

ABBREVIATIONS LEGEND

NOTE 1: ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION
 NOTE 2: ABBREVIATIONS MAY BE DIFFERENT WHEN A PART OF A LEGEND

A	CTR	CENTER/CONTOUR	FO	FINISHED OPENING	LIN	LINOLEUM FLOORING	PLYW	PLYWOOD	SSG	STRUCTURAL SILICONE GLAZED CURTAIN WALL
A/C	CU	CUBIC	FOC	FACE OF CURB	LK	LOCKER	D	D	SST	STAINLESS STEEL
ACC	CW	COLD WATER PIPING/CHEMICAL WASTELINE	FOF	FACE OF FINISH	LL	LIVE LOAD	POL	POLISHED	STA	STATION
ACM	W	WASTELINE	FOM	FACE OF MASONRY	LONG	LONGITUDINAL	PREF	PREFABRICATE(D)	STC	SOUND TRANSMISSION CLASS
ACM	CWP	CEMENTITIOUS WOOD FIBER PANELS	FOS	FACE OF SLAB/ FACE OF STUD	LOC	LOCATION	AB	AB	STD	STANDARD
U	MASONRY UNIT		FP	FIRE PROTECTION/FIREPROOF	LPT	LOW POINT	PROJ	PROJECT	STL	STEEL
ACP	CWS	CURTAIN WALL SYSTEM	FR	FIRE RESISTIVE GLASS	LQR	LACQUER FINISH	PROP	PROPERTY	STN	STONE
ACST	D	DEEP, DEPTH, PENNY (NAIL)	FRM	FRAMING	LT	LIGHT	PSD	PIT SCUPPER DRAIN	STOR	STORAGE
ACT	DBL	DOUBLE	G	G	LTPG	LAMINATED TEMPERED SAFETY GLASS	PSH	PURSE SHELF	STS	INTERIOR ALL-GLASS SCREENS
DEG	DEGREE		FRTW	FIRE RETARDANT TREATED WOOD	LTV	LOUVER	PSS	POLYMER BASED SOLID SURFACE	STW	WOOD ALL GLASS SCREENS
AD	DEM	DEMOLISH, DEMOLITION	FSS	FOLDING SHOWER SEATS	LVT	LUXURY VINYL TILE	PT	PAINT(ING)	WD	
ADJ	O	ADJUSTABLE/ ADJACENT	FT	FOOT (FEET)/ FIRE TREATED	M	M	PTD	PAPER TOWEL DISPENSER	STRU	STRUCTURAL
AFC	DEPT	DEPARTMENT	FTG	FOOTING	M	M	PTN	PARTITION	CT	
AFF	DF	DRINKING FOUNTAIN	FURG	FURRING	M	METER	PVC	POLYVINYL CHLORIDE	SUSP	SUSPENDED
AFG	DIA	DIAMETER (EXTERIOR)	FURN	FURNISH, FURNITURE	MAC	MACHINE	PVG	PAVING	SV	SHEET VINYL
AGG	DIAG	DIAGONAL	FUT	FUTURE	H	H	PWC	POWDER COAT FINISH	SVF	CHEMICAL RESISTANT RESILIENT FLOORING
R	DIFF	DIFFUSER/ DIFFERENCE	FV	FIELD VERIFY	MAIN	MAINTENANCE	Q	Q	SYM	SYMMETRICAL
AHU	DM	DIMENSION	G	GAGE	MATL	MATERIAL	QT	QUARRY TILE	M	
ALT	DISP	DISPENSER	GA	GAGE	MAX	MAXIMUM	QTY	QUANTITY	T	
ALUM	DIV	DIVISION	GALV	GALVANIZED	MB	MARKER BOARD	R	R	T	TREAD
ANOD	DJ	DRY JOINT	GB	GRAB BAR	MBW	MARKER BOARD WALL COVERING	R	THERMAL RESISTANCE, RADIUS, RISER	T/	TOP OF
APPR	DL	DEAD LOAD	GBS	GYPSUM BOARD - SHAFT LINER	C		RB	RUBBER BASE	TA	TOILET ACCESSORY
OX	DR	DOOR/ DRAIN	GBX	FIRE RATED GYPSUM BOARD TYPE	MCP	METAL CEILING PANEL	RBSF	RUBBER SPORTS FLOORING	T&B	TOP & BOTTOM
AR	DS	DOWNSPOUT	GEN	GENERAL	MDF	MEDIUM DENSITY FIBREBOARD	RC	REINFORCED CONCRETE	T&G	TONGUE & GROOVE
ARGB	DW	DISHWASHER	GFRG	GLASS FIBER REINFORCED CONCRETE	MEC	MECHANICAL	RCP	REFLECTED CEILING PLAN	TBC	TO BE CONFIRMED
ARCH	DWG	DRAWING	GFRG	GLASS FIBER REINFORCED GYPSUM	MEL	MELAMINE	RCPT	RECEPTION	TEL	TELEPHONE
AS	DWS1	ALUMINUM DOME TACTILE WARNING SYSTEM	GG1	STRUCTURAL GLASS GUARD WITH BASE SHOE ATTACHMENT	MEM	MEMBRANE	RD	ROOF DRAIN	TEMP	TEMPORARY
ASPH	DWS2	TACTILE WARNING TILING	GG2	STRUCTURAL GLASS GUARD WITH STANDOFF ATTACHMENT	MEP	MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION	REC	RECESSED	TER	TERRAZZO
AUTO	DWS3	VISUAL WARNING TAPE	E	E	MEZ	MEZZANINE	REF	REFERENCE, REFRIGERATOR	TH	TOWEL HOOKS
AWB	E	E	GL	GLASS	MFR	MANUFACTURER	REIN	REINFORCE, REINFORCING	THK	THICK
AVC	E	E	GL	GLASS	MG	GLASS MARKER BOARD	REQ	REQUIRE, REQUIRED	TI	TENANT IMPROVEMENT
P	E	E	GL	GLASS	MGL	MAGNETIC GLASS MARKER BOARD	D		TKBD	TACKBOARD
AWP	E	E	GL	GLASS	MH	MANHOLE	REQ	REQUIRE, REQUIRED	TOPO	TOPOGRAPHY, TOPOGRAPHIC
AWT	E	E	GL	GLASS	MHO	MAGNETIC HOLD OPEN	RES	RESINOUS FLOORING	TPG	TEMPERED GLASS
AWW	E	E	GL	GLASS	MIN	MINIMUM	RESI	RESILIENT	TRTD	TREATED
B	E	E	GL	GLASS	MISC	MISCELLANEOUS	REV	REVISION	TS	TUBE STEEL
B/B	E	E	GL	GLASS	MM	MILLIMETER	RFT	RUBBER TREADS, RISERS AND LANDINGS	TTD	TOILET TISSUE DISPENSER
BB	E	E	GL	GLASS	MO	MASONRY OPENING	RH	RIGHT HAND	TV	TELEVISION
BC	E	E	GL	GLASS	MOH	MOP HOLDER	RM	ROOM	TYP	TYPICAL
BD	E	E	GL	GLASS	MTL	METAL	RO	ROUGH OPENING	U	HEAT TRANSFER COEFFICIENT
BITU	E	E	GL	GLASS	MTL	METAL LOCKERS	ROW	RIGHT OF WAY	UH	UNIT HEATER
B	E	E	GL	GLASS	MTL	METAL LOCKERS	RSF	RESILIENT SHEET FLOORING	UL	UNDERWRITER'S LABORATORIES
BLDG	E	E	GL	GLASS	MTL	METAL LOCKERS	RSSF	RESILIENT SAFETY SHEET FLOORING	UNEX	UNEXCAVATED
BM	E	E	GL	GLASS	MTL	METAL TOILET PARTITIONS AND URINAL SCREENS	RTF	RUBBER TILE FLOOR	UNFI	UNFINISHED
BT/	E	E	GL	GLASS	MTLG	METAL GRILLE PANEL	RVL	REVEAL	N	
BPG	E	E	GL	GLASS	MWP	METAL WALL PANEL	RWB	DUAL ROLLER WINDOW SHADES AND BLACKOUT BLINDS, MANUAL OPERATED	UNO	UNLESS NOTED OTHERWISE
BSMT	E	E	GL	GLASS	M1	UNFRAMED MIRRORS	B	AND BLACKOUT BLINDS, MANUAL OPERATED	UR	URINAL
BUR	E	E	GL	GLASS	M2	TILTED MIRRORS	B	AND BLACKOUT BLINDS, MANUAL OPERATED	UTL	UTILITY
C	E	E	GL	GLASS	N		B	AND BLACKOUT BLINDS, MANUAL OPERATED	V	VINYL BASE
CW	E	E	GL	GLASS	N		B	AND BLACKOUT BLINDS, MANUAL OPERATED	VCT	VINYL COMPOSITION TILE
CAB	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VENT	VENTILATION
CB	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VERT	VERTICAL
CCTV	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VEST	VESTIBULE
CEM	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VIF	VERIFY IN FIELD
CF/CI	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VNR	VENEER
CF/CI	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VOL	VOLUME
CF/CI	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VS	VISION STRIPS
CFM	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	VWC	VINYL WALL COVERING
CFM	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	W	
CG	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	W	WEST
CGS	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	W	WITH
CHK	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	W	WITHOUT
CI	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	WCS	SOLID SURFACE WALL COVERING
CIP	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	S	
CJ	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SD	SOAP DISPENSER
CL	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SDT	STATIC DISSIPATIVE TILE
CLF	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SECT	SECTION
CLG	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SF	SQUARE FOOT(FEET)
CLO	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SFRM	SPRAY APPLIED CEMENTITIOUS FIBER RESISTIVE MATERIAL
CLR	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SG	SECURITY GRILLE
CNT	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SGB	GLASS MAT GYPSUM BOARD, EXTERIOR GYPSUM SHEATHING
CNT	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SH	SINGLE
CMU	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SHR	SHOWER
CO	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SHT	SHEET
COL	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SIM	SIMILAR
CONC	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SJ	SCORED JOINT, SILICONE JOINT, SLIP JOINT
CONF	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	S	
CONT	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SD	SOAP DISPENSER
COO	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SDT	STATIC DISSIPATIVE TILE
RD	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SECT	SECTION
COR	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SF	SQUARE FOOT(FEET)
MTL	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SFRM	SPRAY APPLIED CEMENTITIOUS FIBER RESISTIVE MATERIAL
CORR	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SG	SECURITY GRILLE
CP	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SGB	GLASS MAT GYPSUM BOARD, EXTERIOR GYPSUM SHEATHING
CPT	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SH	SINGLE
CQS	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SHR	SHOWER
CRL	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SHT	SHEET
CT	E	E	GL	GLASS	NA	NORTH	B	AND BLACKOUT BLINDS, MANUAL OPERATED	SIM	SIMILAR

MATERIALS

	COMPACTED FILL EARTHWORK		CONTINUOUS WOOD FRAMING
	UNDISTURBED SOIL		BLOCKING OR SHIM
	GRAVEL POROUS FILL		FINISH WOODWORK
	SAND		PLYWOOD
	ASPHALT		PARTICLE BOARD
	STRUCTURAL CONCRETE		GYPSUM WALLBOARD
	LIGHTWEIGHT CONCRETE		WATERPROOFING/ DAMPROOFING/ AIR MOISTURE BARRIER
	TERRAZZO		RIGID INSULATION
	CUT STONE		BATT INSULATION
	CAST STONE		CARPETING (LARGE SCALE)
	BRICK, COMMON FACE		RESILIENT FLOORING
	BRICK, GLAZED		PLASTIC LAMINATE
	CONCRETE MASONRY UNIT		GLASS
	STRUCTURAL CLAY TILE		ACOUSTICAL CEILING BOARD
	STEEL		WOOD FLOORING
	ALUMINUM/ORNAMENTAL METAL		SPRAY-ON FIREPROOFING OR INSULATION
			EXTERIOR SHEATHING
			SOLID SURFACING

SYMBOLS

	AND BY (LOWERCASE) CENTERLINE DEGREE
	X
	X
	X

SYMBOLS LEGEND

COLUMN GRID DESIGNATION

NOTE TAGS

BUILDING SECTION TAG

WALL / DETAIL SECTION TAGS

ENLARGED PLAN TAG

EXTERIOR ELEVATION TAG

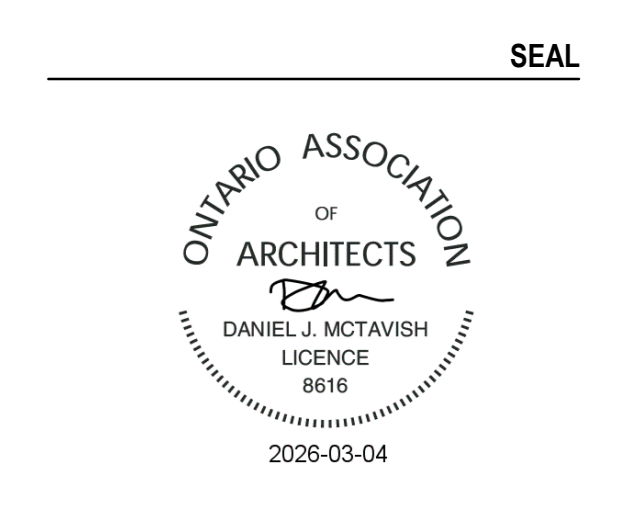
INTERIOR ELEVATION TAG

KEYNOTE TAG

GENERAL PROJECT NOTES

- REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS.
- DO NOT SCALE THE DRAWING IF DIMENSIONS ARE IN QUESTION. OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING.
- DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF FINISH FOR INTERIOR WALLS, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE INDICATED. DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS AND TO FINISH FACE OF NEW STUD WALLS, UNLESS OTHERWISE INDICATED.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR OWNER PROVIDED EQUIPMENT AND FURNISHINGS. COORDINATE WITH THE OWNER ON DELIVERY AND INSTALLATION OF OFFICE EQUIPMENT. MINIMUM REQUIRED OPENINGS AND ACCESSIBLE ROUTES TO THE INSTALLATION AREA SHALL BE COORDINATED WITH THE SUPPLIER.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED.
- COORDINATE EXACT SIZE AND PLACEMENT OF EQUIPMENT BASE AND HOUSEKEEPING PADS WITH EQUIPMENT TO BE PROVIDED.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE, WHERE A ONE-HOUR PARTITION IS SHOWN AS A CONTINUATION OF A TWO-HOUR PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE GYPSUM BOARD SHALL BE OFFSET AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD ON BOTH SIDES.
- LEVEL FLOORS SO THAT THEY DO NOT EXCEED A 1/4" VARIANCE IN A 10'-0" RADIUS.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN STAIRWAYS, EQUIPMENT ROOMS AND POWERHOUSE. COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISHED AREAS.
- ALL EXTERIOR STEEL HANDRAILS, GUARDRAILS, AND BOLLARDS SHALL BE GALVANIZED AND PAINTED UNLESS OTHERWISE NOTED.
- PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ON A WALL ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF A PARTITION.
- APPROVE FLOOR OUTLET LOCATIONS WITH ARCHITECT AND BUILDING MANAGEMENT PRIOR TO CORE DRILLING.
- OPENINGS IN A RATED WALL, FLOOR, CEILING AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTANT JOINT SYSTEMS OR PROTECTED WITH A FIRE RATED CHASE.
- EXIT SIGNS AND SMOKE DETECTORS LOCATED IN CEILINGS SHALL BE POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- SEALANTS EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.
- COORDINATE LOCATION OF SEALANT AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES, AND CABINET WORK WITH ADJACENT MATERIALS. MAINTAIN THE FIRE RATING OF CONSTRUCTION AROUND CABINETS, PANELS, AND BOXES RECESSED IN FIRE RATED WALL, FLOOR, AND CEILING ASSEMBLIES.
- ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES INSTALLED WITHIN 6" FROM A URINAL, WATER CLOSET, SINK OR LAVATORY SHALL BE MOISTURE SEALED.
- DO NOT HANG (SUPPORT) ANY ITEMS FROM METAL ROOF DECK. IT IS ACCEPTABLE TO ATTACH I.E. CEILING SYSTEM WIRE, HANGERS FROM JOISTS AND OR BEAMS, IF NO JOIST OR BEAM, PROVIDE A STEEL STRIP.

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 Canada, K1P 5H9
 1-813-363-2500
 1-813-363-7281
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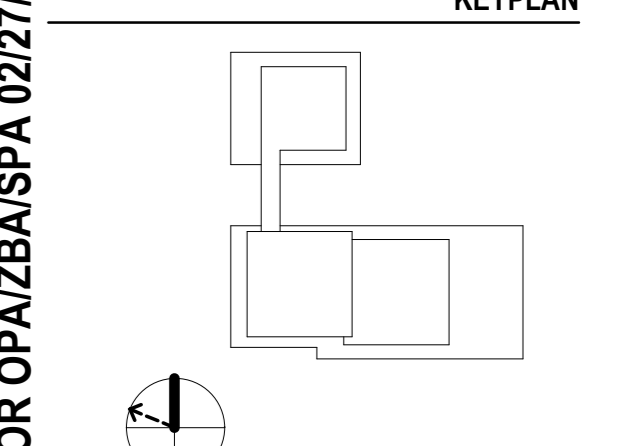


PROJECT

131-139 PARKDALE AND
 122 FORWARD AVE.
 131 Parkdale Ave.
 Ottawa, Ontario
 K1Y 2M3

brigil

Brigil
 425 Boulevard Saint-Joseph,
 Gatineau, Quebec, J8Y 3R9



ISSUE CHART

1	ISSUED FOR OPAZ/BA/SPA	2026/02/27
	DATE	DATE

ISSUED FOR OPAZ/BA/SPA 02/27/2026

SEAL



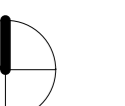
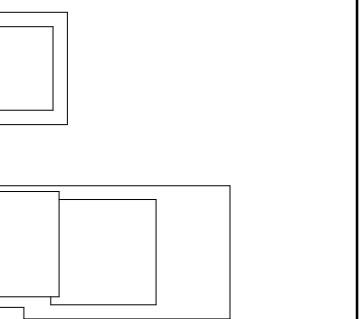
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brigil

Brigil
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KEYPLAN



ISSUE CHART

NO.	ISSUED FOR	DATE	BY
1	ISSUED FOR OPAZBA/SPA	2026/02/27	

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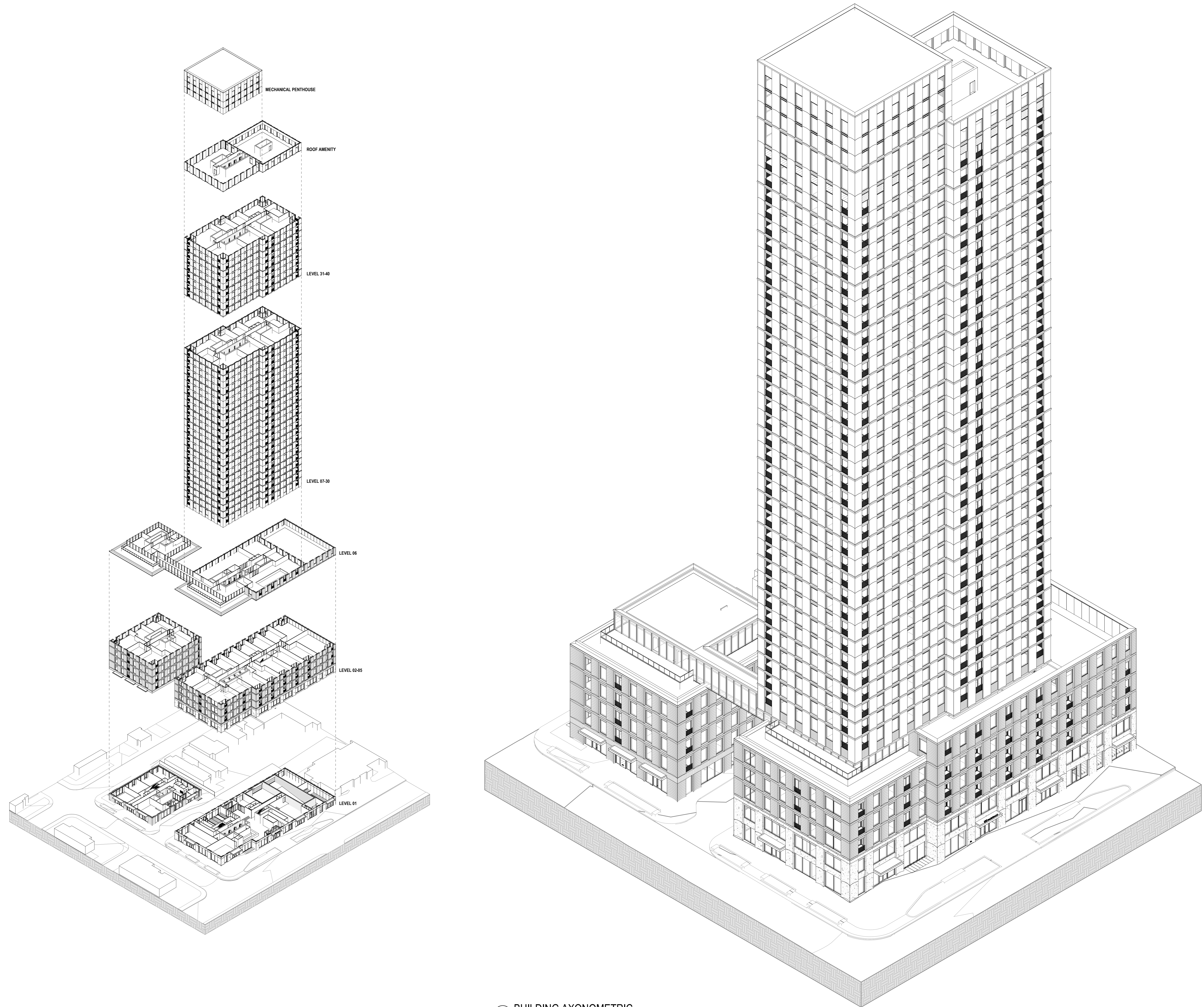
Job Number 442622.00
TITLE

BUILDING
AXONOMETRIC

SHEET NUMBER

G00-03

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6 BUILDING AXONOMETRIC

GROSS FLOOR AREA	
PGM Room Type	Area
BALCONY	2118.23 m ²
BIKE PARKING	499.54 m ²
BUILDING OPS	611.78 m ²
CIRCULATION	891.08 m ²
CORE	4996.75 m ²
INDOOR AMENITY	1753.22 m ²
MECHANICAL	762.74 m ²
OUTDOOR AMENITY	897.94 m ²
PARKING	8276.09 m ²
RESIDENTIAL	32449.29 m ²
RETAIL	409.53 m ²
STORAGE	1369.70 m ²
	54133.89 m ²

