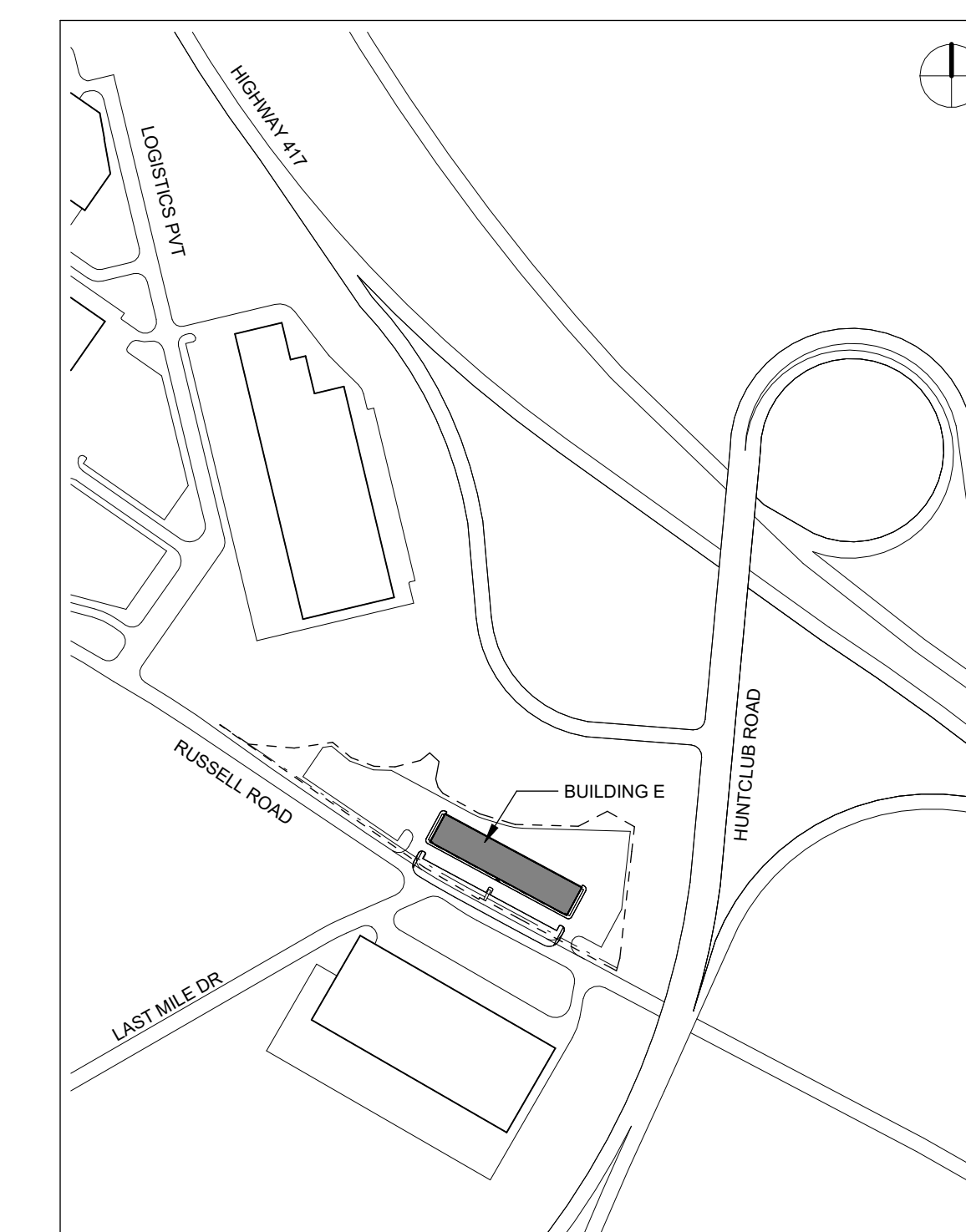
**02 SITE DATA AND ZONING INFORMATION**

SPA-01 Scale: N/A

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
PARKING, TYPICAL - SECTION 101 AREA C WAREHOUSE (N95) OR HEAVY INDUSTRIAL USE (N42): 0.8 SPACES PER 100m <sup>2</sup> FOR FIRST 5,000m <sup>2</sup> 0.4 SPACES PER 100m <sup>2</sup> AFTER FIRST 5,000m <sup>2</sup>	BUILDING E: 3,100m <sup>2</sup>	23 TYPICAL 1 TYPE A ACCESSIBLE 1 TYPE B ACCESSIBLE
PARKING, BARRIER FREE - SECTION 111 BYLAW 2017-301 2 WHEN TOTAL PARKING IS >25 BUT NOT >50	BUILDING E: 3,100m <sup>2</sup>	42 TYPICAL 1 TYPE A ACCESSIBLE 1 TYPE B ACCESSIBLE
BICYCLE PARKING - SECTION 111 WAREHOUSE: 1 SPACE PER 2000m <sup>2</sup>	BUILDING E: 3,100m <sup>2</sup>	2 SPACES
LOADING SPACE - SECTION 113 HEAVY INDUSTRIAL USE	BUILDING E: 3,100m <sup>2</sup>	4 SPACES LOCATION TBD
BICYCLE PARKING - SECTION 111 WAREHOUSE: 1 SPACE PER 2000m <sup>2</sup>	BUILDING E: 3,100m <sup>2</sup>	4 SPACES LOCATION TBD
LOADING SPACE - SECTION 113 HEAVY INDUSTRIAL USE	BUILDING E: 3,100m <sup>2</sup>	2 SPACES
LOADING SPACE - SECTION 113 HEAVY INDUSTRIAL USE	BUILDING E: 3,100m <sup>2</sup>	4 SPACES OVERSIZE 13.4m x 4.3m

**BUILDING CLASSIFICATION:**

- 3.2.2.79 GROUP F, DIVISION 2, UP TO 4 STOREYS, SPRINKLERED
  - COMBUSTIBLE CONSTRUCTION PERMITTED
  - FLOOR ASSEMBLIES SHALL HAVE A MIN 45min FIRE RESISTANCE RATING
  - MEZZANINES SHALL HAVE A MIN 45min FIRE RESISTANCE RATING
  - LOAD BEARING WALLS AND COLUMNS SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN SUPPORTED ASSEMBLIES
- 3.2.2.79 SPATIAL SEPARATION - TABLE 3.2.3.1 E
  - 15m MINIMUM SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS (EBF > 200m<sup>2</sup>)
  - 9m SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS WHEN FACING A STREET
- 3.4.2.5 LOCATION OF EXITS
  - 45m MAXIMUM TRAVEL DISTANCE



**03 LOCATION PLAN**

SPA-01 Scale: 1 : 5000

Project

**NCBP BUILDING E**

4055 RUSSELL RD.  
OTTAWA, ON K1G 6Y4

Drawing

**LOCATION PLAN, SITE DATA, ZONING REVIEW & SITE PLAN**

Scale As indicated  
Stamp

Drawn ERM

Checked ERM



Project No. 25-193

Drawing No.

Date

OCT 2025

**SPA-01**