- ZONING GFA - RESIDENTIAL
- ZONING GFA - AMENITY
- ZONING GFA - RETAIL
- ZONING GFA - DEDUCTIONS

SEAL



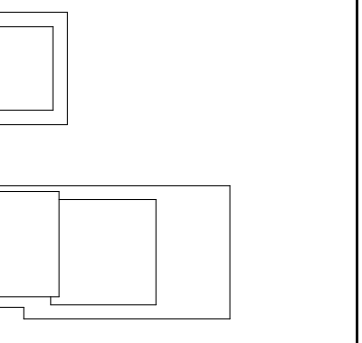
PROJECT

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brigil

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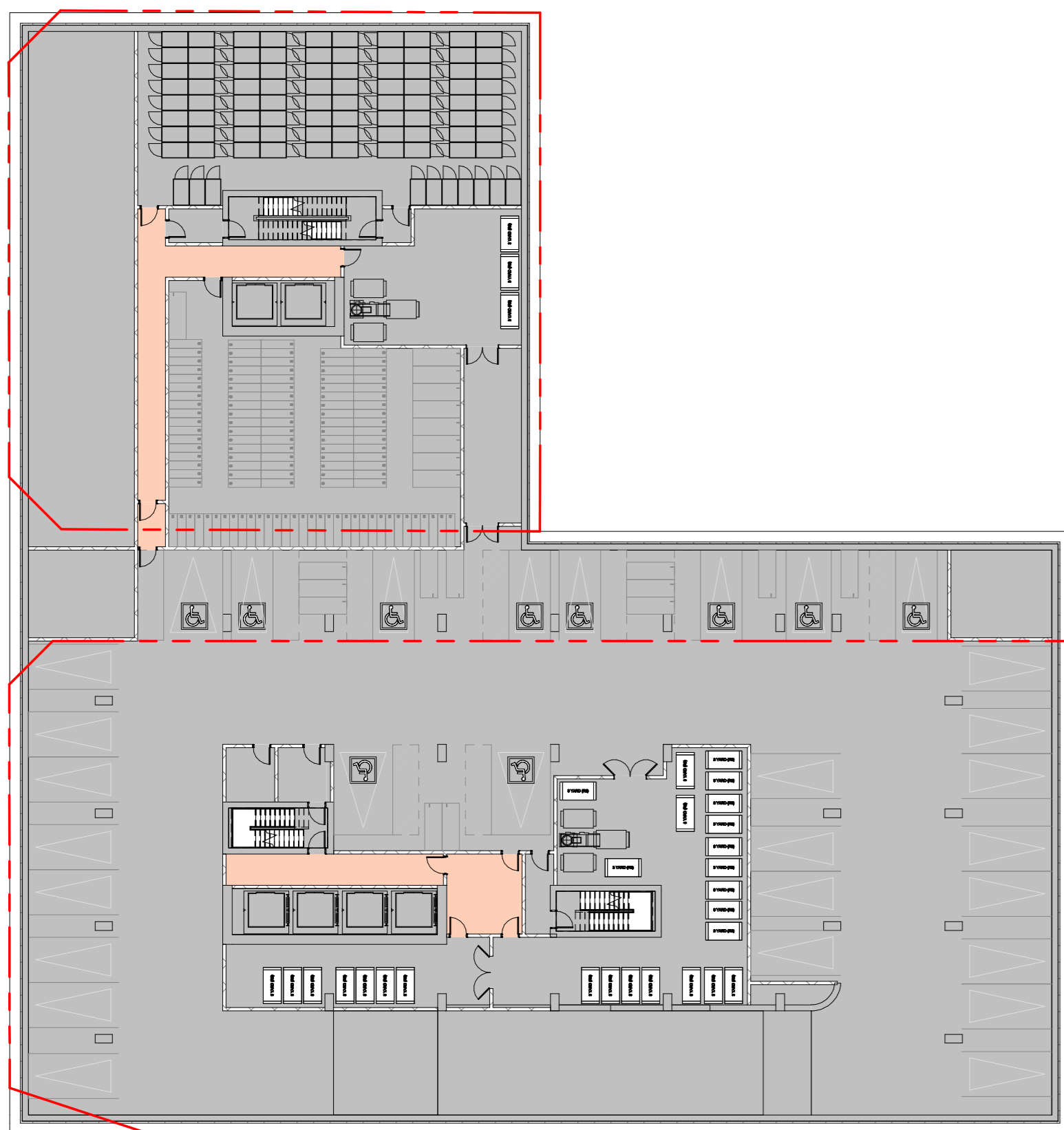
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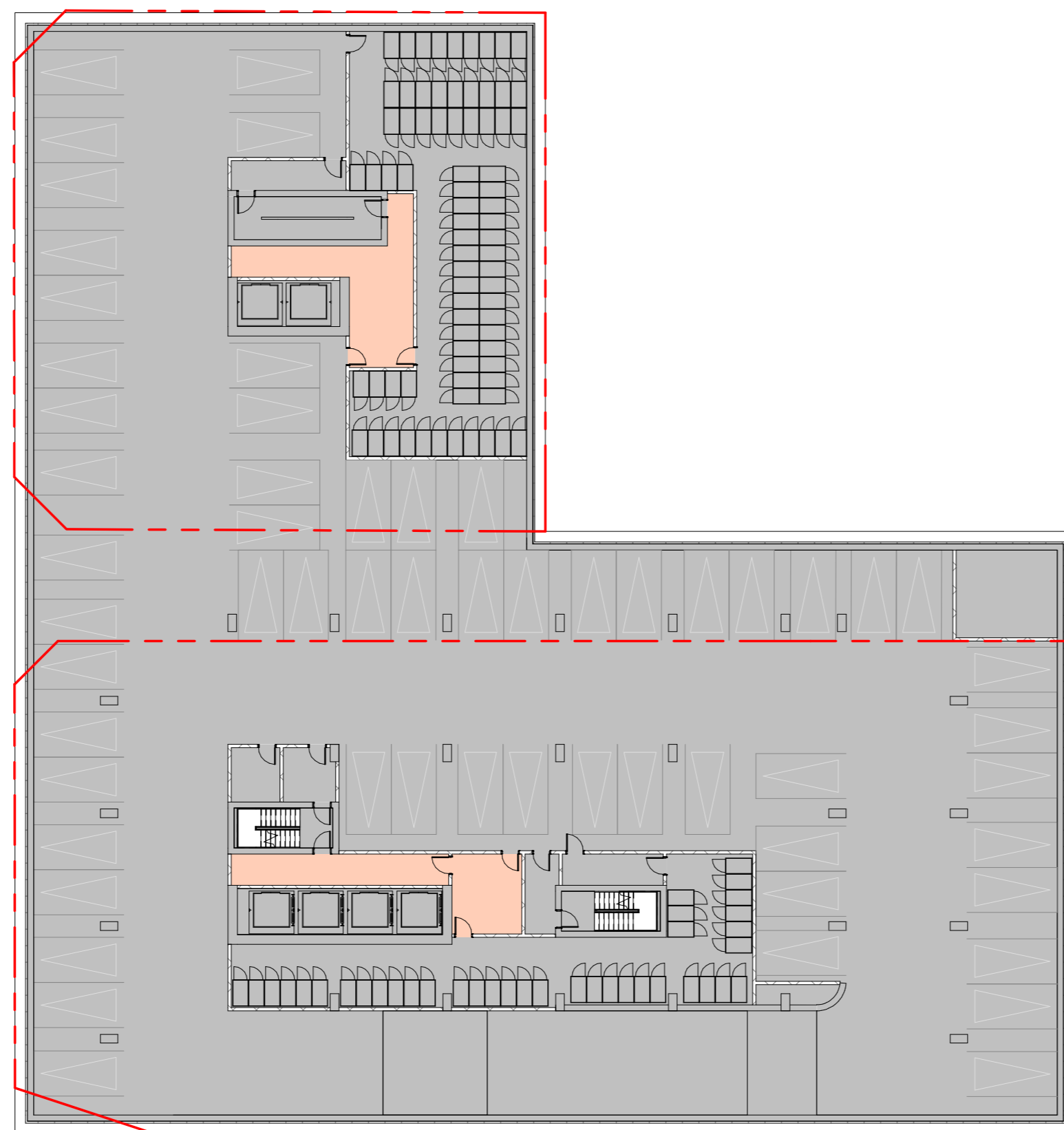
ISSUE CHART

NO.	ISSUED FOR	DATE	BY
1	ISSUED FOR OP/PAZ/BA/SPA	2026/02/27	

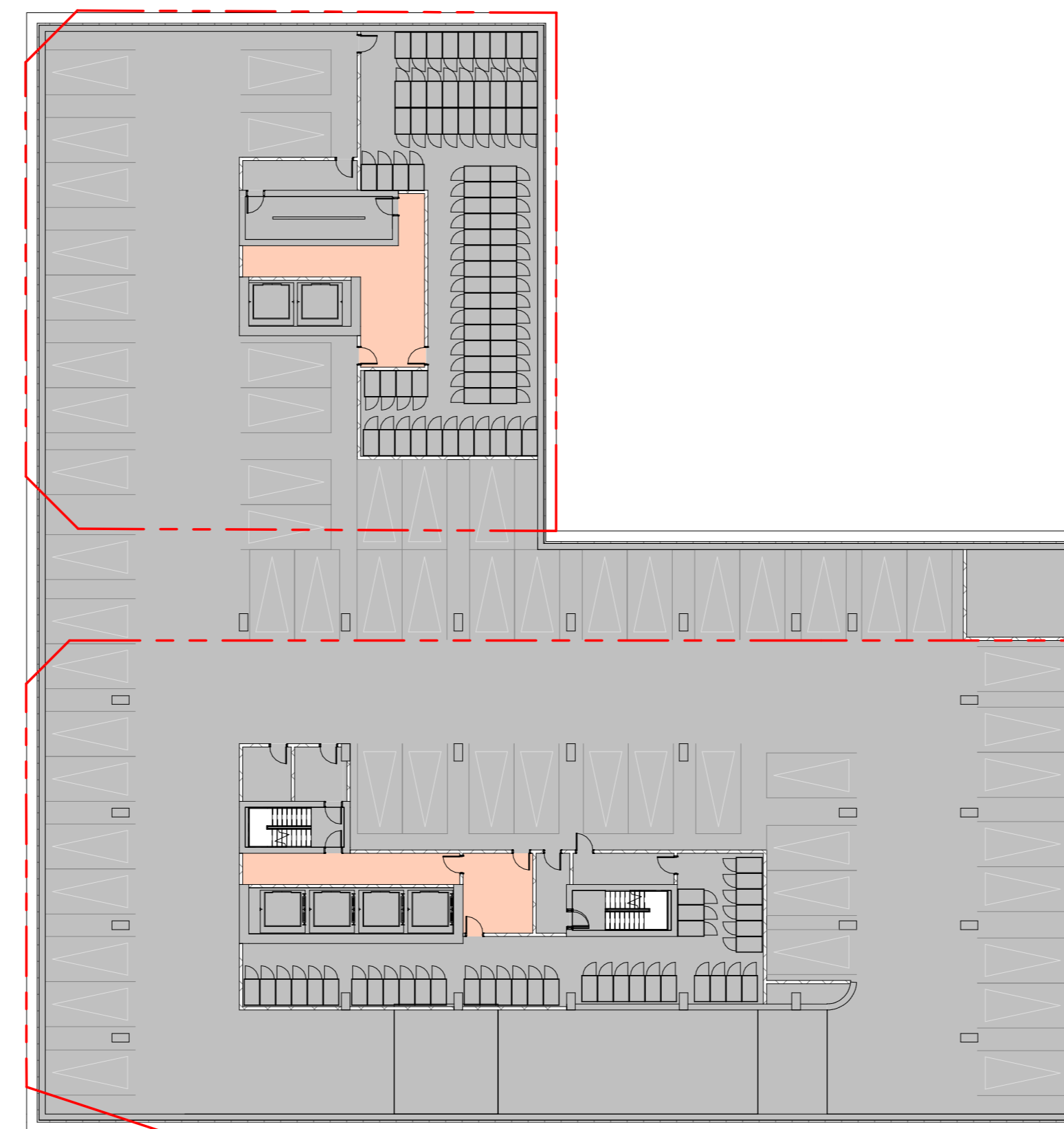
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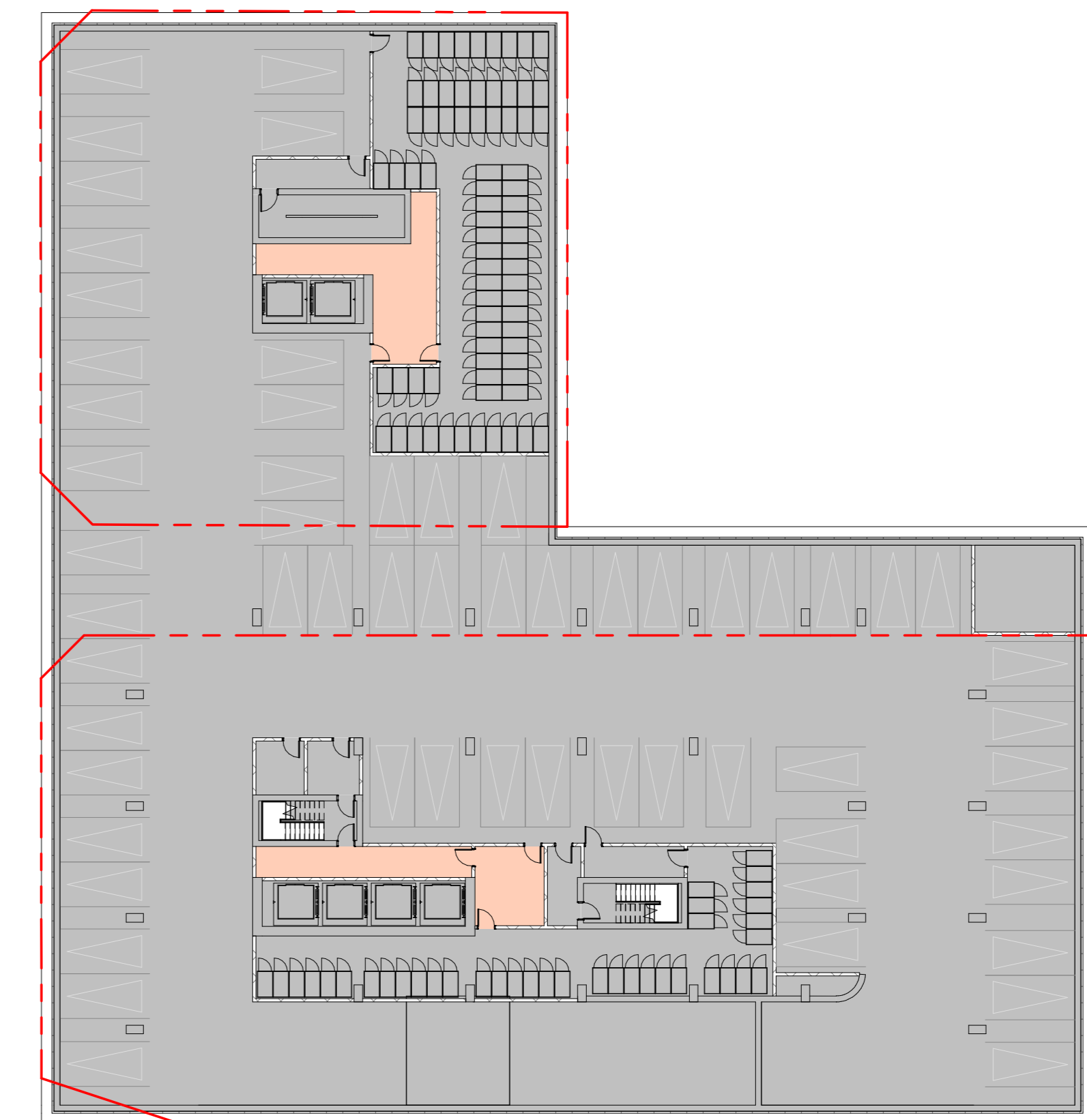
④ LEVEL P1 AREA PLAN
1:300



③ LEVEL P2 AREA PLAN
1:300



② LEVEL P3 AREA PLAN
1:300



① LEVEL P4 AREA PLAN
1:300

Job Number 442622.00
TITLE

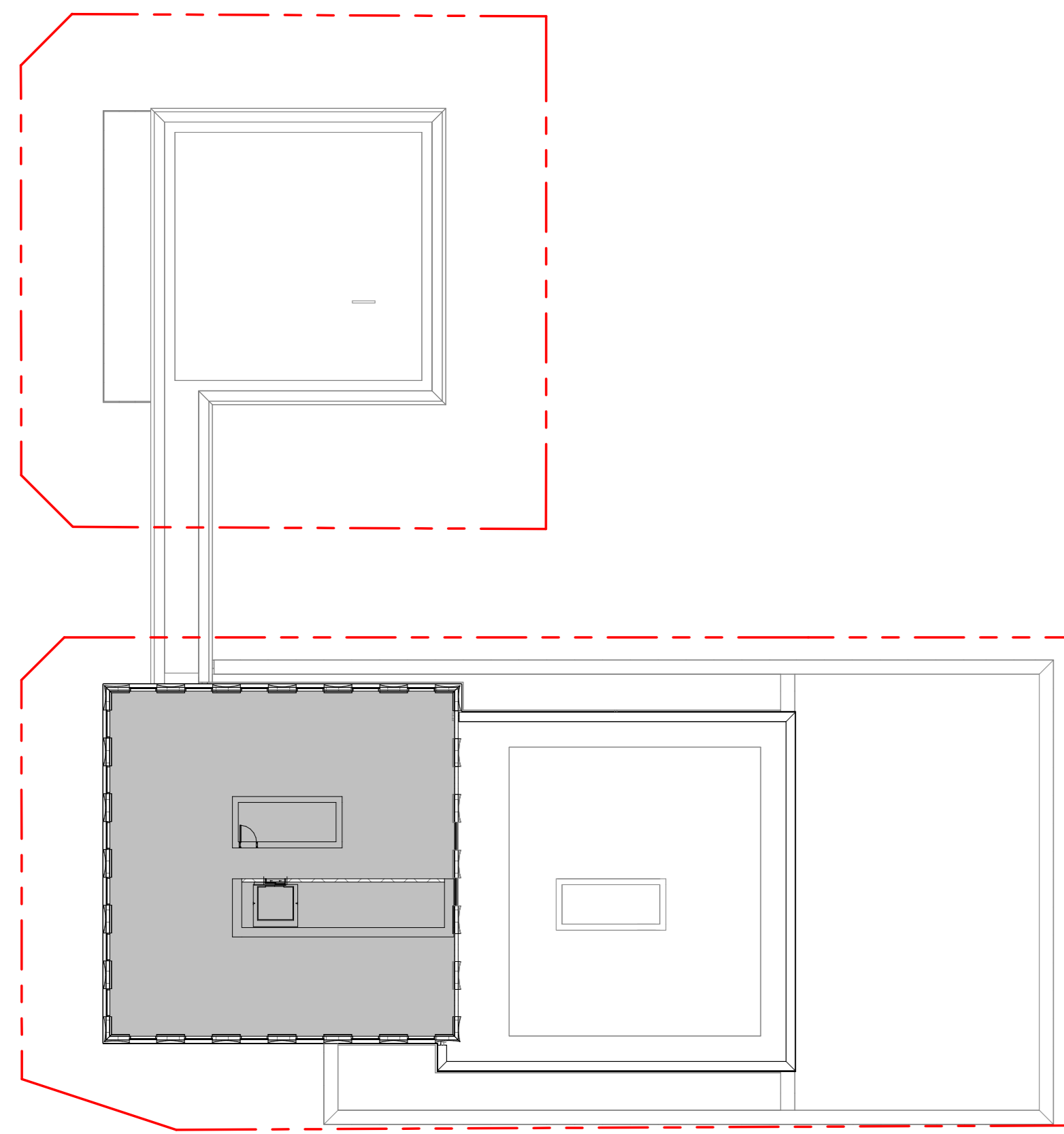
GFA PLANS - BELOW GRADE

SHEET NUMBER

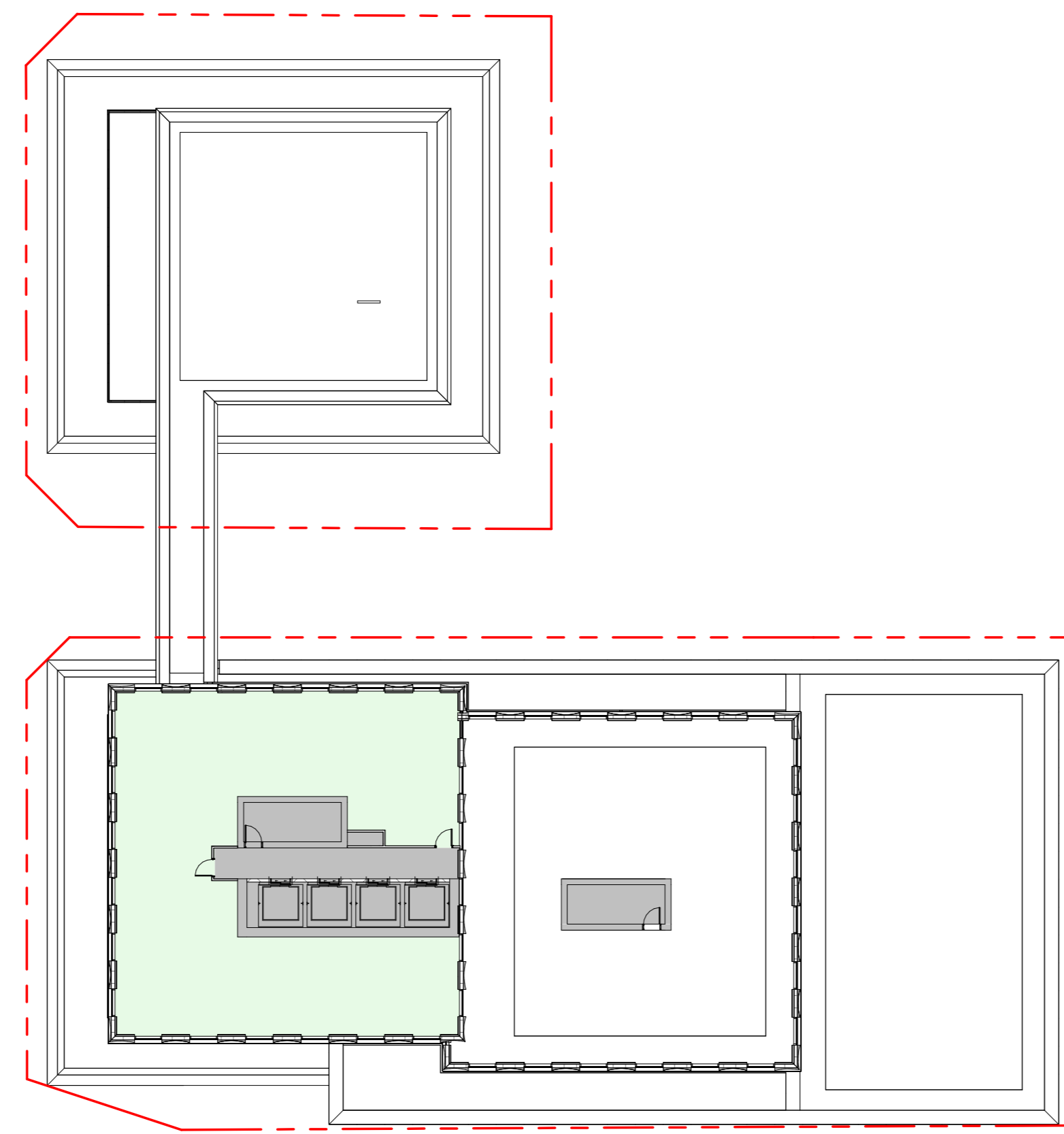
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GROSS FLOOR AREA	
PGM Room Type	Area
BALCONY	2118.23 m ²
BIKE PARKING	499.54 m ²
BUILDING OPS	611.78 m ²
CIRCULATION	891.08 m ²
CORE	4996.75 m ²
INDOOR AMENITY	1753.22 m ²
MECHANICAL	702.24 m ²
MECHANICAL	897.94 m ²
OUTDOOR AMENITY	8276.09 m ²
PARKING	32449.29 m ²
RETAIL	409.53 m ²
STORAGE	1369.70 m ²
	54133.89 m ²

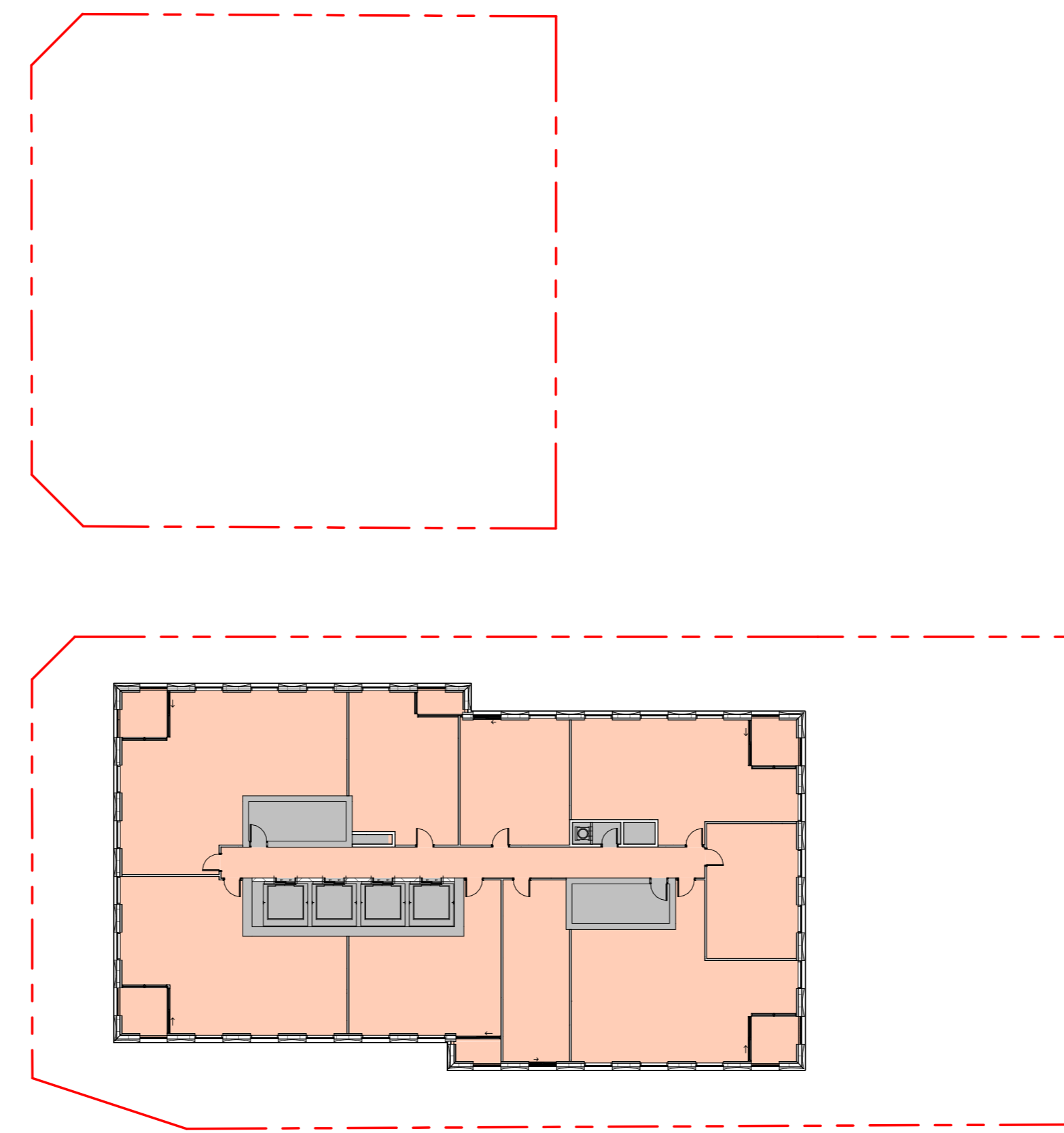
- ZONING GFA - RESIDENTIAL
- ZONING GFA - AMENITY
- ZONING GFA - RETAIL
- ZONING GFA - DEDUCTIONS



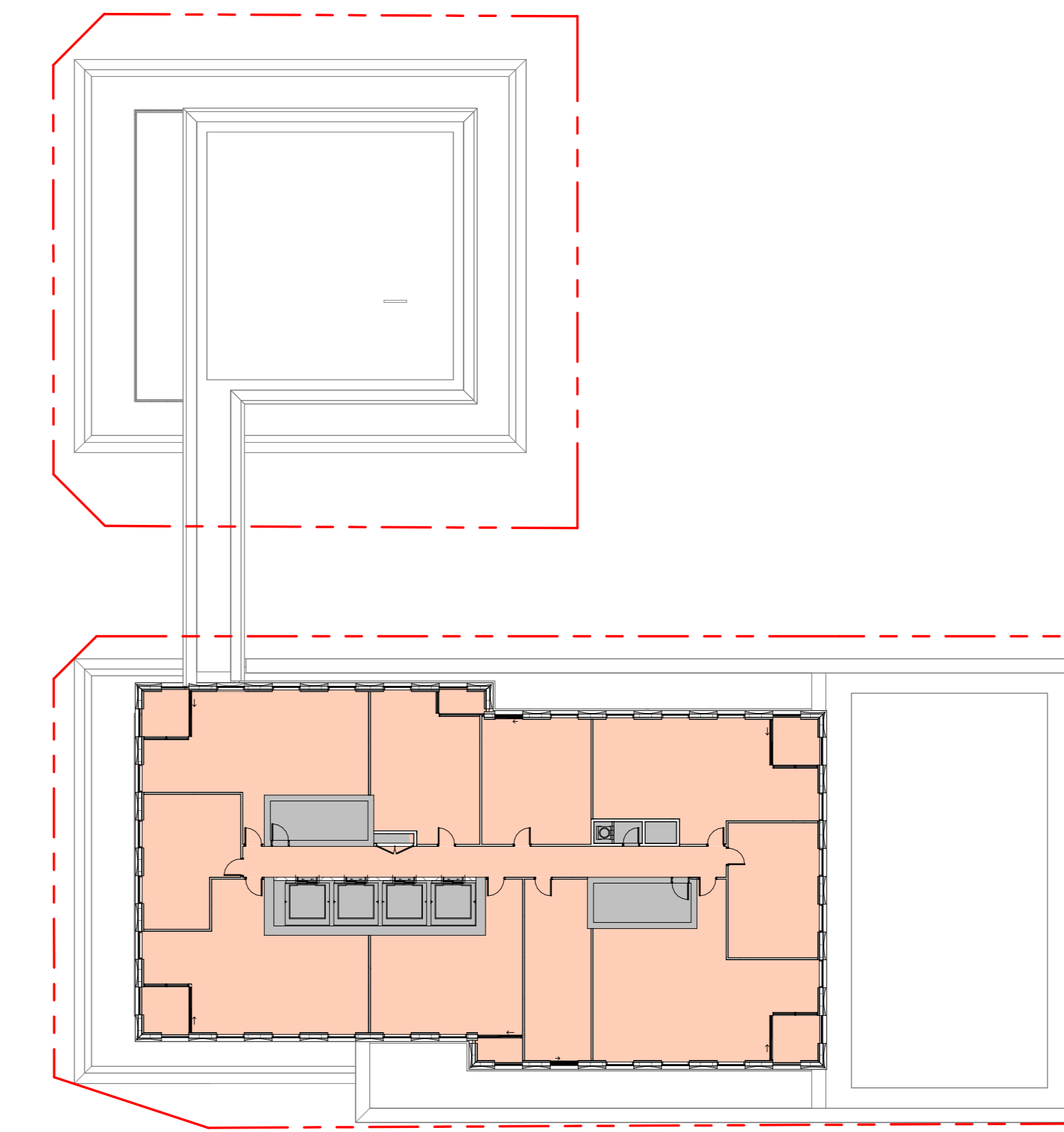
⑥ MECHANICAL PENTHOUSE AREA PLAN
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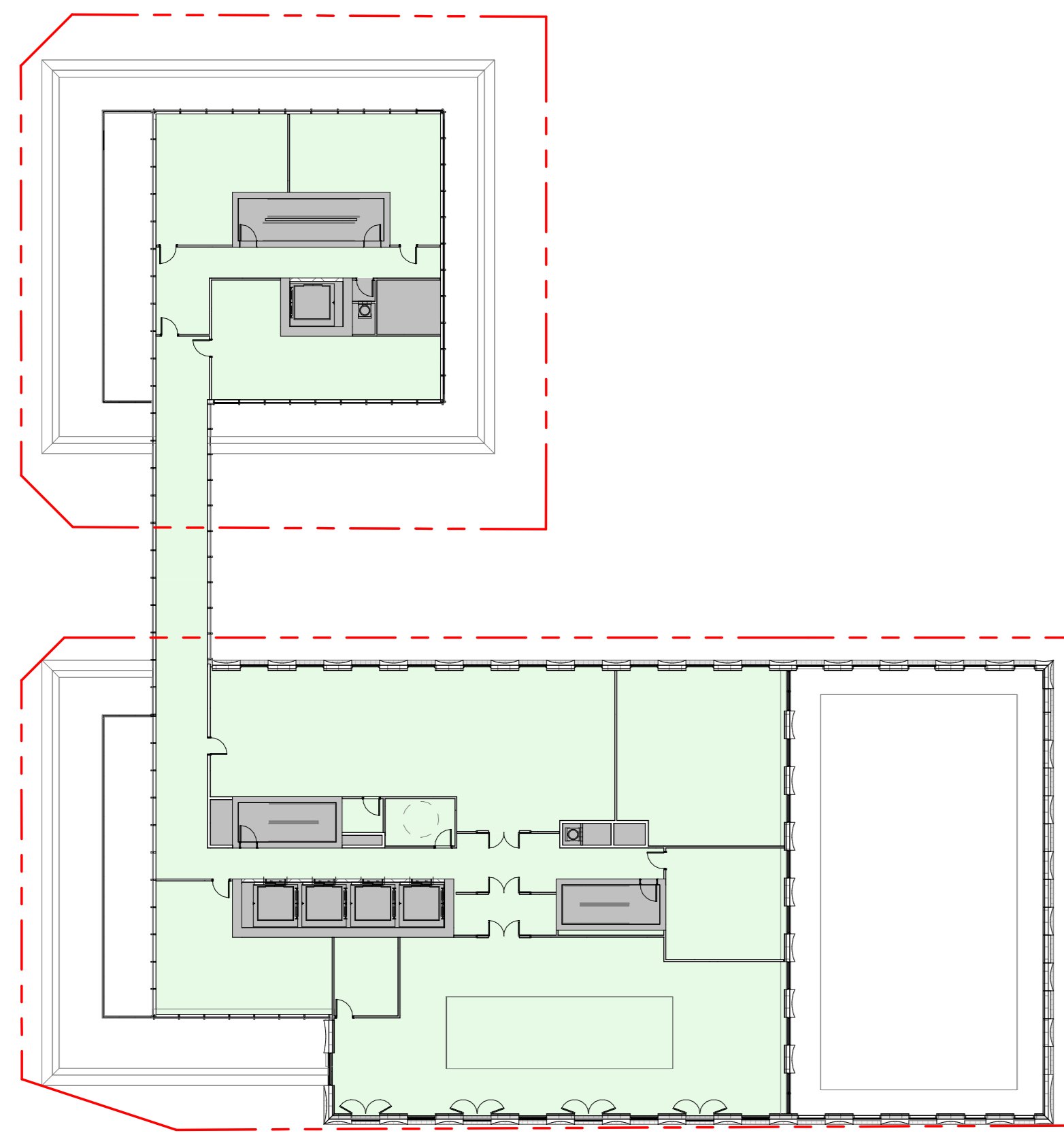
⑧ ROOF AMENITY AREA PLAN
1:300



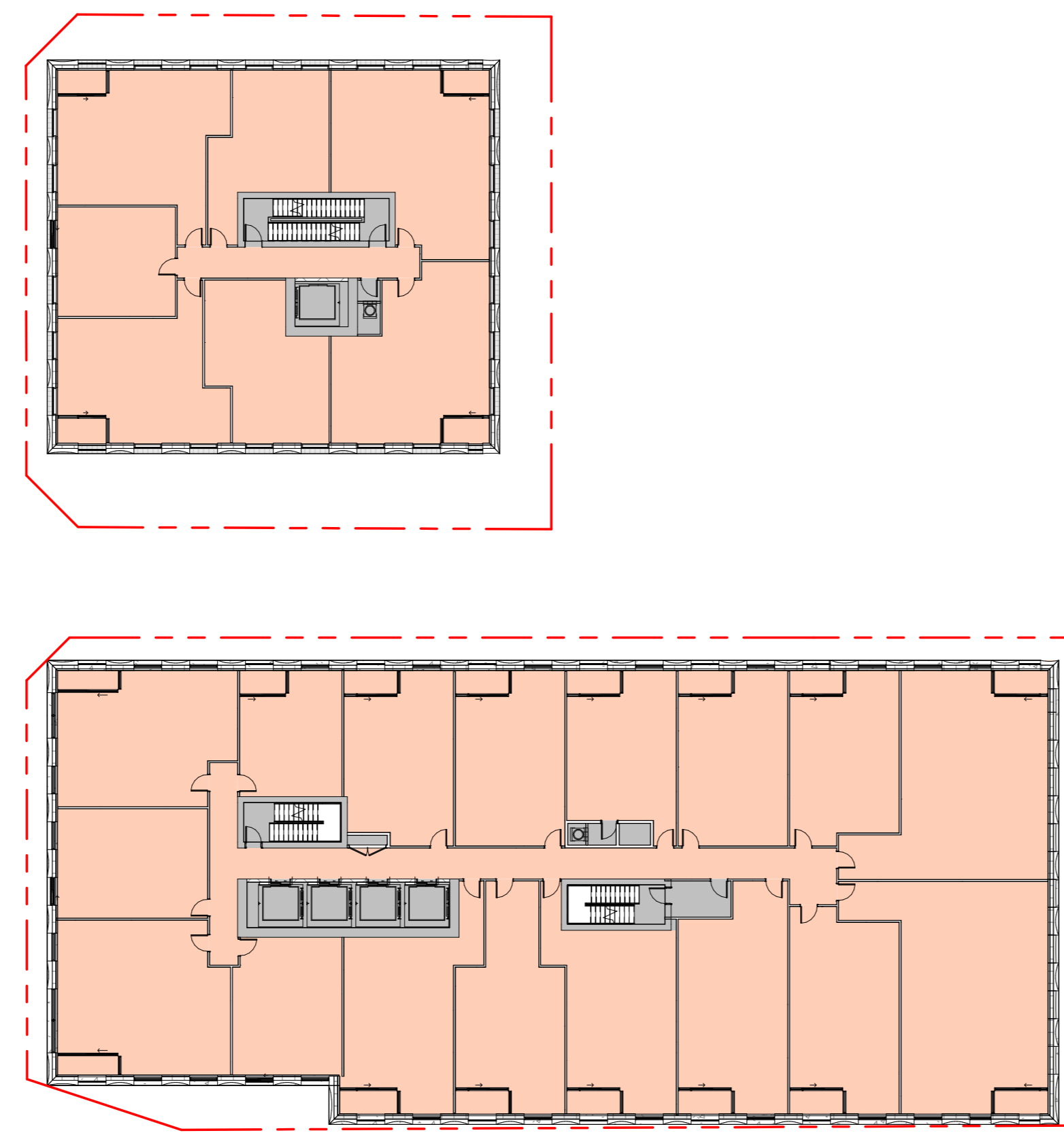
⑤ LEVEL 31-40 AREA PLAN
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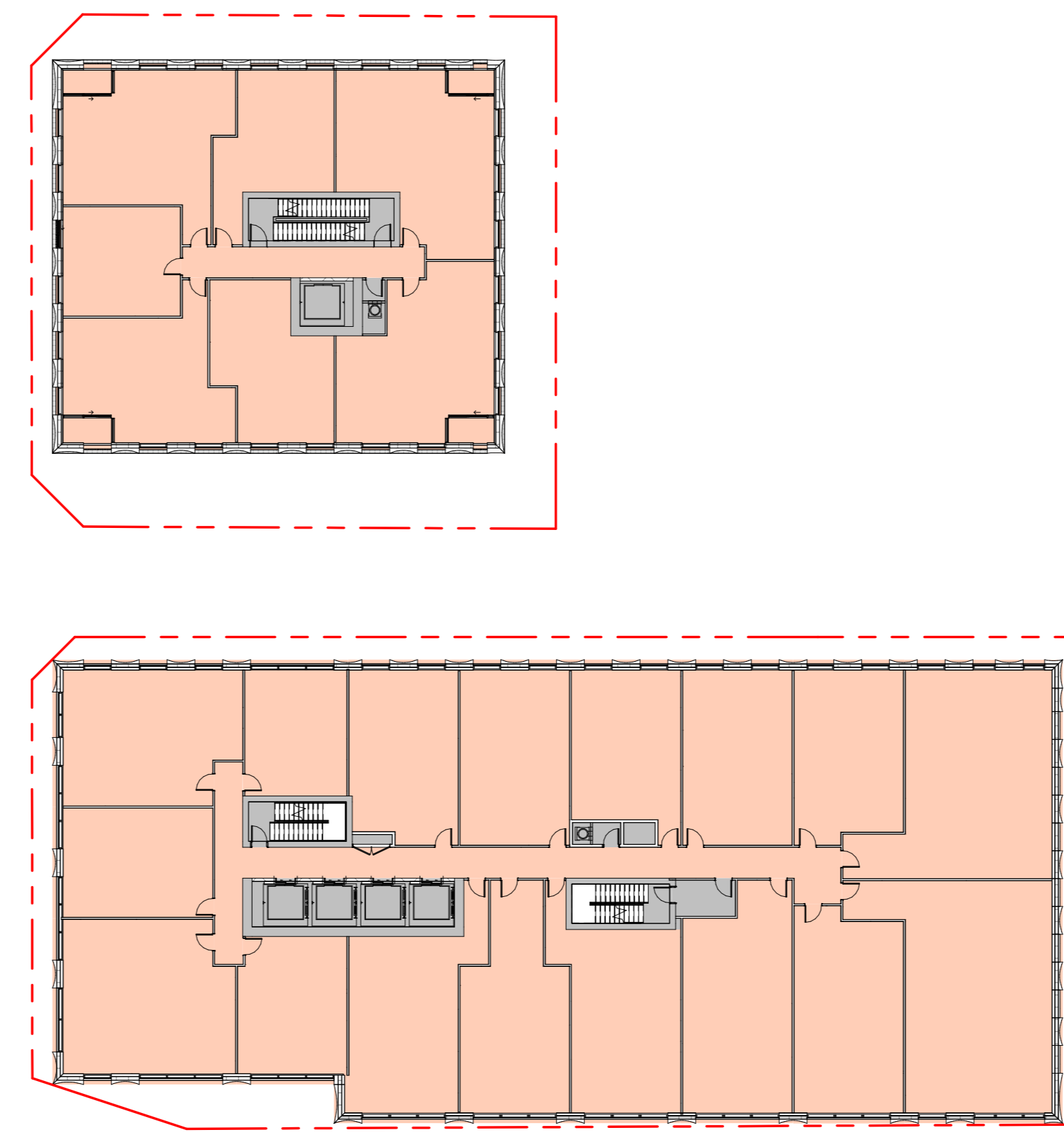
④ LEVEL 07-30 AREA PLAN
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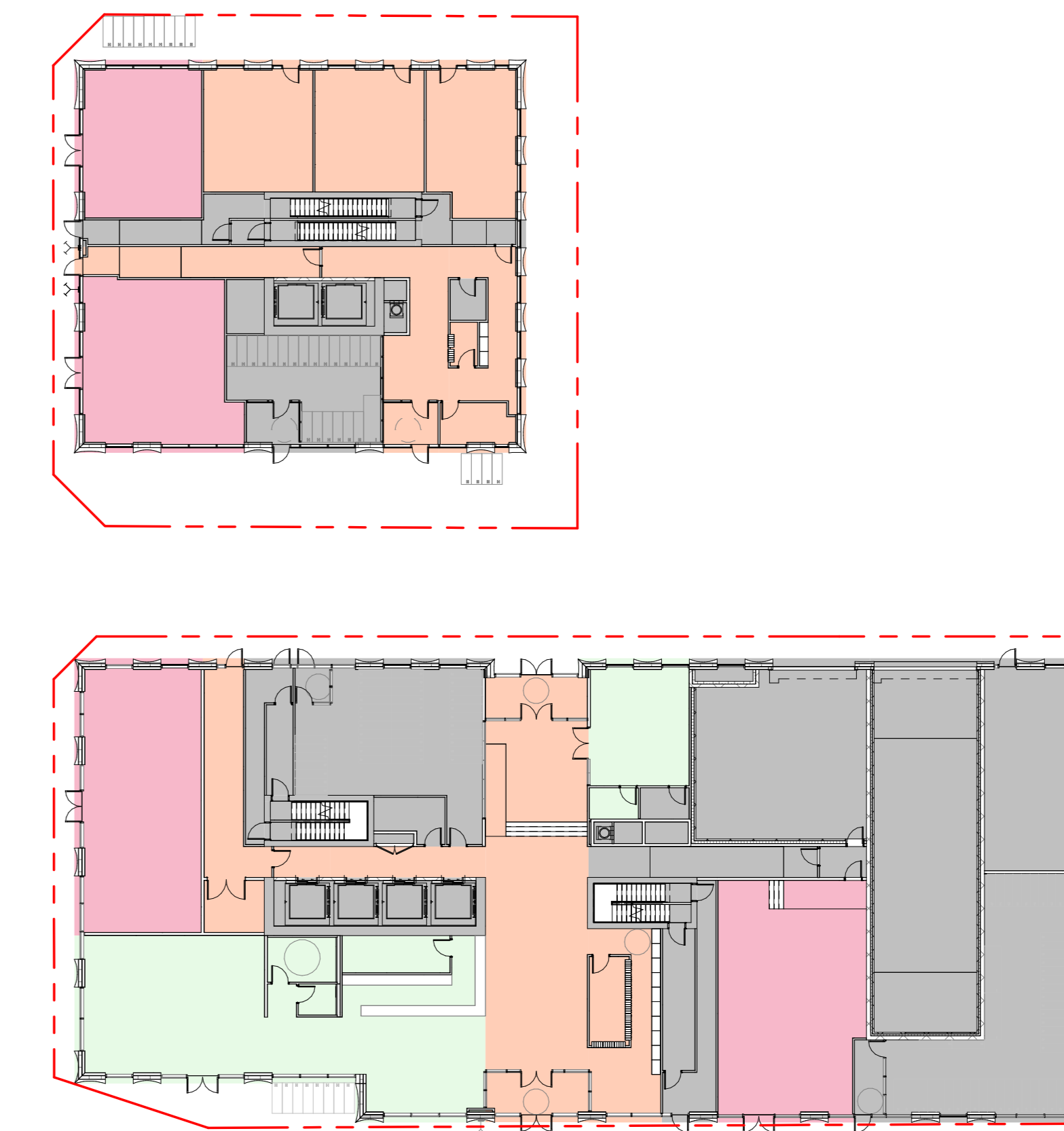
③ LEVEL 06 AREA PLAN
1:300



② LEVEL 03-L05 AREA PLAN
1:300



① LEVEL 02 AREA PLAN
1:300



⑦ LEVEL 01 AREA PLAN
1:300

SEAL



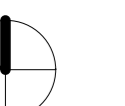
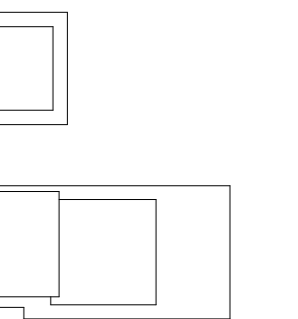
PROJECT

131-139 PARKDALE AND
122 FORWARD AVE.
131 Parkdale Ave.
Ottawa, Ontario
K1Y 2M3

brigil

Brigil
425 Boulevard Saint-Joseph,
Gatineau, Quebec, J8Y 3R9

KEYPLAN



ISSUE CHART

NO.	ISSUED FOR	DATE	BY
1	ISSUED FOR OPAZBASPA	2026/02/27	

ISSUED FOR OPAZBASPA 02/27/2026

Job Number 442622.00
TITLE

GFA PLANS - ABOVE GRADE

SHEET NUMBER

G04-02

NOTES

SITE PLAN BASED ON
TOPOGRAPHIC PLAN OF SURVEY:

LOTS 1, 2, 3 & 4, EAST PARKDALE AVENUE
LOTS 1 & 2, WEST FORWARD AVENUE AND
PART OF LANE, CLOSED BY JUDGE'S ORDER INST. N719498,
AMENDED BY JUDGE'S ORDERS INST. N722887 & N723202.
REGISTERED PLAN 35
CITY OF OTTAWA
SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

DATE:

JULY 21, 2025

ZONING MATRIX

*PROVISIONS AND SETBACKS MEASURED IF 131-139 PARKDALE AND 122 FORWARD AVE ARE CONSIDERED ONE LOT FOR ZONING PURPOSES, WITH FORWARD AVE BEING THE FRONT LOT LINE, BURNSIDE AVE BEING THE CORNER LOT LINE AND PARKDALE AVE BEING THE REAR LOT LINE IN THE TABLE BELOW.

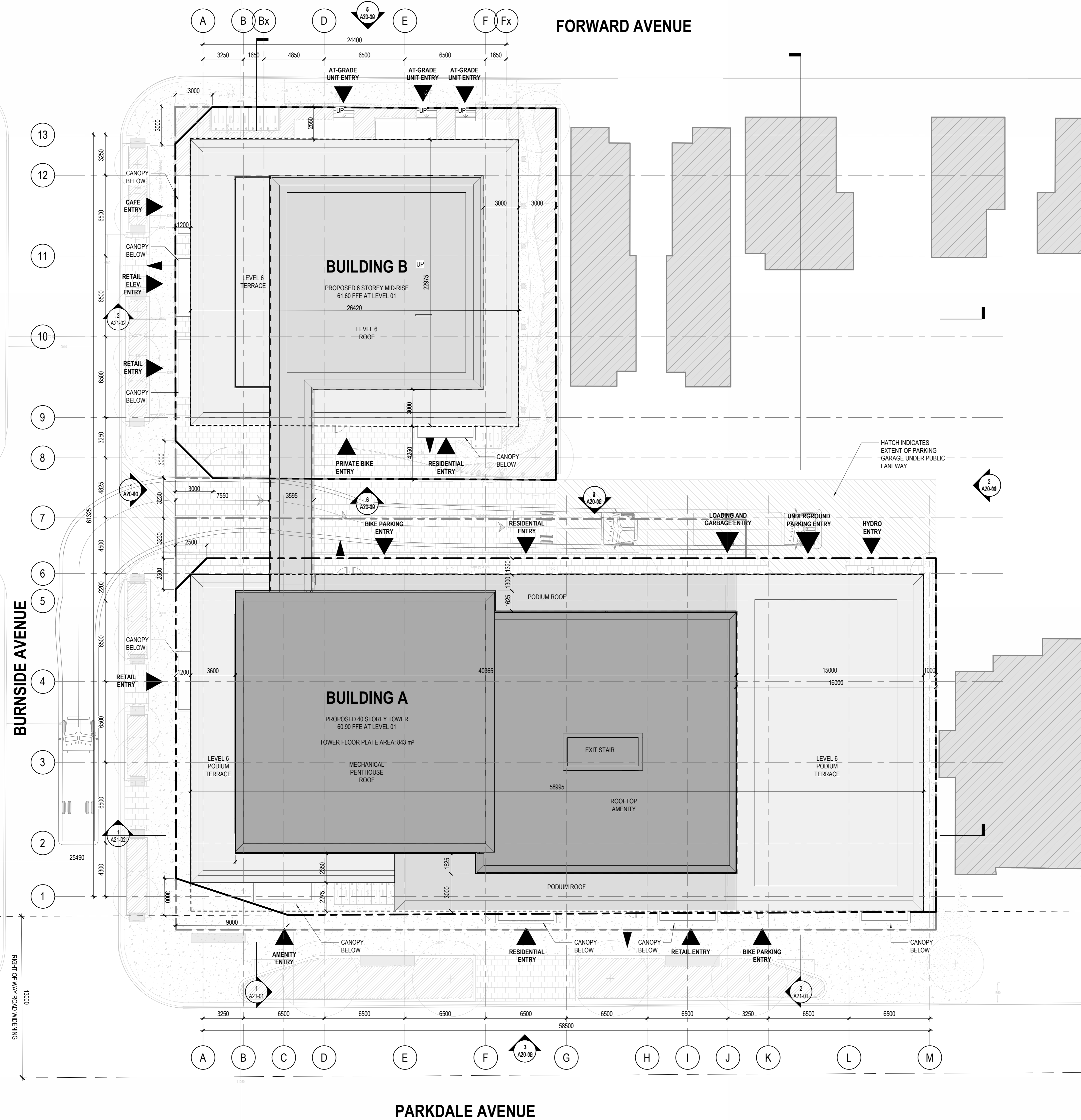
** REFER TO DRAFT ZONING SCHEDULE

PROVISION OLD BY-LAW 2008-250	REQUIRED RSL	REQUIRED RSL	PROVIDED*
MIN. LOT WIDTH (m)	22.5m	18m	30.64m
MIN. LOT AREA (m ²)	1,400m ²	540m ²	2,745.6m ²
MAX. BUILDING HEIGHT (m)	37m	19m	127.6m**
MIN. FRONT YARD SETBACK (m)**	3m	3m	2.5m**
MIN. CORNER SIDE YARD SETBACK (m)**	3m	3m	1.2m**
MIN. INTERIOR SIDE YARD SETBACK (m)**	1.5m-6m	1.5m-6m	1.0m**
MIN. REAR SIDE YARD SETBACK (m)**	7.5m	7.5m	0m**
MIN. LANDSCAPED AREA	30%	30%	30%

OLD BY-LAW 2008-250	PROVISION / REQUIRED	PROVIDED*
PERMITTED PROJECTIONS ABOVE THE HEIGHT LIMIT SECTION 64	AMENITY AREA: NOT PERMITTED TO PROJECT ABOVE THE MAX HEIGHT	4.5m ABOVE THE MAX HEIGHT EXCEPTION REQUIRED TO PERMIT AMENITY AREA TO PROJECT ABOVE THE MAXIMUM HEIGHT
PERMITTED PROJECTIONS INTO YARD SECTION 65, TABLE 65, (4)	CANOPIES AND AWNINGS: 1.8m BUT NOT CLOSER THAN 0.6m TO A LOT LINE	CANOPIES LOCATED AT 0.0m LOT LINE EXCEPTION REQUIRED TO PERMIT CANOPIES AND AWNINGS 0M TO ALL LOT LINES.
VISITOR VEHICLE PARKING* SECTION 102	0.1 SPACES PER DWELLING UNIT. 102(2) NO VISITOR PARKING SPACES ARE REQUIRED FOR THE FIRST 12 DWELLING UNITS ON A LOT 102(3) WITHIN AREA Z, NO MORE THAN 30 VISITOR PARKING SPACES ARE REQUIRED PER BUILDING.	429 UNITS - 12 = 417 417 X 0.1 = 42 EXCEPTION REQUIRED TO PERMIT 0 VISITOR VEHICLE PARKING SPACES

NEW BY-LAW 2025-50	PROVISION / REQUIRED	PROVIDED*
PROJECTIONS ABOVE THE HEIGHT LIMIT SECTION 203 (3)(i) and (ii)	(i) INDOOR AMENITY AREA ON A BUILDING FIVE STOREYS OR HIGHER. (ii) MAXIMUM FLOOR AREA 50% OF THE AREA OF THE ROOF, BUT IN NO CASE GREATER THAN 300m ² . (iii) MAXIMUM PROJECTION: 5m ABOVE THE HEIGHT LIMIT, AND (iv) MINIMUM SETBACK FROM AN EXTERIOR WALL: 2m	MAXIMUM PROJECTION LESS THAN 5m IN HEIGHT. EXCEPTION REQUIRED TO PERMIT AN INDOOR AMENITY AREA ON THE ROOF OF 342.2m ² AND NO MINIMUM SETBACK FROM TOWER) EXTERIOR WALL
PROJECTIONS ABOVE THE HEIGHT LIMIT SECTION 203 (3)(i) and (ii)	ROOFTOP LANDSCAPED AREA, GARDEN, OR TERRACE: (i) MUST BE SETBACK A MINIMUM OF 1.5m FROM ANY EXTERIOR WALL OF THE BUILDING WHEN THE FEATURE IS LOCATED ON THE ROOF OF THE UPPERMOST STOREY; AND (ii) 1.5m HIGH OPAQUE SCREEN MUST BE PROVIDED FACING AN INTERIOR WARD, OR FACING THE INTERIOR SIDE YARD OF AN ABUTTING LOT.	EXCEPTION REQUIRED TO PERMIT A ROOFTOP LANDSCAPED AREA, OR TERRACE SETBACK 0m FROM ANY EXTERIOR WALL AND NO OPAQUE SCREEN IS REQUIRED.
GROUND FLOOR AND ACTIVE ENTRANCES SECTION 902 (2)	FOR HIGH-RISE BUILDINGS, THE MINIMUM HEIGHT OF THE GROUND FLOOR IS 4m.	4m
GROUND FLOOR AND ACTIVE ENTRANCES SECTION 902 (3)	GROUND FLOOR AND LOCATED WITHIN 4.5m OF A FRONT OR EXTERIOR SIDE LOT LINE MUST: PROVIDE A MINIMUM OF ONE ACTIVE ENTRANCE FOR EACH NON-RESIDENTIAL USE AND RESIDENTIAL A MINIMUM OF 40% OF THE SURFACE AREA OF THE GROUND FLOOR FACADE FACING A PUBLIC STREET MUST BE COMPRISED OF TRANSPARENT GLAZING AND ACTIVE CUSTOMER OR RESIDENT ENTRANCE ACCESS DOORS.	EACH RETAIL AND RESIDENTIAL USE HAS AN ACTIVE ENTRANCE GROUND FLOOR FACADE 49.8% OF TRANSPARENT GLAZING
SITE LAYOUT AND LANDSCAPING SECTION 902 (4)	WHERE A FRONT OR EXTERIOR SIDE YARD IS PROVIDED THAT IS 1m OR GREATER IN DEPTH, THAT YARD MUST CONTAIN ANY OF THE FOLLOWING: (a) AN OUTDOOR COMMERCIAL PATIO; (b) BICYCLE PARKING; (c) SOFT LANDSCAPING; OR (d) BENCHES, STREET FURNITURE OR OTHER SIMILAR FEATURES.	PROVIDED
SITE LAYOUT AND LANDSCAPING SECTION 902 (6)	A SOFT LANDSCAPED BUFFER OF A MINIMUM OF 3m MUST BE PROVIDED ABUTTING ANY LOT LINE SHARED WITH LANDS IN THE N1, N2, N3, N4, N5 AND N6 - NEIGHBOURHOOD ZONES, OR (A) WHERE AN OPAQUE SCREEN WITH A MINIMUM HEIGHT OF 1.5m IS PROVIDED, THE SOFT LANDSCAPING BUFFER MAY BE REDUCED TO 1m	EXCEPTION REQUIRED TO ELIMINATE NEED FOR 1.5m OPAQUE SCREEN, 1m SETBACK PROVIDED TO ABUTTING N6 ZONE.
PROVISIONS FOR HIGH-RISE BUILDINGS SECTION 207 (6)(a)	THE MINIMUM SEPARATION DISTANCE BETWEEN RESIDENTIAL TOWERS IS 23m.	25m
WASTE MANAGEMENT SECTION 217	SIZE OF STORAGE ARE REQUIRED 10m ³	169.5m ³
ELECTRIC VEHICLE (EV) PARKING SPACE PROVISIONS SECTION 611	WHERE PARKING SPACES ARE PROVIDED ACCESSORY TO A MID-RISE OR HIGH-RISE RESIDENTIAL OR MIXED-USE BUILDING, 25% OF THE SPACES PROVIDED OR AN EQUIVALENT, MUST BE DESIGNED AS ELECTRIC VEHICLE PARKING SPACES CAPABLE OF SUPPORTING LEVEL 2 CHARGING	201 X 0.25 = 51 53 EV SPACES PROVIDED
RESIDENTIAL BICYCLE PARKING SECTION 613, TABLE 613B	LONG TERM BIKE PARKING: 1 SPACE PER UNIT 429 LONG TERM BIKE REQUIRED SHORT TERM BIKE PARKING: MINIMUM 2 SPACES WITH AN ADDITIONAL 0.1 SPACES PER UNIT ABOVE 20 RESIDENTIAL UNITS 43 SHORT TERM BIKE SPACES REQUIRED (HORIZONTAL)	429 LONG TERM SPACES 429 UNITS - 20 = 409 409 X 0.1 = 41 + 2 = 43 SHORT TERM SPACES
NON-RESIDENTIAL BIKE PARKING SECTION 613, TABLE 613C	INCLUSIVE BIKE PARKING SPACES: 5% OF TOTAL REQUIRED (472 X 0.05 = 24) 4 RETAIL SPACES 2 X 4 = 8 REQUIRED	24 SPACES PROVIDED WITHIN TOTAL OF 472 201 X 0.25 = 51 53 EV SPACES PROVIDED

BOTH BY-LAWS (PROVISIONS ARE THE SAME)	PROVISION / REQUIRED	PROVIDED*
PERMITTED PROJECTIONS ABOVE THE HEIGHT LIMIT	MECHANICAL AND SERVICE EQUIPMENT PENTHOUSE, ELEVATOR OR STAIRWAY PENTHOUSES: NO MAXIMUM PROJECTION	14.9m
AMENITY AREA	6m ² PER DWELLING UNIT A MINIMUM OF 50% OF THE REQUIRED TOTAL AMENITY AREA	PRIVATE BALCONIES: 2118.23m ² INDOOR COMMUNAL SPACE: 1,753.22M ² OUTDOOR COMMUNAL SPACE: 897.94M ² TOTAL: 4,769.39m ²
RESIDENTIAL VEHICLE PARKING MAXIMUMS	BUILDINGS WITH 11 OR MORE DWELLING UNITS: MAXIMUM OF 1.25 SPACES PER DWELLING UNIT	201 SPACES
NON-RESIDENTIAL VEHICLE PARKING	NO PARKING REQUIRED	201 SPACES
PARKING SPACE DIMENSIONS	2.6m X 5.2m	2.6m X 5.2m
DRIVEWAY WIDTH	6.0m FOR A DOUBLE TRAFFIC LANE	6.0m



SITE PLAN LEGEND

- AD AREA DRAIN
 - APS ACCESSIBLE PARKING SIGNAGE
 - AW AREA WELL (GRATE POROSITY LESS THAN 20mm x 20mm)
 - B BOLLARD
 - B-F BARRIER-FREE
 - BR BIKE RACK (SEE LANDSCAPE)
 - CB CATCH BASIN
 - CW CONCRETE WALKWAY
 - DC DEPRESSED CURB
 - EX-CW EXISTING CONCRETE WALKWAY
 - EX-LS EXISTING LIGHT STANDARD
 - FCC FIRE DEPARTMENT CONNECTION
 - FH FIRE HYDRANT
 - FH-EX FIRE HYDRANT - EXISTING
 - FR FIRE ROUTE SIGNAGE
 - HB HOSE BIB (SEE MECHANICAL)
 - MH MAN HOLE
 - NC NOT IN CONTRACT
 - TD TRENCH DRAIN
- ▲ PRIMARY ENTRY/EXIT
- ▲ EXIT
- PROPERTY AND PROPOSED SITE LINES
- EXISTING PROPERTY LINES

1 SITE PLAN - AREA

1 : 150

SEAL



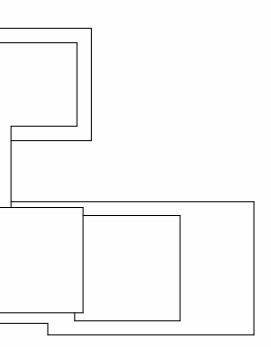
PROJECT

131-139 PARKDALE AND
122 FORWARD AVE.
131 Parkdale Ave.
Ottawa, Ontario
K1Y 2M3

brigil

Brigil
425 Boulevard Saint-Joseph,
Gatineau, Quebec, J8Y 3R9

KEYPLAN



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ISSUED FOR OPAZBAS/PA 02/27/2025

Job Number 442522.00

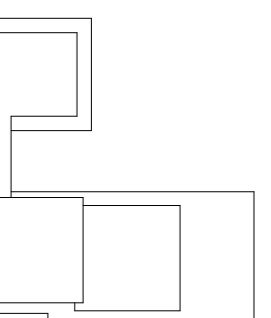
TITLE

SITE PLAN

SHEET NUMBER

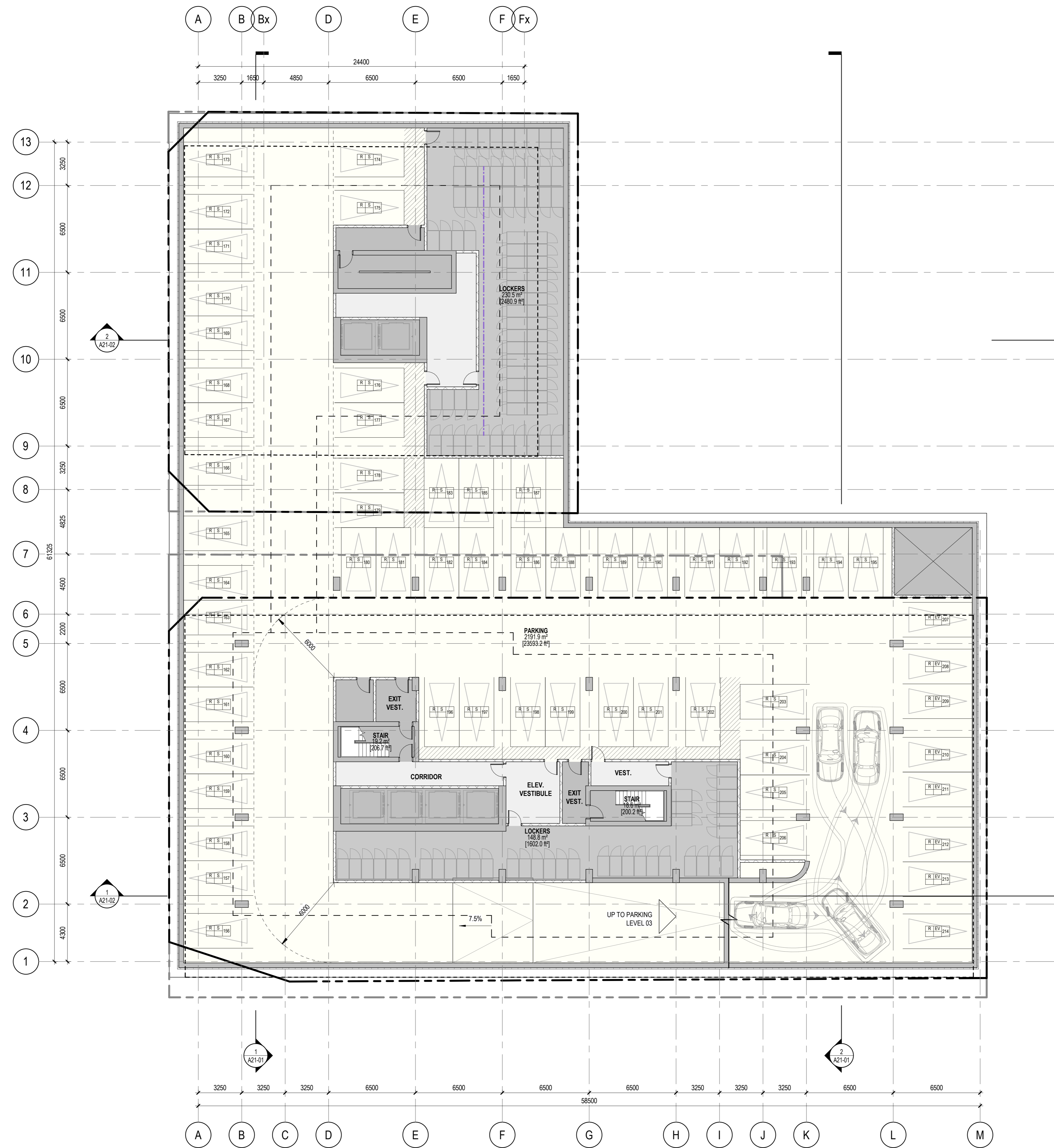
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1	ISSUED FOR OPAZBASPA	2025/02/27	
	REVISION		

ISSUED FOR OPAZBASPA 02/27/2026



AREA BY LEVEL

PGM Room Type	Area
LEVEL P4	11.16 m²
CIRCULATION	179.14 m²
CORE	37.02 m²
MECHANICAL	2191.88 m²
PARKING	87.80 m²
RESIDENTIAL	379.31 m²
STORAGE	2886.32 m²
Grand total	2886.32 m²

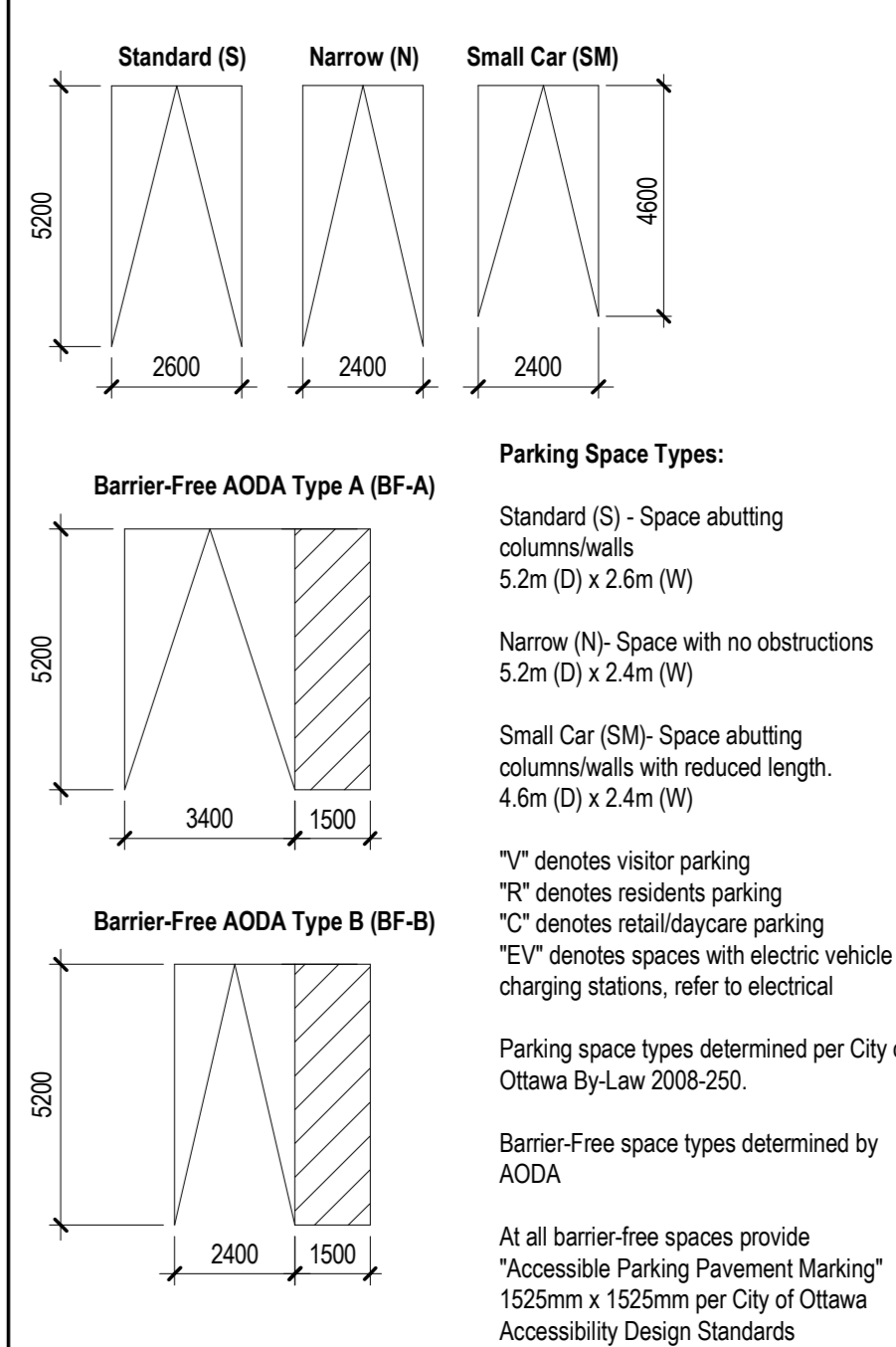
LOCKER COUNT

Level	Count
LEVEL P1	90
LEVEL P2	113
LEVEL P3	113
LEVEL P4	113
GRAND TOTAL: 429	

PARKING COUNT

PARKING TYPE	COUNT
RESIDENT CAR PARKING	
BF-A	3
BF-B	6
EV	83
S	145
TOTAL: 237	

PARKING LEGEND

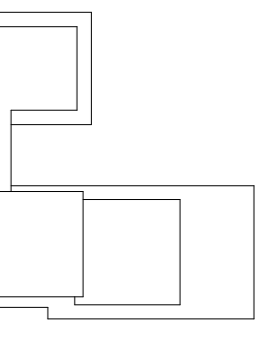




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122 FORWARD AVE.
131 Parkdale Ave.
Ottawa, Ontario
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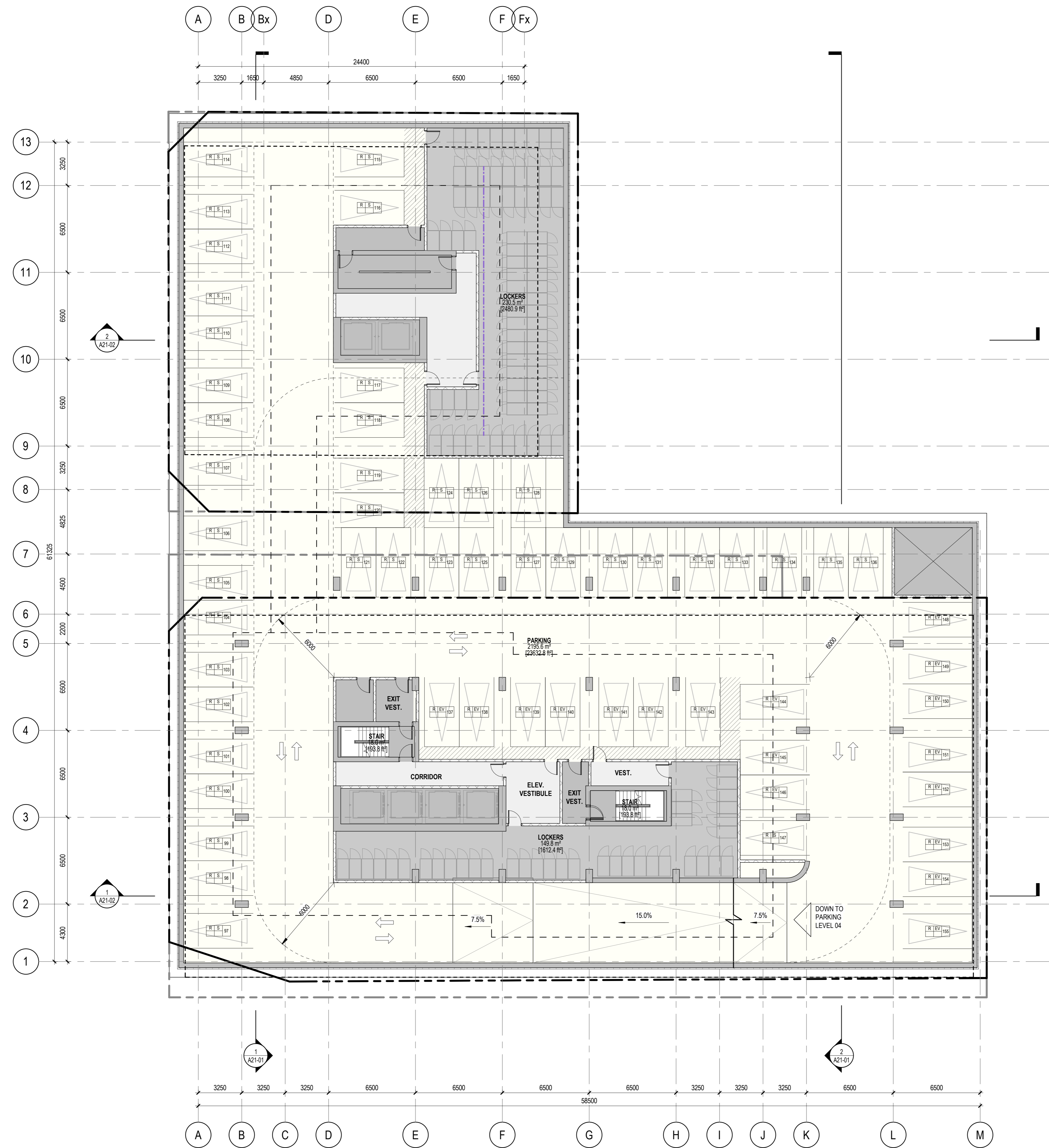
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Gatineau, Quebec, J8Y 3R9



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AREA BY LEVEL

PGM Room Type	Area
LEVEL P3	
CIRCULATION	10,801 m ²
CORE	175,355 m ²
MECHANICAL	37,000 m ²
PARKING	2195,56 m ²
RESIDENTIAL	67,800 m ²
STORAGE	380,27 m ²
STORAGE	2896,78 m ²
Grand total	2886,78 m ²

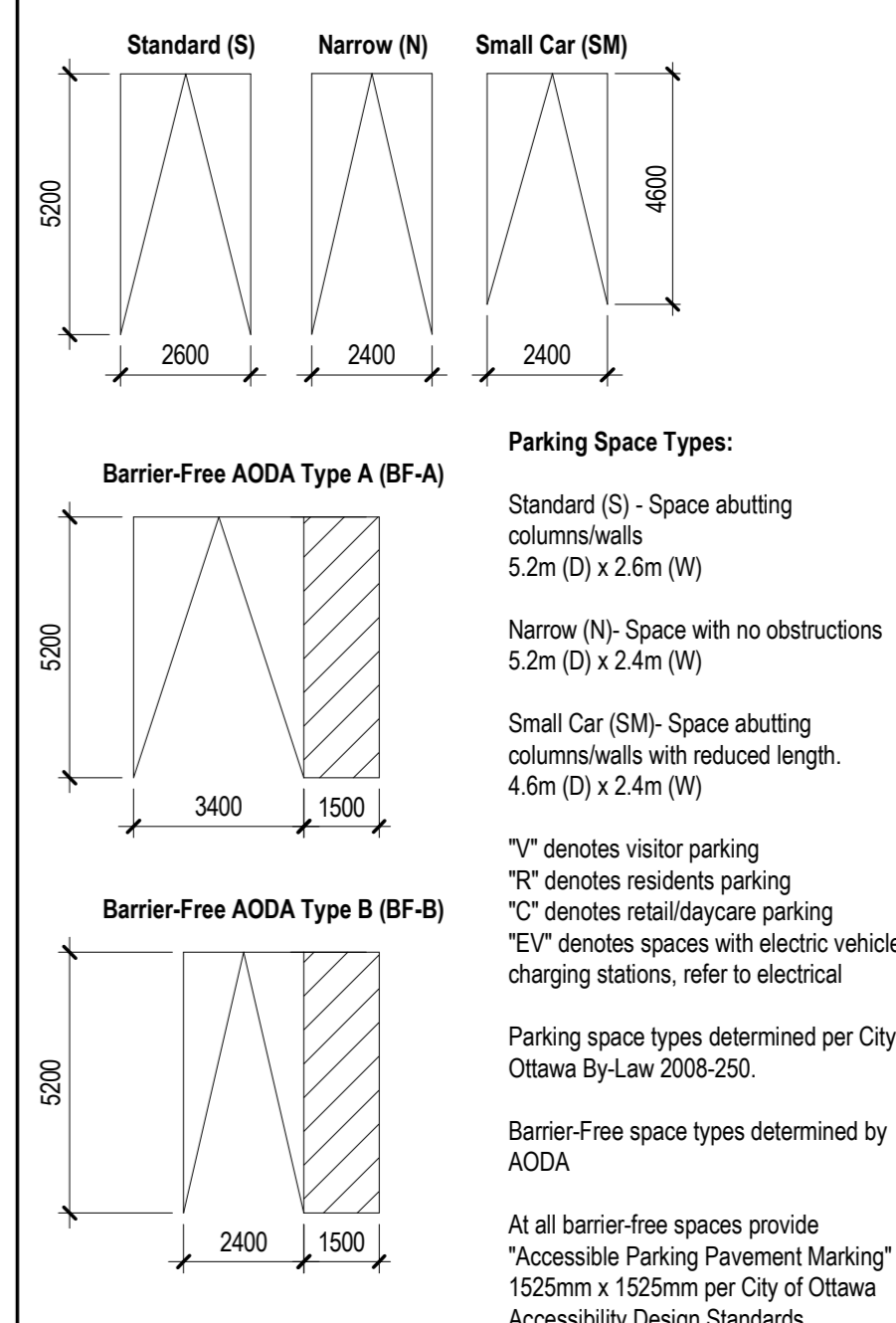
LOCKER COUNT

Level	Count
LEVEL P1	90
LEVEL P2	113
LEVEL P3	113
LEVEL P4	113
GRAND TOTAL	429

PARKING COUNT

PARKING TYPE	COUNT
RESIDENT CAR PARKING	
BF-A	3
BF-B	6
EV	53
S	145
TOTAL	207

PARKING LEGEND

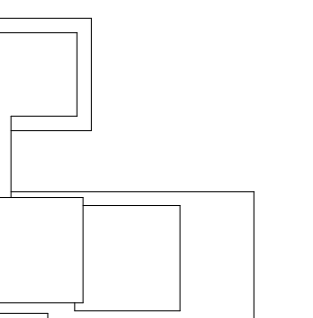




131-139 PARKDALE AND
122 FORWARD AVE.
131 Parkdale Ave.
Ottawa, Ontario
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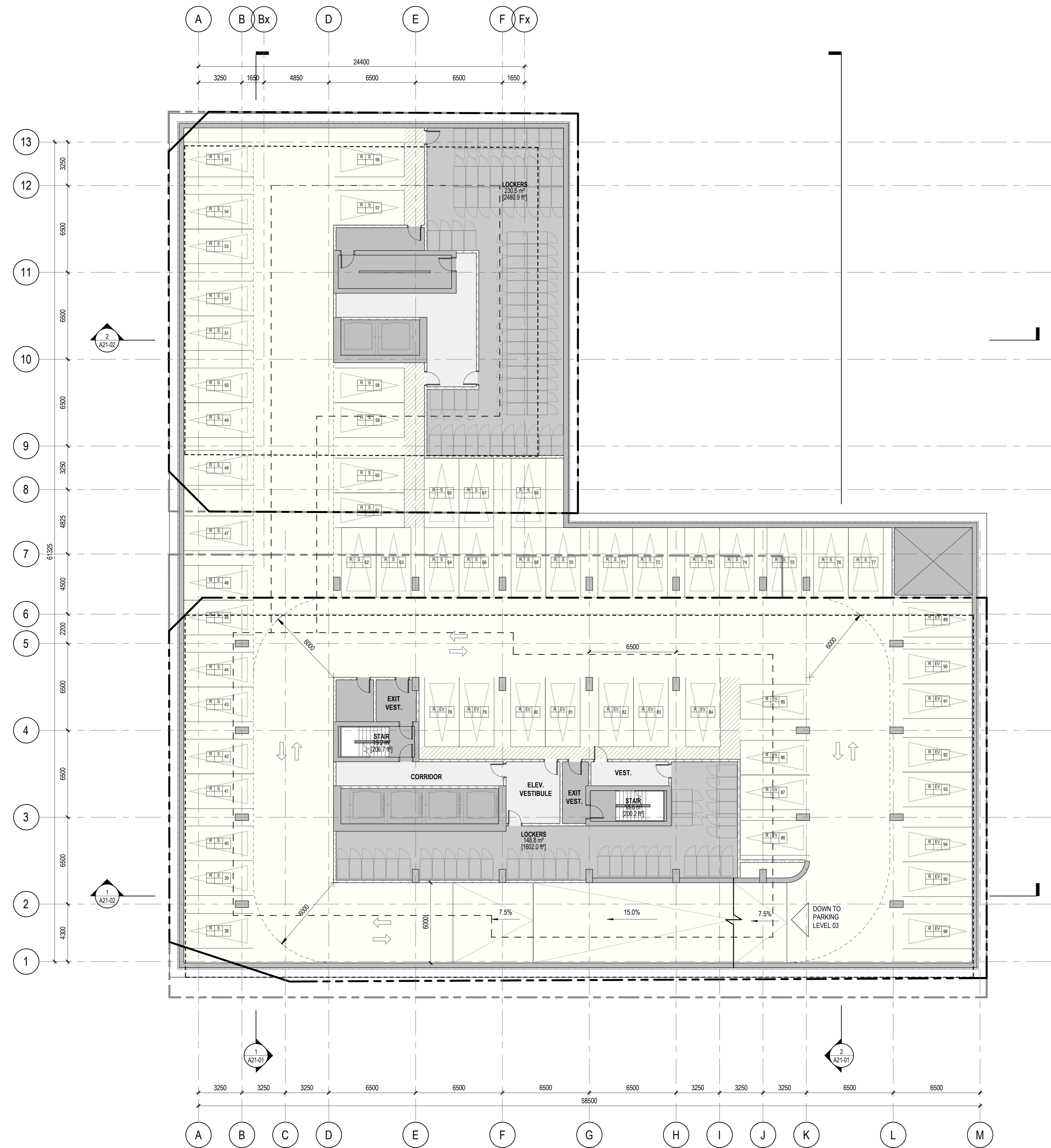
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1	ISSUED FOR OPAZBASPA	2026/02/27
	DATE	DATE

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AREA BY LEVEL

PGM Room Type	Area
LEVEL P2	
BUILDING OPS	37.00 m ²
CIRCULATION	11.16 m ²
CORE	178.46 m ²
PARKING	2193.03 m ²
RESIDENTIAL	57.80 m ²
STORAGE	379.31 m ²
	2886.76 m ²
Grand total	2886.76 m ²

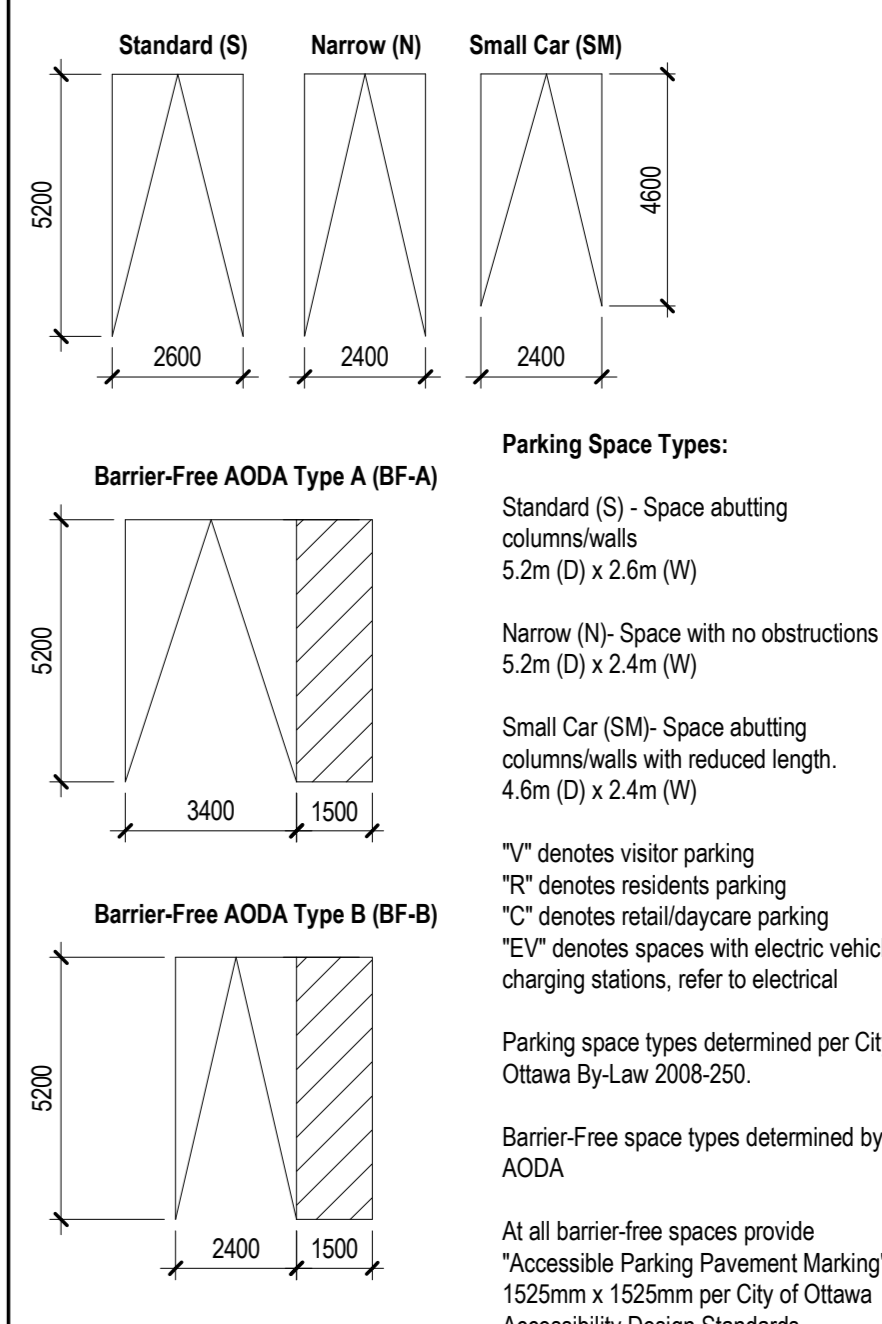
LOCKER COUNT

Level	Count
LEVEL P1	90
LEVEL P2	113
LEVEL P3	113
LEVEL P4	113
GRAND TOTAL: 429	

PARKING COUNT

PARKING TYPE	COUNT
RESIDENT CAR PARKING	
BF-A	3
BF-B	6
CV	51
S	145
TOTAL: 207	

PARKING LEGEND

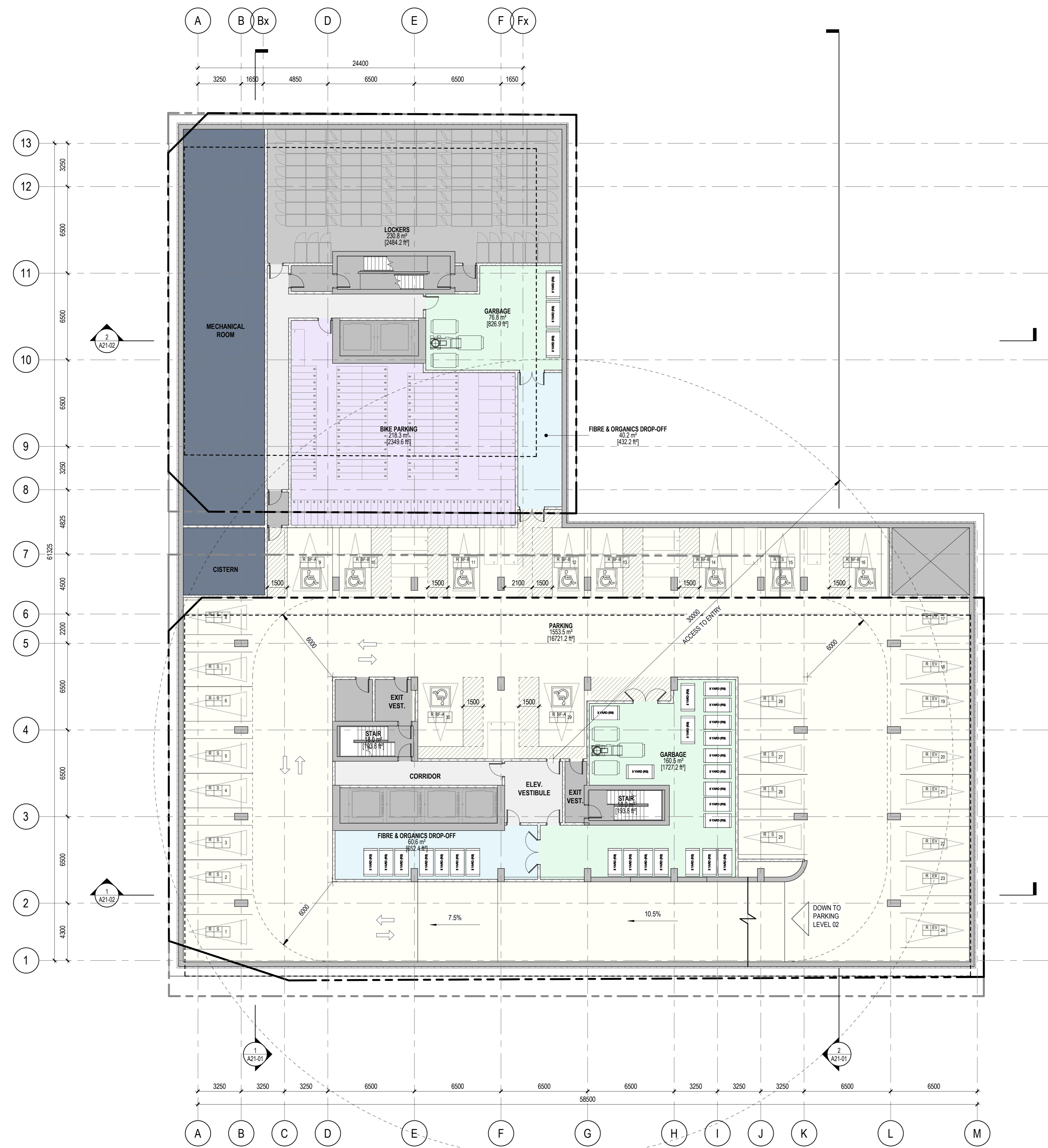


Job Number 442522.00
TITLE

LEVEL P2 FLOOR PLAN

SHEET NUMBER

A10-00C



AREA BY LEVEL

PGM Room Type	Area
LEVEL P1	
BIKE PARKING	216.28 m ²
BUILDING OPS	275.67 m ²
CORE	172.89 m ²
MECHANICAL	241.06 m ²
PARKING	1553.35 m ²
RESIDENTIAL	94.63 m ²
STORAGE	230.79 m ²
Grand total	2886.78 m ²

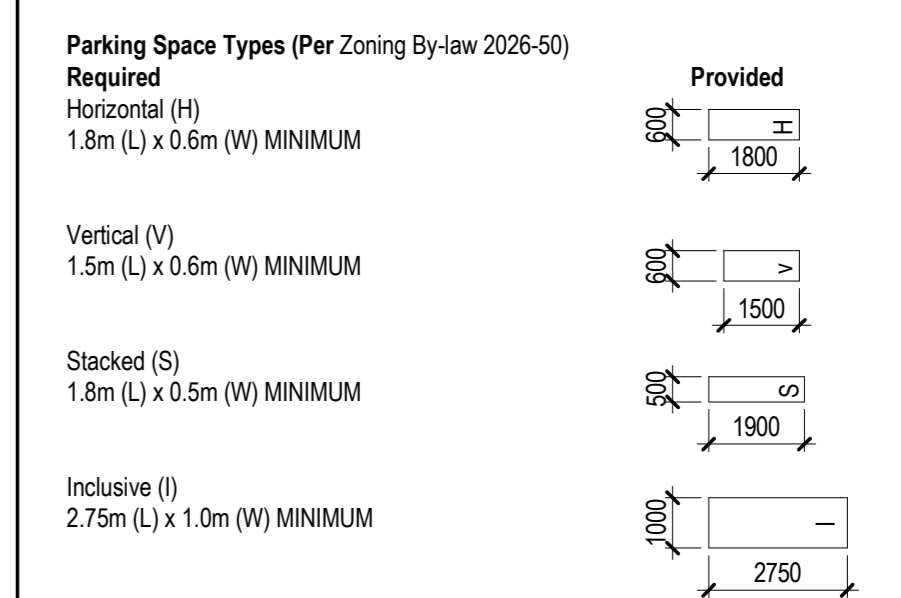
LOCKER COUNT

Level	Count
LEVEL P1	90
LEVEL P2	113
LEVEL P4	113
GRAND TOTAL: 429	

PARKING COUNT

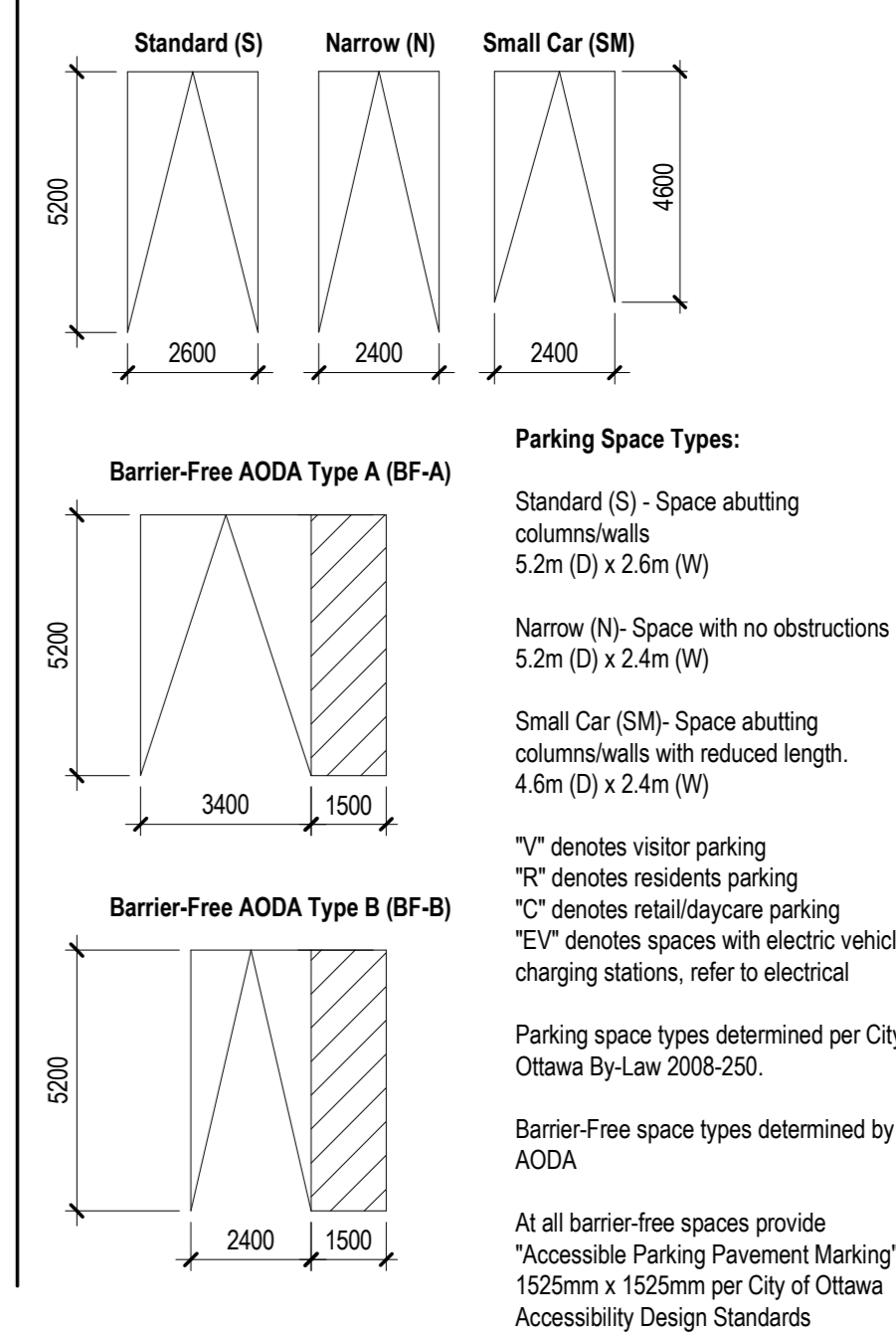
PARKING TYPE	COUNT
RESIDENT CAR PARKING	
BF-A	3
BF-B	6
EV	53
S	145
TOTAL: 207	

BIKE PARKING LEGEND



TYPE	SPACES
LONG TERM	
INCLUSIVE BIKE PARKING	23
STACKED BIKE PARKING	468
	429
SHORT TERM EXTERIOR	
HORIZONTAL BIKE PARKING	21
	21
SHORT TERM INTERIOR	
HORIZONTAL BIKE PARKING	21
	21
INCLUSIVE BIKE PARKING	1
	22
	472

PARKING LEGEND



SEAL



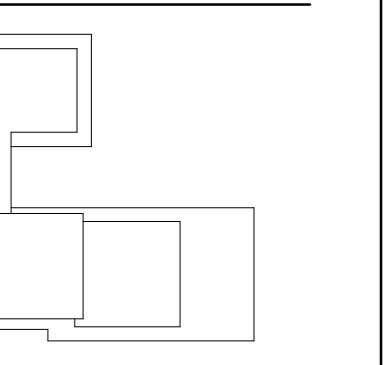
PROJECT

131-139 PARKDALE AND
122 FORWARD AVE.
131 Parkdale Ave.
Ottawa, Ontario
K1Y 2M3

brigil

Brigil
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KEYPLAN



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Job Number 442522.00
TITLE

LEVEL P1 FLOOR PLAN

SHEET NUMBER

A10-00D

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AREA LEGEND

AMENITY	MAIL
AT-GRADE	MOVE-IN
BIKE PARKING	PARKING GARAGE
CACF	RETAIL
ELEC CLOSET	ELEVATOR
CORRIDOR	SHAFT
HYDRO VAULT	STAIR
JANITOR	
LOADING	
LOBBY	

UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD+DN	52
2BD	90
2BD LRG	58
2BD+DN	20
AT-GRADE	62
STUDD	429

AREA BY LEVEL

PGM Room Type	Area
A PODIUM	
BIKE PARKING	222.17 m ²
BUILDING OPS	199.11 m ²
CIRCULATION	29.61 m ²
CORE	166.67 m ²
INDOOR AMENITY	276.34 m ²
PARKING	142.17 m ²
RESIDENTIAL	274.98 m ²
RETAIL	245.05 m ²
	1569.09 m ²
B PODIUM	
BIKE PARKING	59.09 m ²
CORE	107.63 m ²
RESIDENTIAL	275.35 m ²
RETAIL	164.48 m ²
	606.55 m ²
Grand total	2162.64 m ²

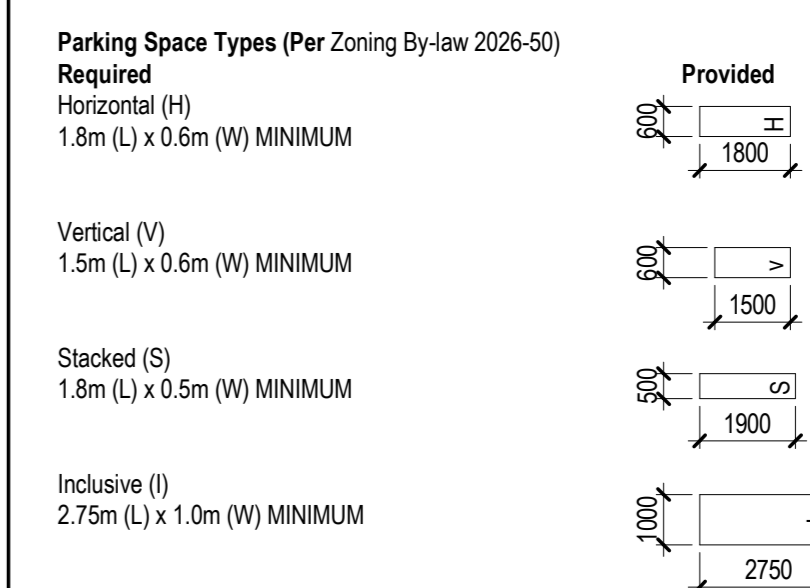
LOCKER COUNT

Level	Count
LEVEL P1	90
LEVEL P2	113
LEVEL P3	113
LEVEL P4	113
GRAND TOTAL: 429	

PARKING COUNT

PARKING TYPE	COUNT
RESIDENT CAR PARKING	3
SP-A	6
SP-B	6
EV	53
S	145
TOTAL: 207	

BIKE PARKING LEGEND



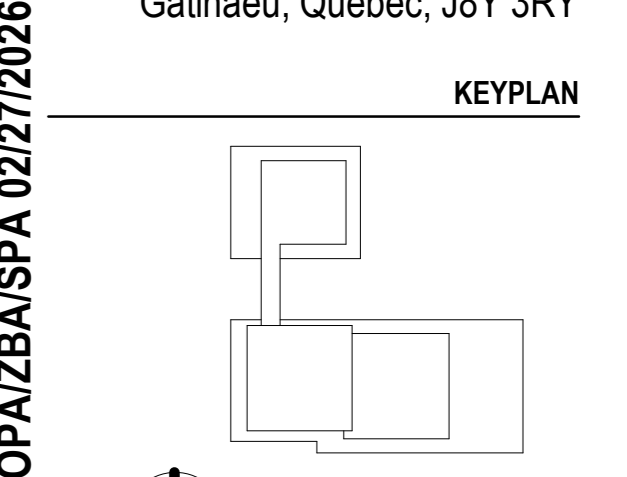
TYPE	SPACES
LONG TERM	
INCLUSIVE BIKE PARKING	23
STACKED BIKE PARKING	406
SHORT TERM EXTERIOR	
HORIZONTAL BIKE PARKING	21
SHORT TERM INTERIOR	
HORIZONTAL BIKE PARKING	21
INCLUSIVE BIKE PARKING	1
	22
	472



PROJECT
131-139 PARKDALE AND
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brigil

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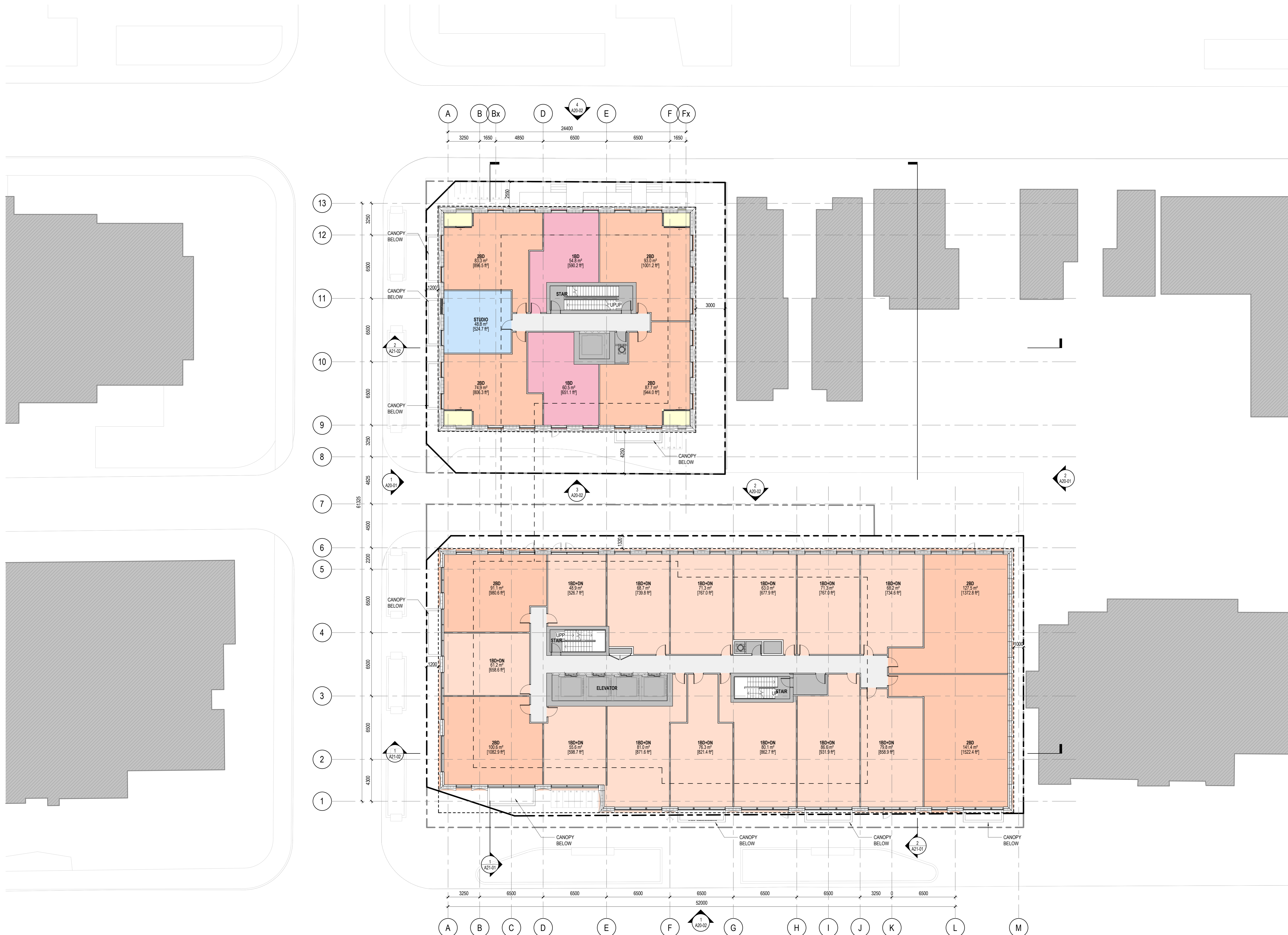
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NO.	ISSUED FOR	DATE	BY
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ISSUED FOR OPAZBASPA 02/27/2026

1 LEVEL 01 FLOOR PLAN - AREA
1 : 150

Job Number 442522.00
TITLE
LEVEL 01 FLOOR PLAN
SHEET NUMBER
A10-01
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AREA LEGEND

- 1BD
- 1BD-DN
- 2BD
- BALCONY
- CORRIDOR
- ELEVATOR
- SHAFT
- STAIR
- STUDIO

UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD-DN	52
2BD	60
2BD LRG	58
2BD-DEN	20
AT-GRADE	3
STUDIO	62
Total	429

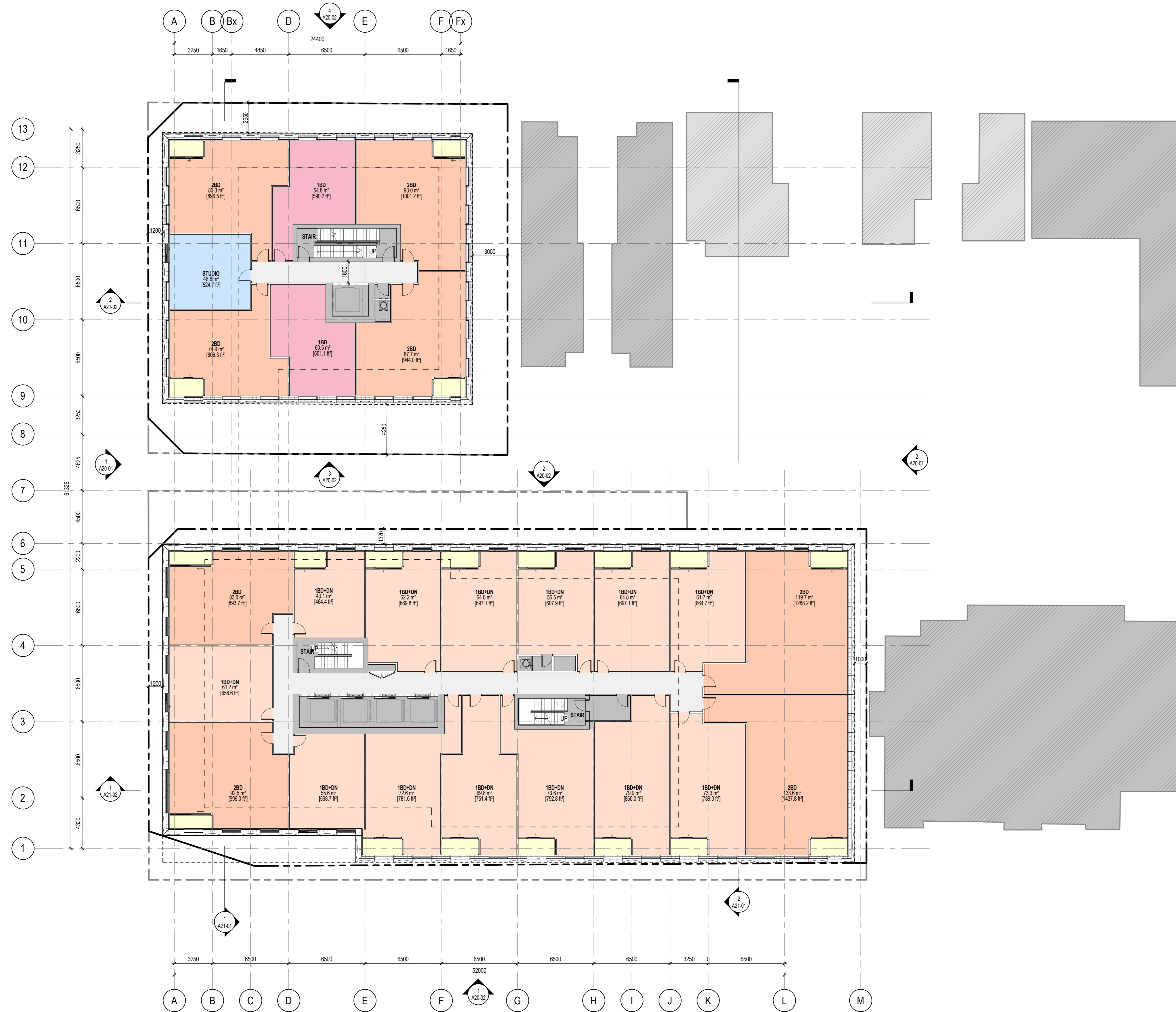
AREA BY LEVEL

PGM Room Type	Area
LEVEL 02	
BALCONY	29.23 m ²
CORE	149.07 m ²
RESIDENTIAL	1988.83 m ²
Grand total	2167.13 m²

1 LEVEL 02 FLOOR PLAN - AREA
 1 : 150

AREA LEGEND

- 1BD
- 1BD+DN
- 2BD
- BALCONY
- CORRIDOR
- ELEVATOR
- SHAFT
- STAIR
- STUDIO



SEAL



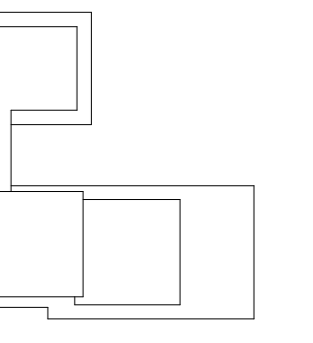
PROJECT

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KEYPLAN



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	REVISION	
	DATE	

ISSUED FOR OPAZBASPA 02/27/2025

UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD+DN	52
2BD	60
2BD LRG	58
2BD+DN	20
AT-GRADE	3
STUDIO	62
Total	429

AREA BY LEVEL

PGM Room Type	Area
LEVEL 03	
BALCONY	133.93 m ²
CORE	149.07 m ²
RESIDENTIAL	1984.13 m ²
Grand total	2167.13 m²

Job Number 442522.00
TITLE

LEVEL 03-05 FLOOR
PLAN

SHEET NUMBER

A10-03

1 LEVEL 03-L05 FLOOR PLAN - AREA (PODIUM OPTION A)

1 : 150

AREA LEGEND

- AMENITY
- AMENITY CORRIDOR
- MECHANICAL
- OUTDOOR AMENITY
- ELEVATOR
- SHAFT
- STAIR

SEAL



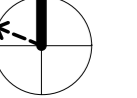
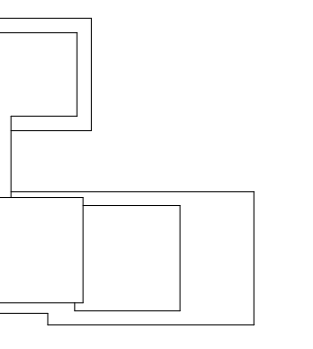
PROJECT

131-139 PARKDALE AND
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131 Parkdale Ave.
Ottawa, Ontario
K1Y 2M3

brigil

Brigil
425 Boulevard Saint-Joseph,
Gatineau, Quebec, J8Y 3R9

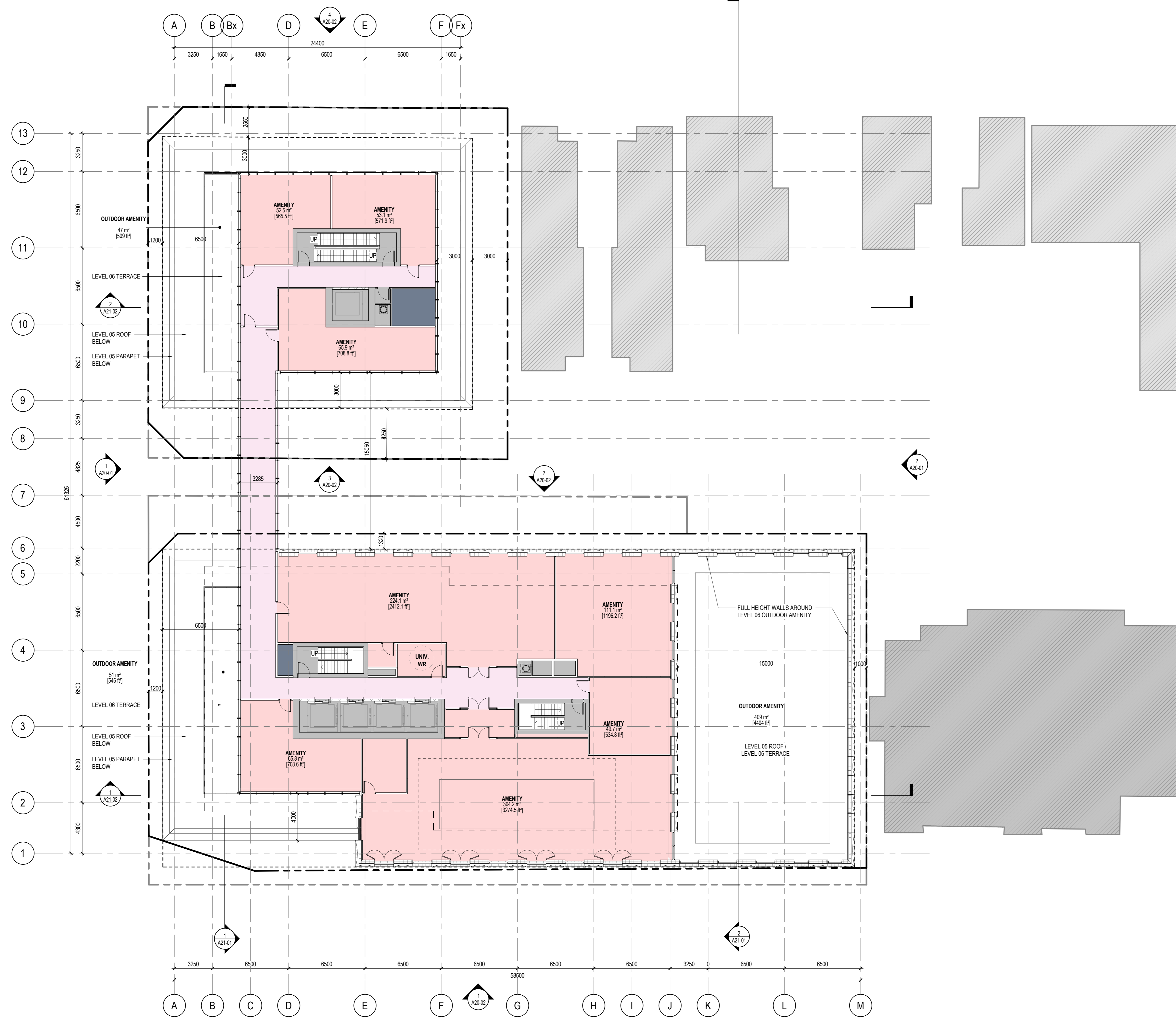
KEYPLAN



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NO.	ISSUED FOR	DATE
1	ISSUED FOR OPAZBASPA	2025/02/27
	REVISION	
	DATE	

ISSUED FOR OPAZBASPA 02/27/2025



UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1B0	144
1B0+DN	52
2B0	60
2B0 LRG	58
2B0+DN	20
AT-GRADE	3
STUDIO	62
	429

AREA BY LEVEL

PGM Room Type	Area
LEVEL 06	
CORE	141.51 m²
INDOOR AMENITY	1134.43 m²
MECHANICAL	17.47 m²
OUTDOOR AMENITY	507.14 m²
	1800.57 m²
Grand total	1800.57 m²

Job Number 442522.00
TITLE

LEVEL 06 FLOOR PLAN

SHEET NUMBER

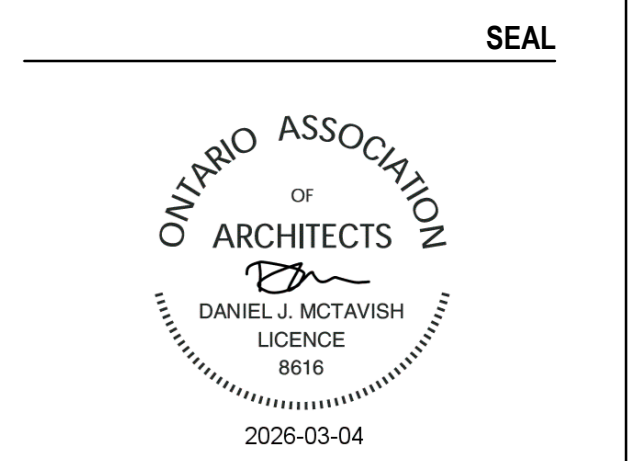
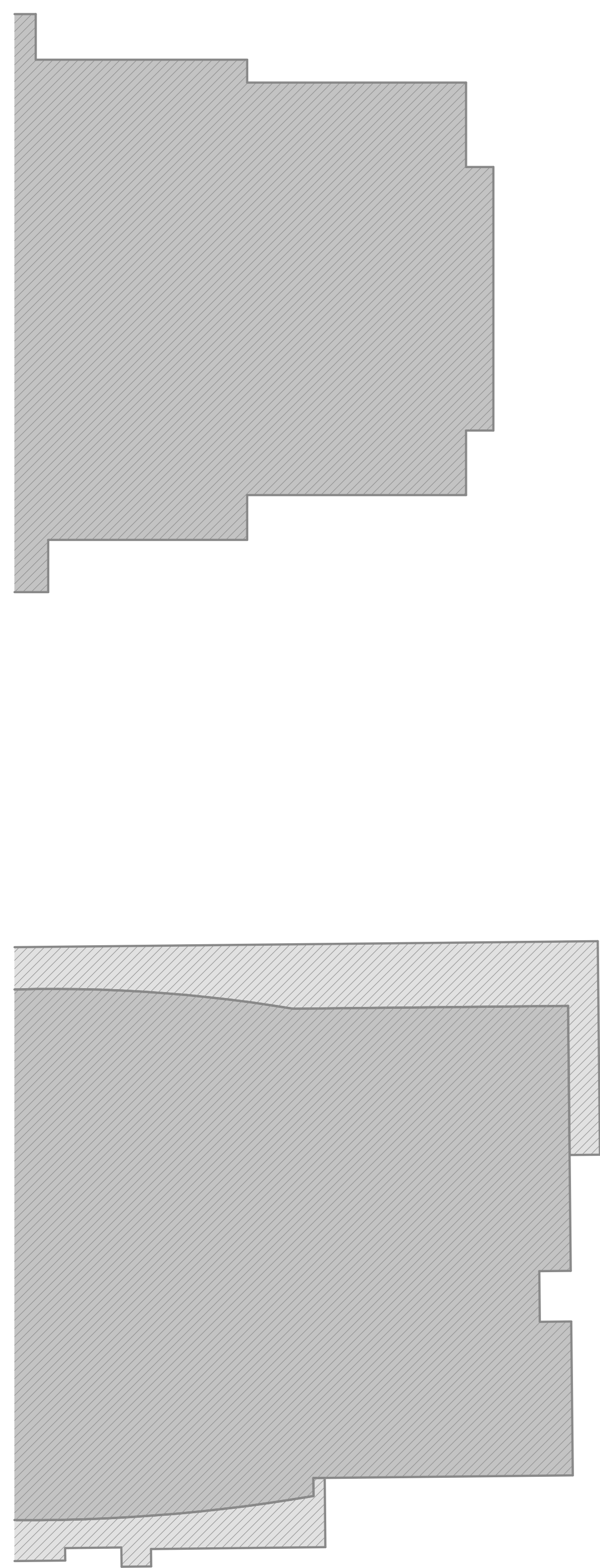
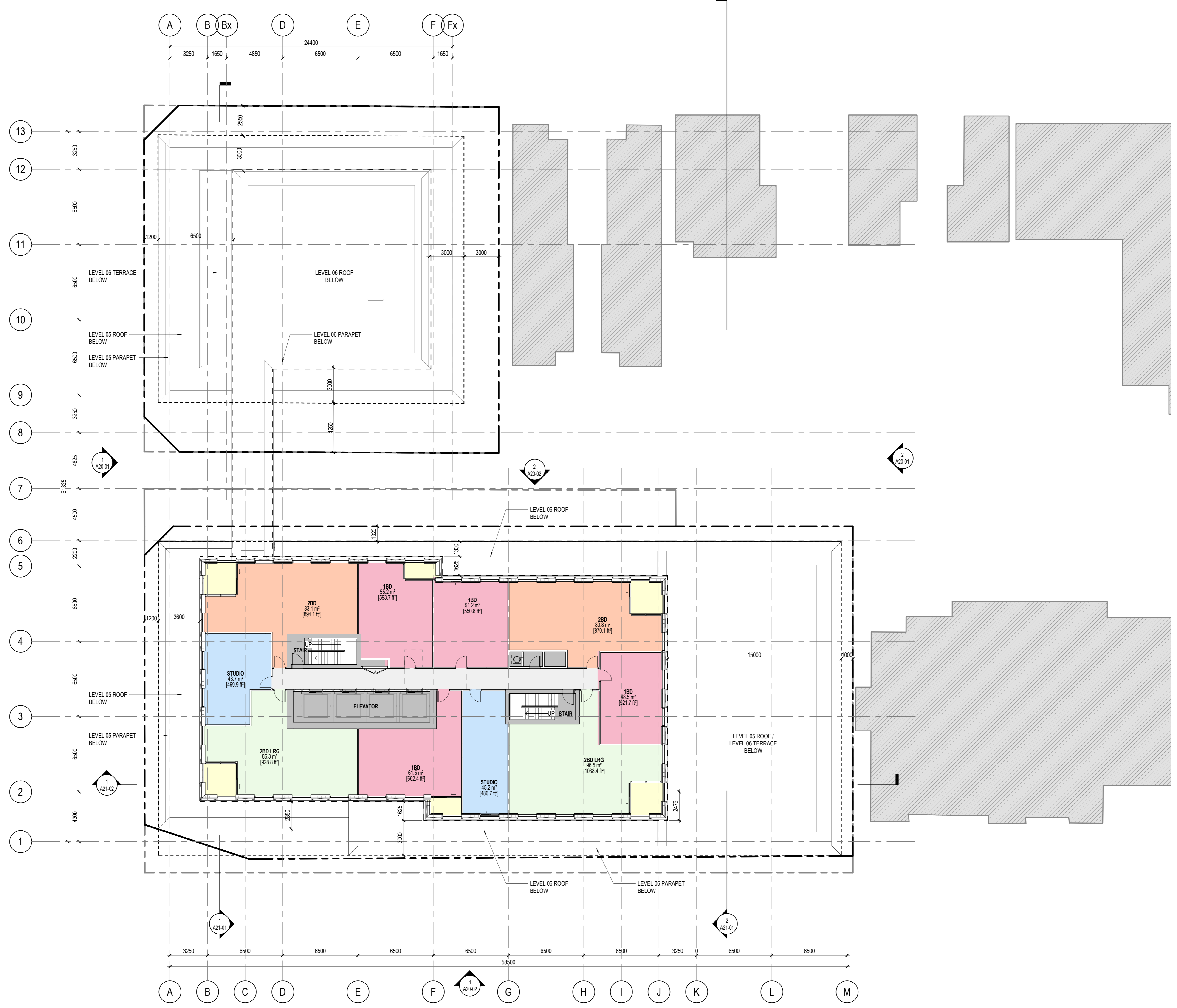
A10-04

1 LEVEL 06 FLOOR PLAN - AREA

1 : 150

AREA LEGEND

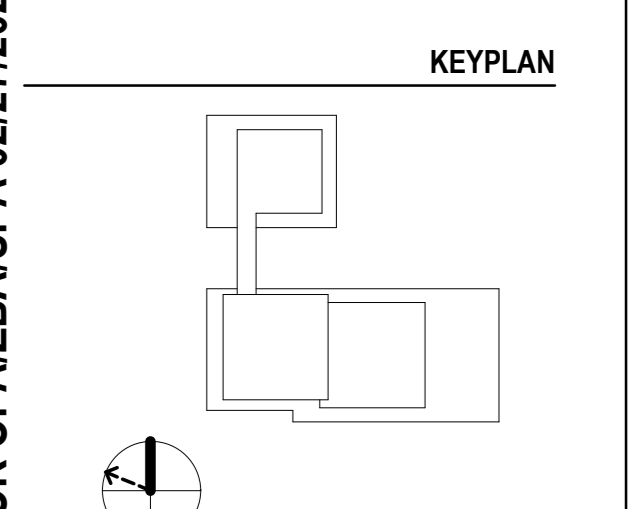
- 1BD
- 2BD
- 2BD LRG
- BALCONY
- CORRIDOR
- ELEVATOR
- SHAFT
- STAIR
- STUDIO



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1	ISSUED FOR OPAZBASPA	2026/02/27
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	DATE	

ISSUED FOR OPAZBASPA 02/27/2026

UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD+DN	52
2BD	60
2BD LRG	58
2BD+DN	20
AT-GRADE	3
STUDIO	62
Total	429

AREA BY LEVEL

PGM Room Type	Area
LEVEL 07	
BALCONY	50.00 m ²
CORE	90.90 m ²
RESIDENTIAL	702.56 m ²
Grand total	843.45 m²

Job Number 442522.00
 TITLE

**LEVEL 07-30 FLOOR
 PLAN**

SHEET NUMBER

A10-05

1 LEVEL 07-30 FLOOR PLAN - AREA
 1 : 150

SEAL



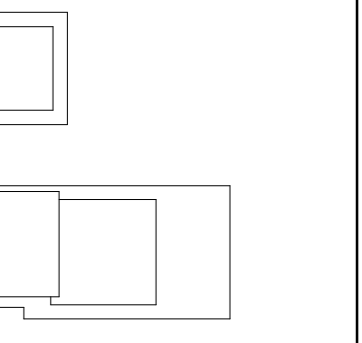
PROJECT

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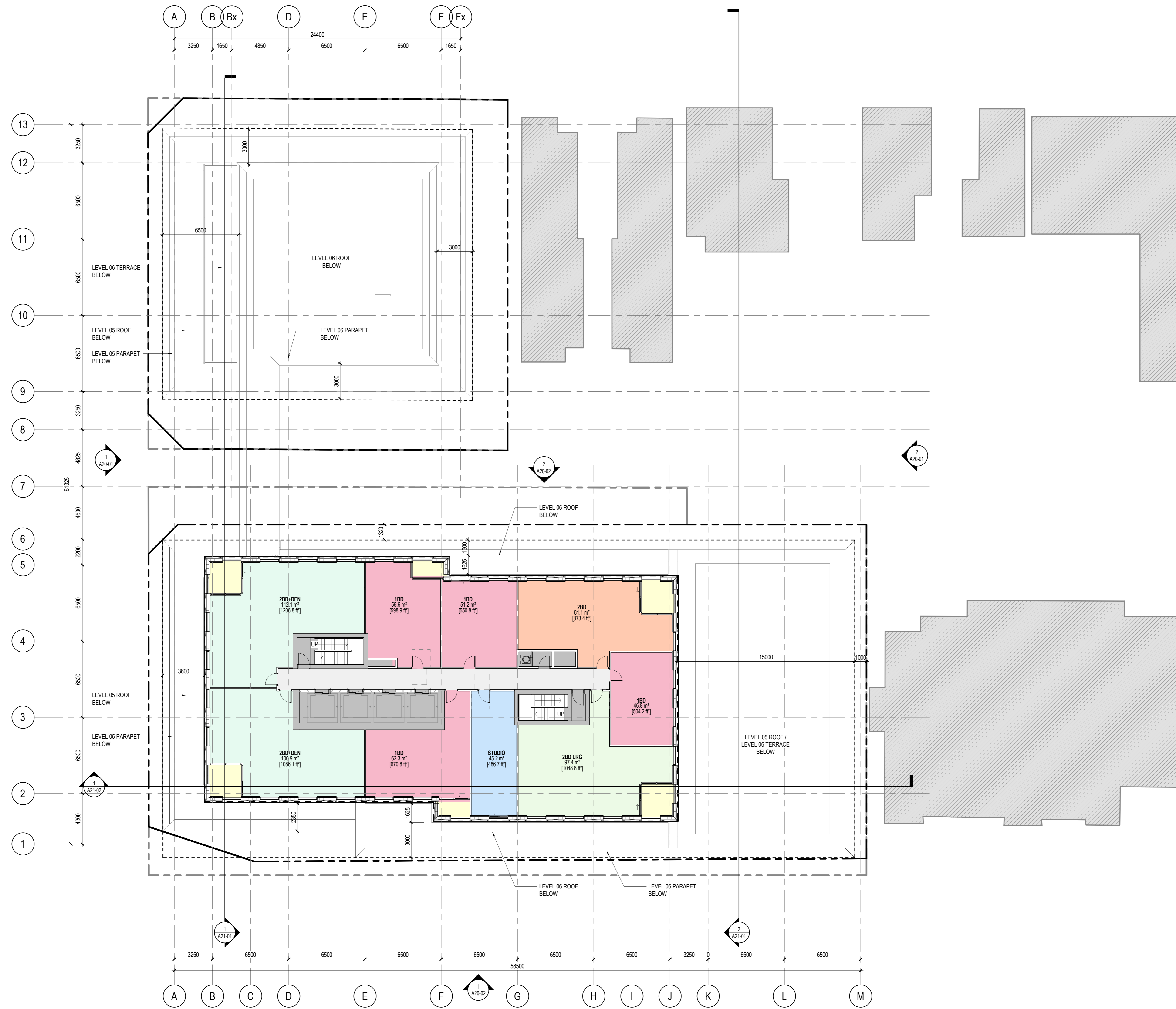
KEYPLAN



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NO.	ISSUED FOR	DATE
1	ISSUED FOR OP/AB/AS/PA	2026/02/27
	DATE	DATE

ISSUED FOR OP/AB/AS/PA 02/27/2026



UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD+DN	52
2BD	60
2BD LRG	58
2BD+DEN	20
AT-GRADE	3
STUDIO	62
Total	429

AREA BY LEVEL

PGM Room Type	Area
LEVEL 31	48.73 m ²
BALCONY	90.90 m ²
CORE	703.83 m ²
RESIDENTIAL	843.45 m ²
Grand total	843.45 m²

Job Number 442622.00
TITLE

LEVEL 31-40 FLOOR PLAN

SHEET NUMBER

A10-06

1 LEVEL 31-40 FLOOR PLAN - AREA

1 : 150

AREA LEGEND

- AMENITY
- CORRIDOR
- OUTDOOR AMENITY
- ELEVATOR
- SHAFT
- STAIR

SEAL



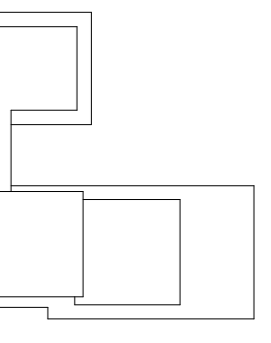
PROJECT

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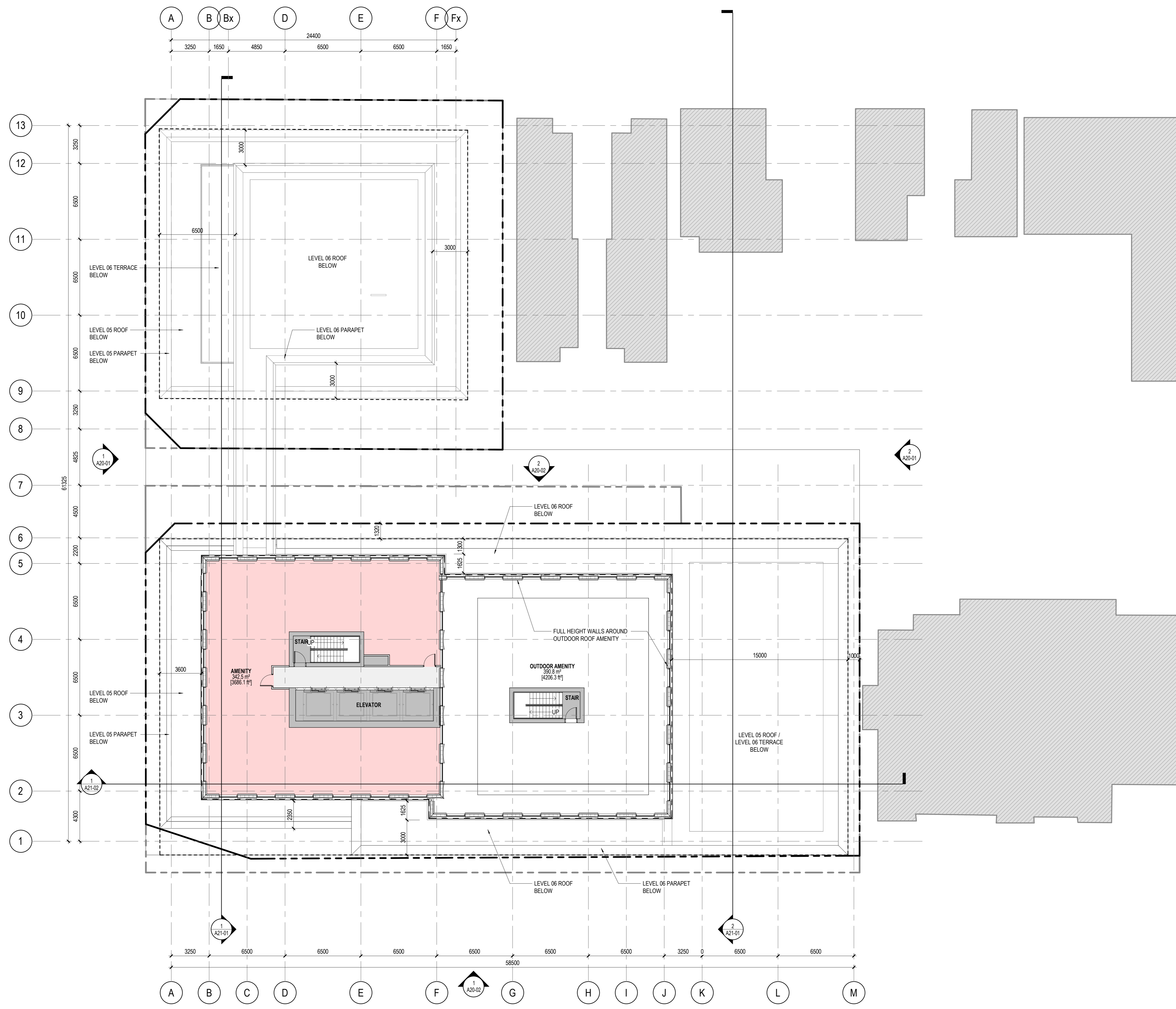
KEYPLAN



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NO.	ISSUED FOR	DATE
1	ISSUED FOR OPAZBASPA	2026/02/27
	DATE	DATE

ISSUED FOR OPAZBASPA 02/27/2026



UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD+DN	52
2BD	60
2BD LRG	58
2BD+DN	20
AT-GRADE	3
STUDIO	62
Grand Total	429

AREA BY LEVEL

PGM Room Type	Area
ROOF AMENITY	26.35 m²
CIRCULATION	53.86 m²
CORE	342.45 m²
INDOOR AMENITY	330.78 m²
OUTDOOR AMENITY	843.45 m²
Grand Total	843.45 m²

Job Number 442522.00
TITLE

ROOF AMENITY FLOOR PLAN

SHEET NUMBER

A10-07

SEAL



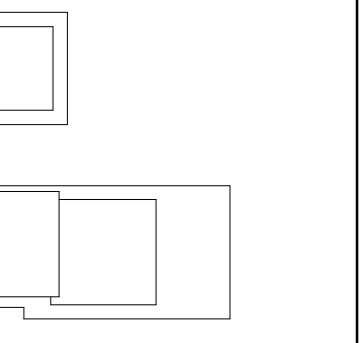
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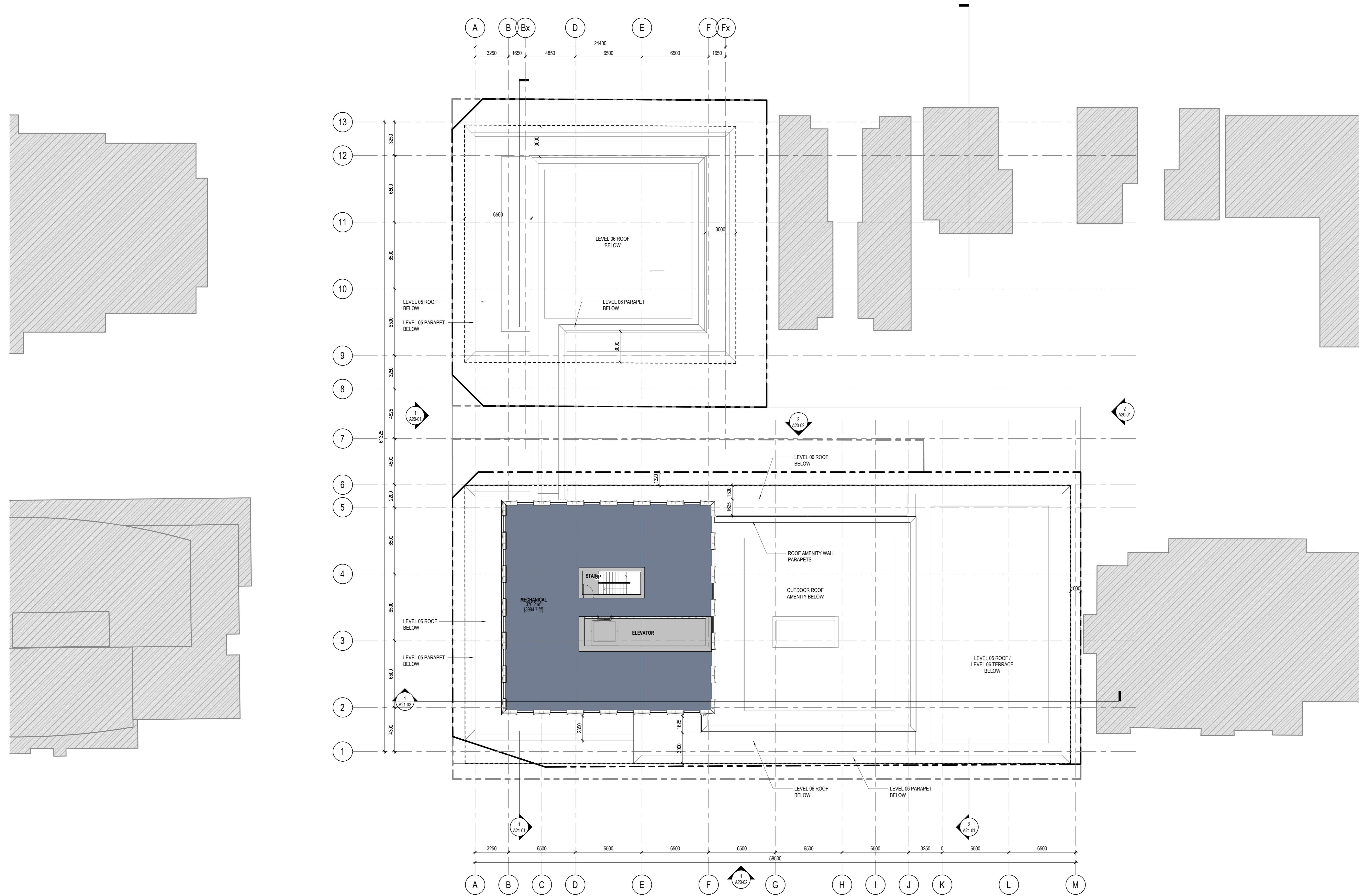
KEYPLAN



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1	ISSUED FOR OPAZBASPA	2026/02/27
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	DATE	

ISSUED FOR OPAZBASPA 02/27/2026



UNIT COUNT BY TYPE

UNIT TYPE	COUNT
1BD	144
1BD+DN	52
2BD	60
2BD LRG	58
2BD+DN	20
AT-GRADE	3
STUDIO	62
Grand total	429

AREA BY LEVEL

PGM Room Type	Area
MECH. PENTHOUSE	64.46 m²
CORE	370.19 m²
MECHANICAL	434.67 m²
Grand total	869.32 m²

Job Number 442622.00
TITLE

**MECHANICAL
PENTHOUSE PLAN**

SHEET NUMBER

A10-08

SEAL



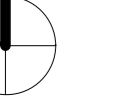
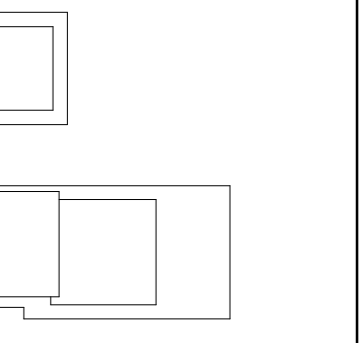
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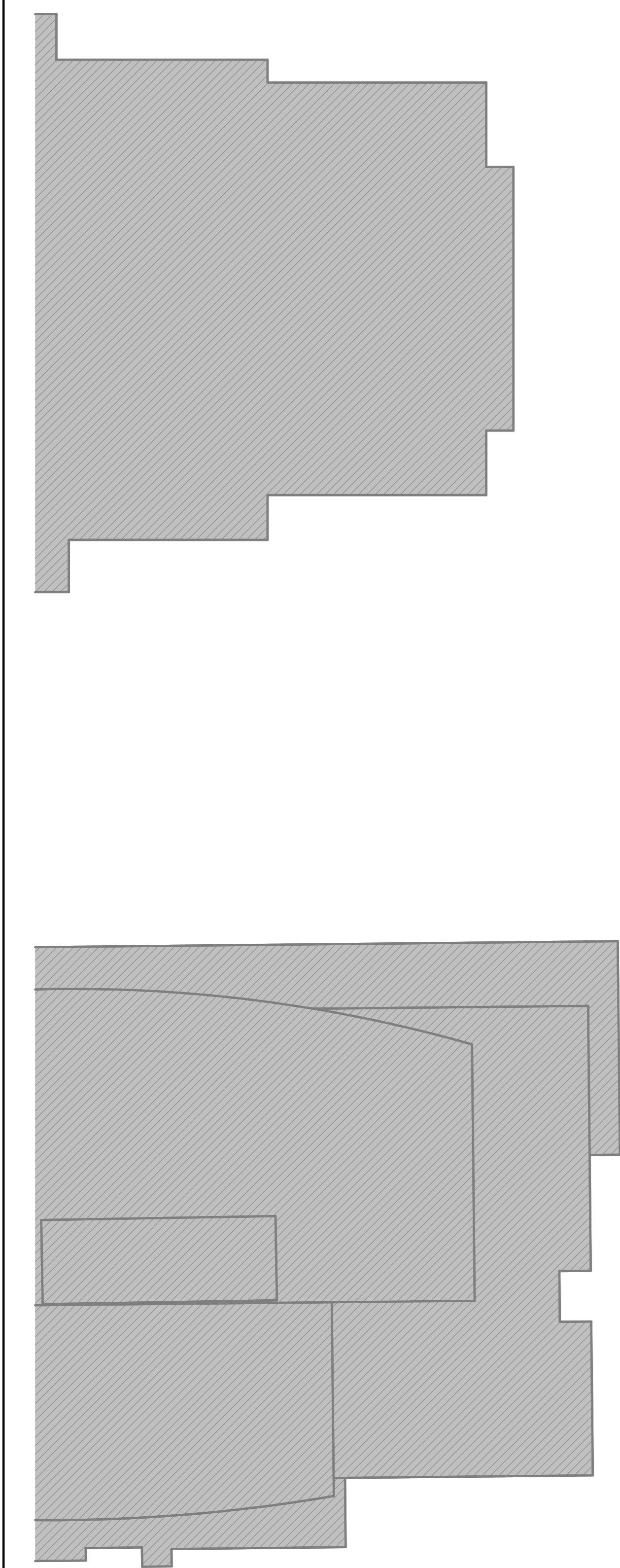
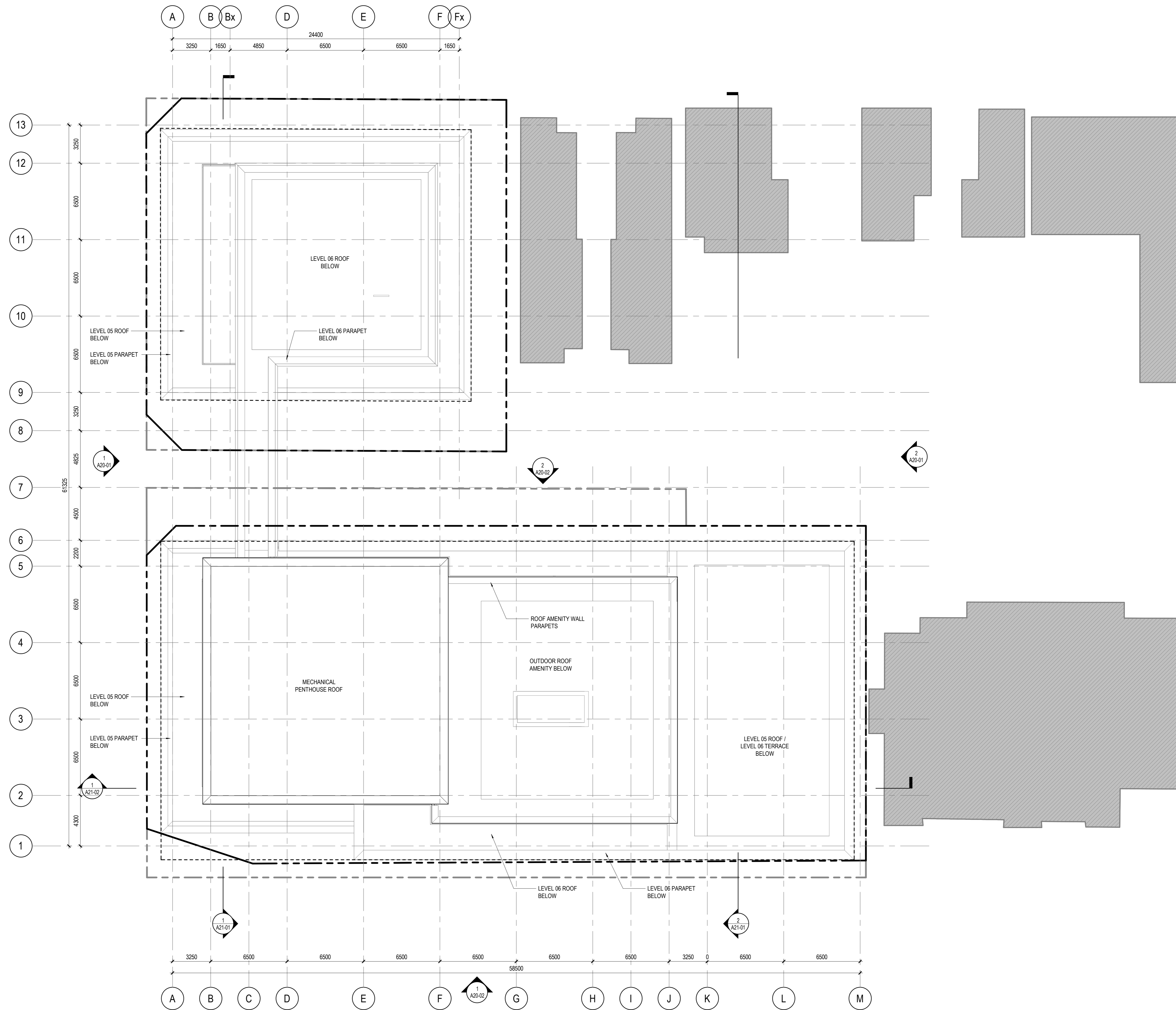
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TITLE

ROOF PLAN

SHEET NUMBER

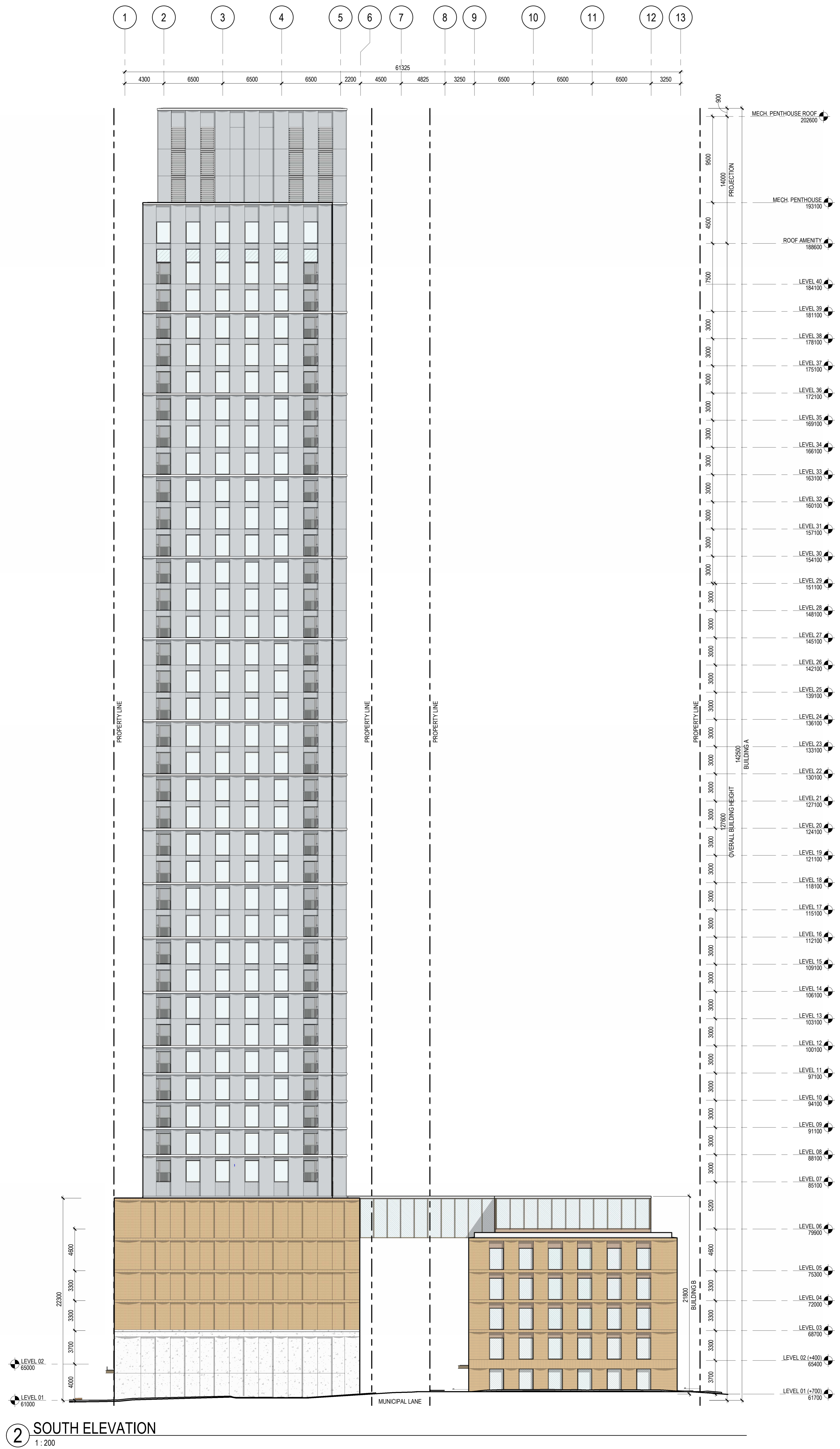
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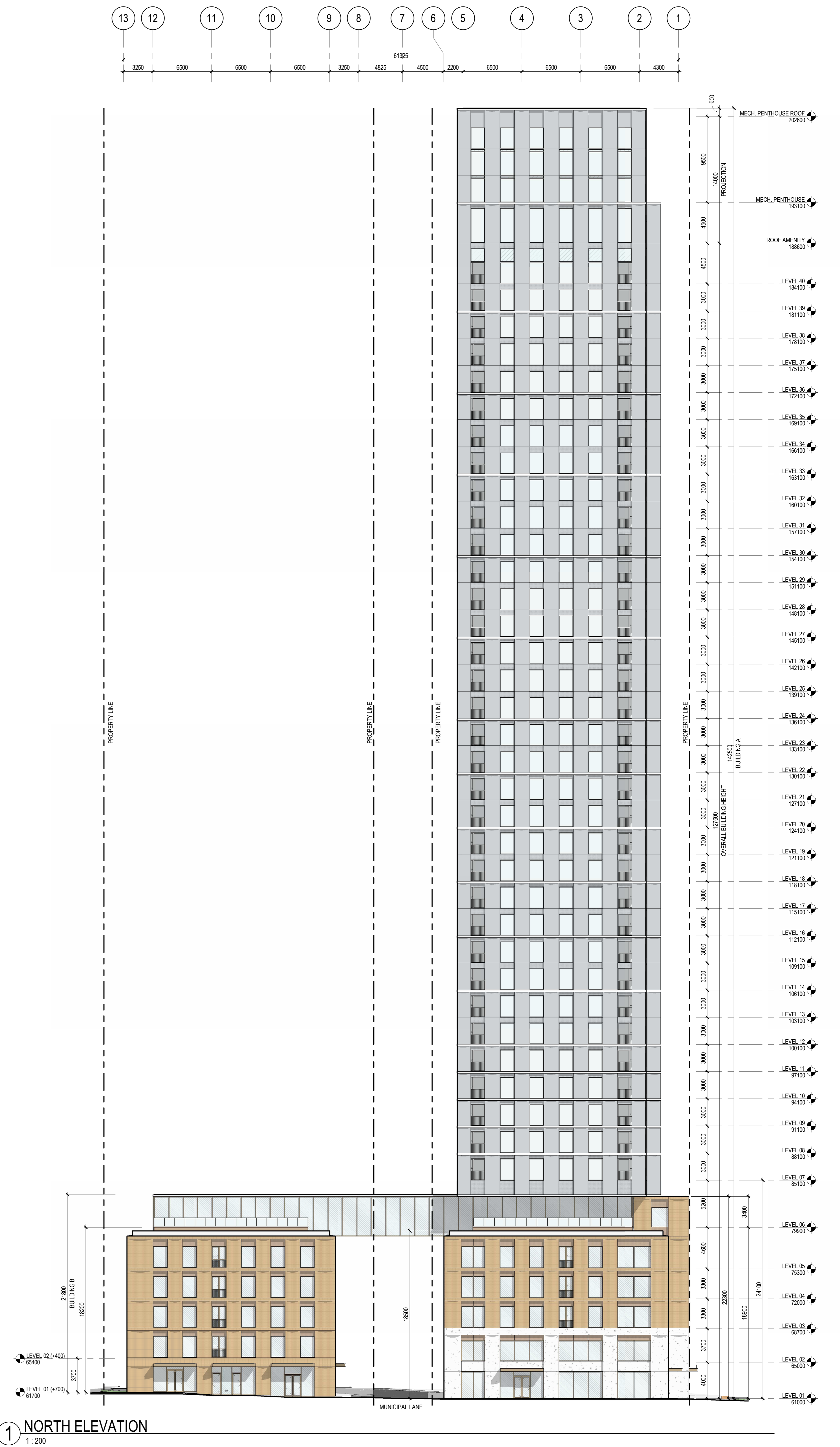


1 ROOF PLAN - AREA
1 : 150

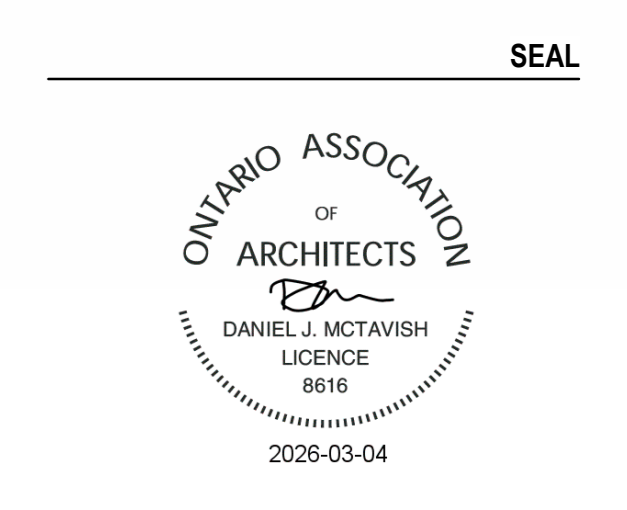
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2 SOUTH ELEVATION
1:200



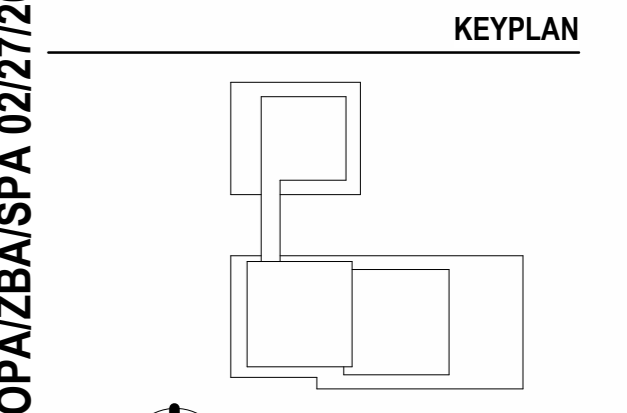
1 NORTH ELEVATION
1:200



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NO.	DESCRIPTION	DATE
1	ISSUED FOR OPAZBASPA	2026/02/27
	DATE	DATE

ISSUED FOR OPAZBASPA 02/27/2026

Job Number 442522.00
 TITLE

EXTERIOR ELEVATIONS
 - NORTH & SOUTH

SHEET NUMBER

A20-01

SEAL



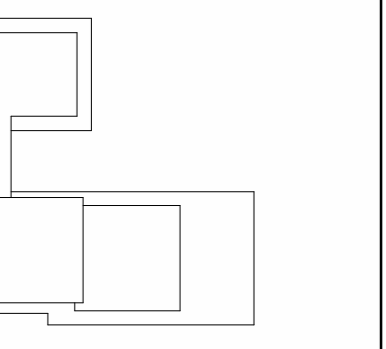
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Job Number 442622.00

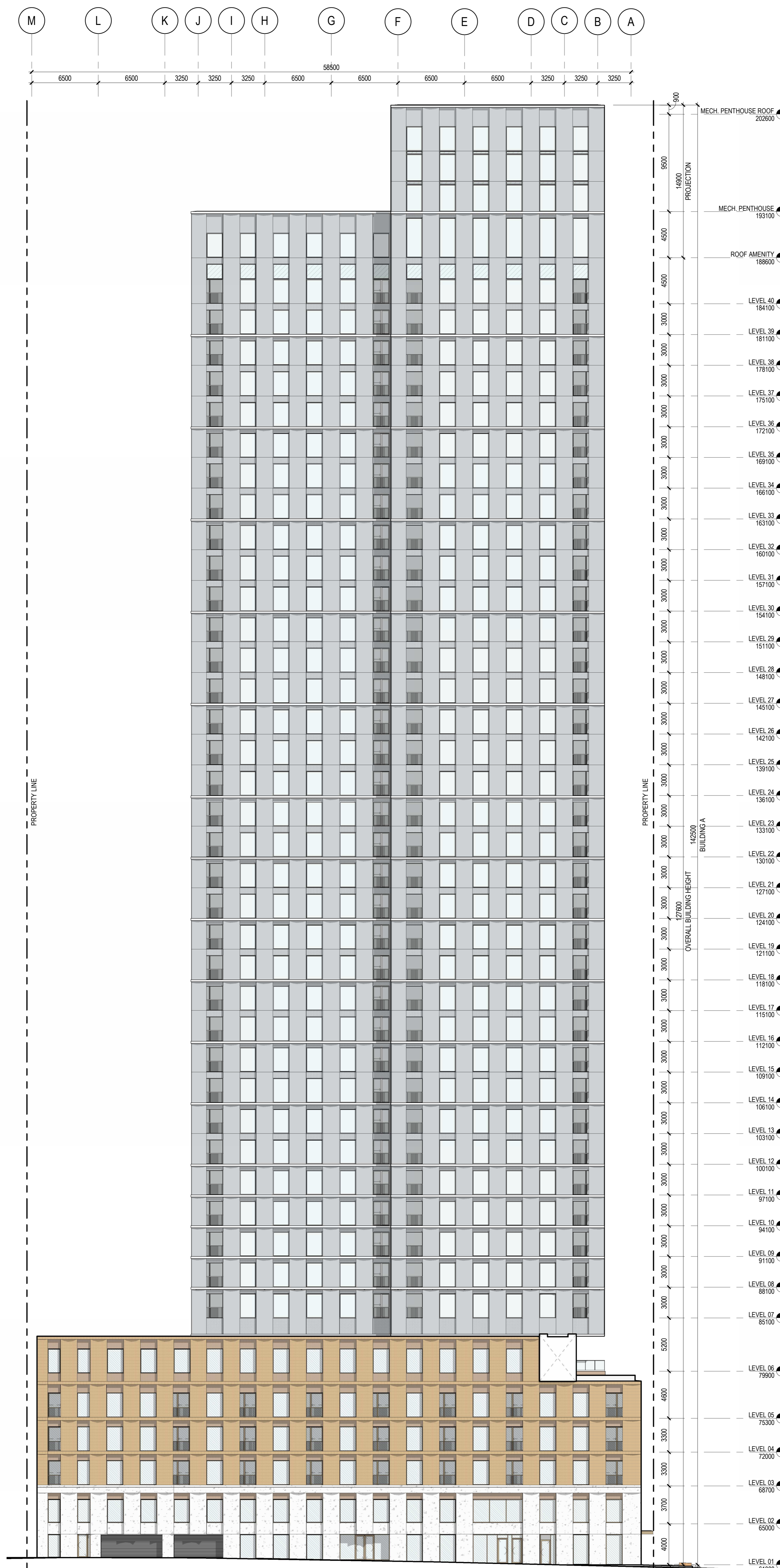
TITLE

EXTERIOR ELEVATIONS
- EAST & WEST

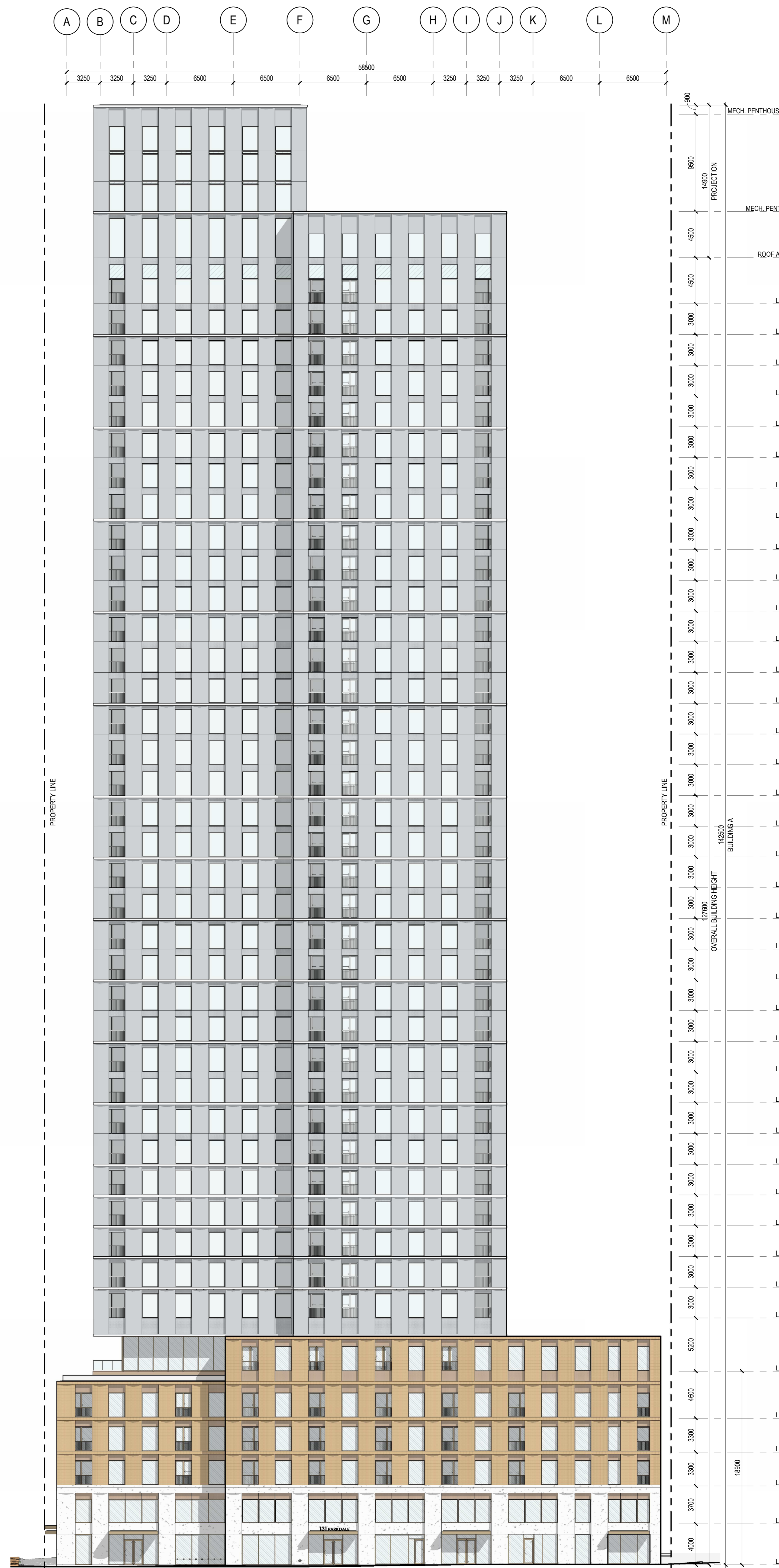
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A20-02

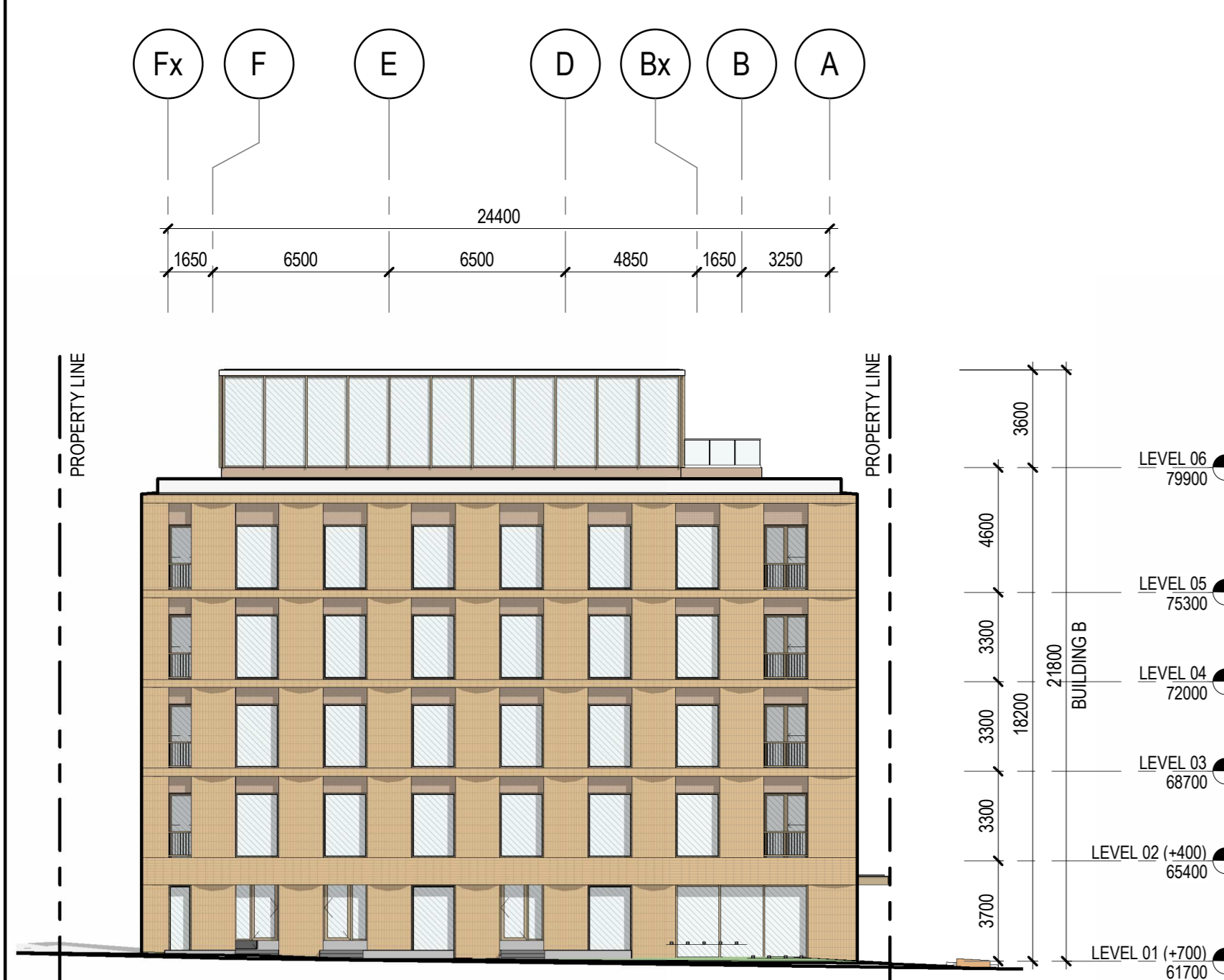
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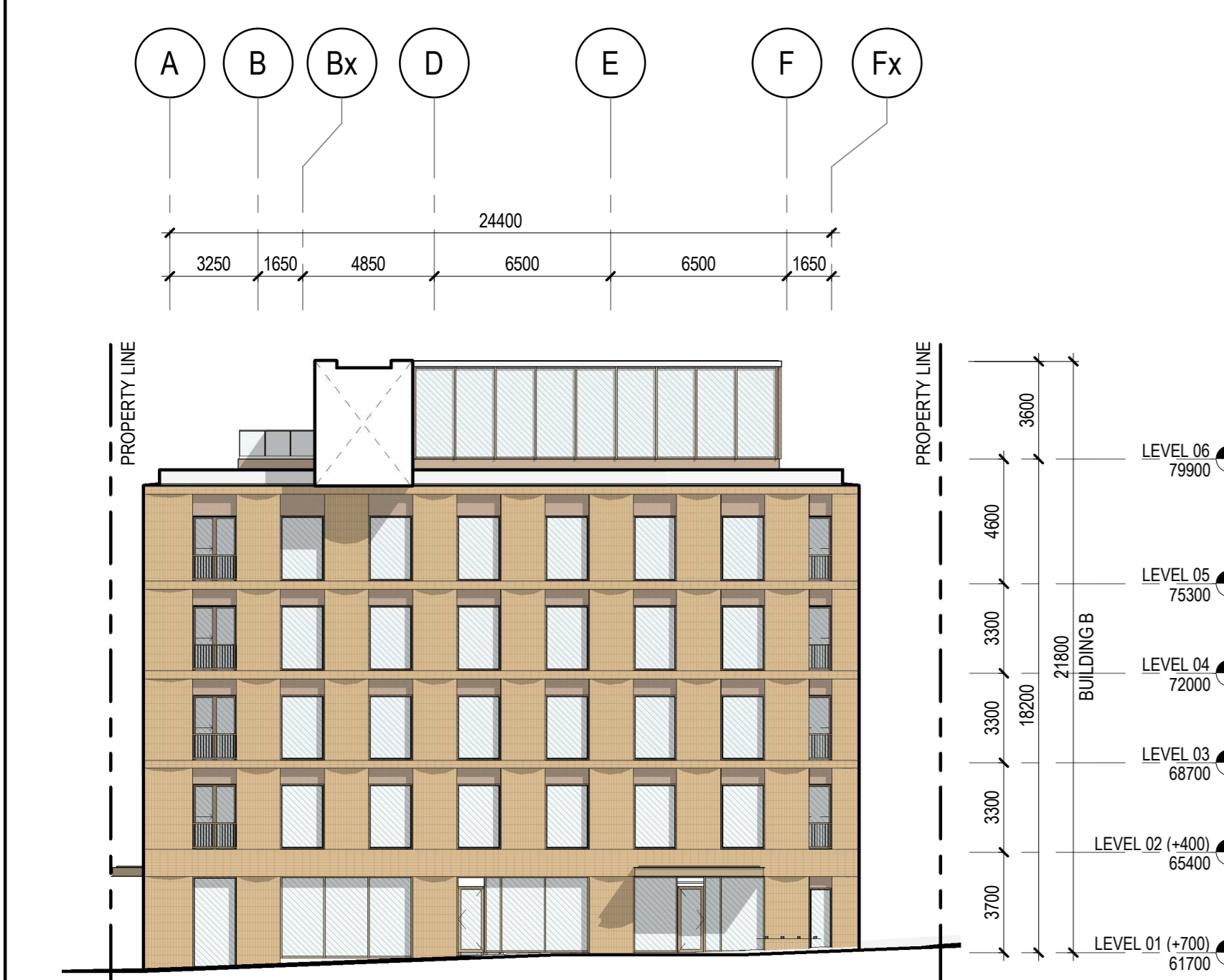
② EAST ELEVATION - BUILDING A
1:200



① WEST ELEVATION - BUILDING A
1:200



④ EAST ELEVATION - BUILDING B
1:200



③ WEST ELEVATION - BUILDING B
1:200

MATERIAL LEGEND

- EW1 PRECAST CONCRETE PANEL
- EW2 PRECAST CONCRETE PANEL WITH THIN BRICK IN-LAYS
- WW-01 CLEAR ANODIZED ALUMINUM CHANNEL
- WW-02 CHAMPAGNE ANODIZED ALUMINUM CHANNEL
- M-01A CLEAR ANODIZED ALUMINUM PANEL
- M-01B PERFORATED CLEAR ANODIZED ALUMINUM PANEL
- M-02A CHAMPAGNE ANODIZED ALUMINUM PANEL
- M-02B PERFORATED CHAMPAGNE ANODIZED ALUMINUM PANEL
- IGU-01A VISION GLAZING
- IGU-01B VISION GLAZING (REFER TO A70-10)
- IGU-02A SPANDREL GLAZING (CLEAR ANODIZED)
- IGU-02B SPANDREL GLAZING (REFER TO A70-10)
- GG-01 GLASS GUARD
- AG-01 PICKET GUARD (CLEAR ANODIZED)
- AG-02 PICKET GUARD (CHAMPAGNE ANODIZED)



SEAL



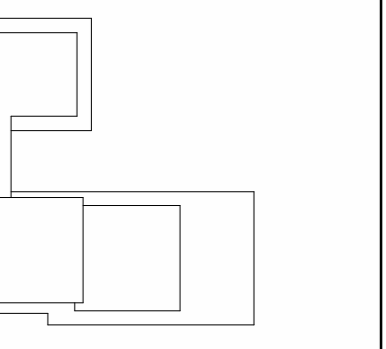
PROJECT

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NO.	DESCRIPTION	DATE
1	ISSUED FOR OPAZBAS/SPA	2026/02/27

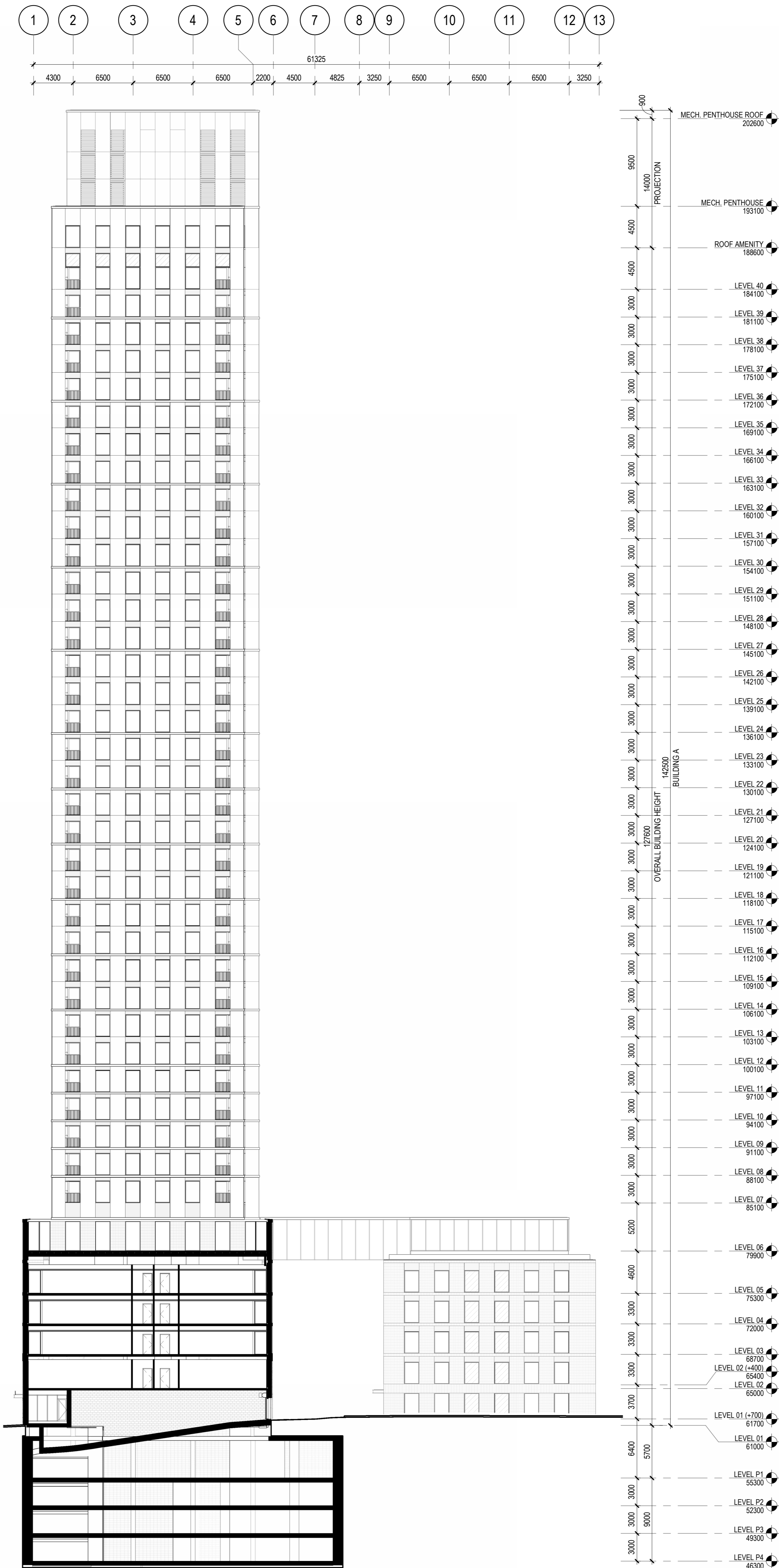
ISSUED FOR OPAZBAS/SPA 02/27/2026

Job Number 442522.00
TITLE

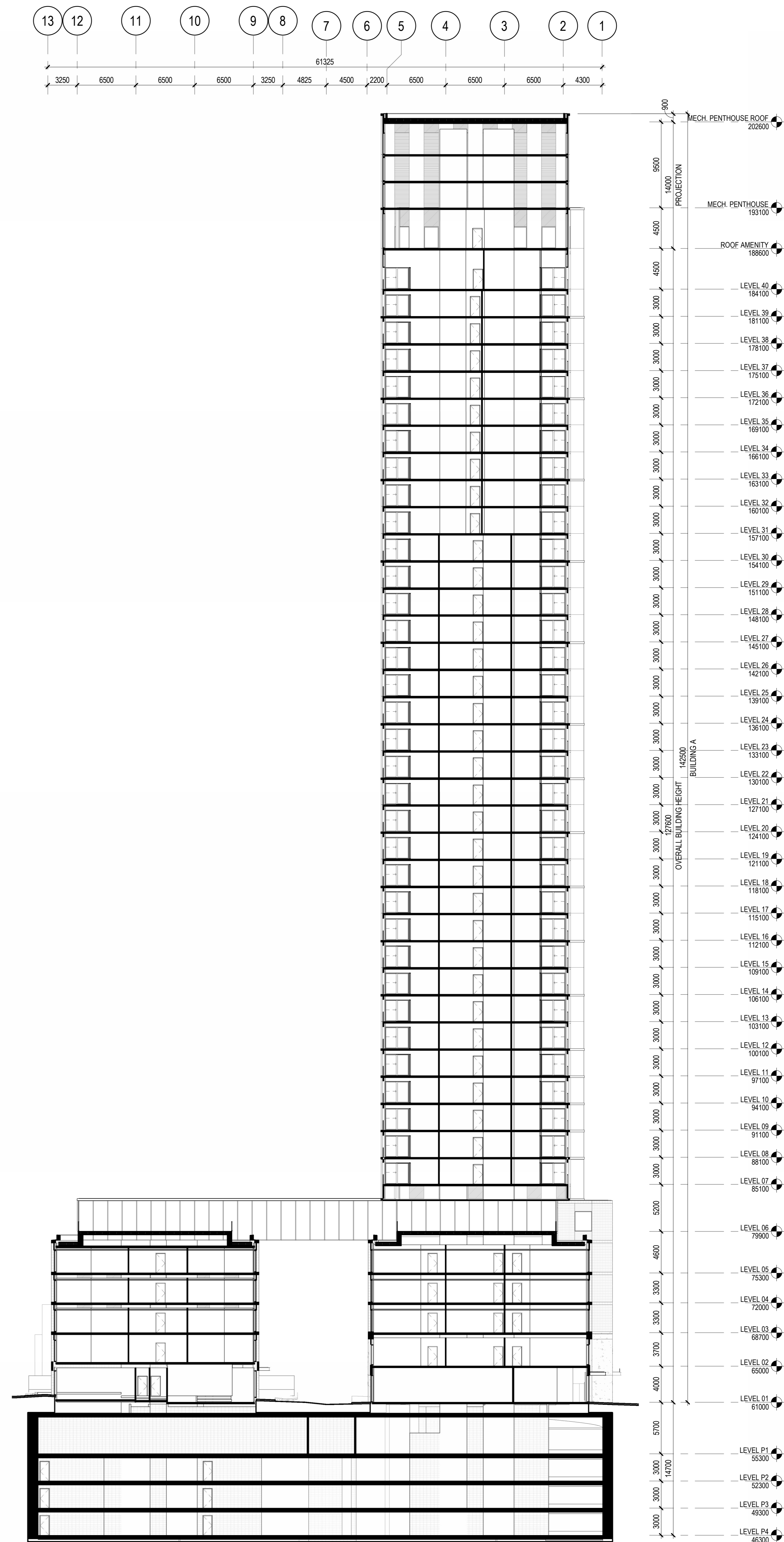
ENLARGED EXTERIOR
ELEVATIONS

SHEET NUMBER

A20-04



② EAST-WEST SECTION B
1:250



① EAST-WEST SECTION A
1:250

SEAL



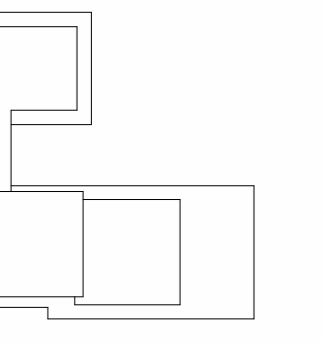
PROJECT

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NO.	DESCRIPTION	DATE
1	ISSUED FOR OPAZBASPA	2026/02/27
	DATE	DATE

ISSUED FOR OPAZBASPA 02/27/2026

Job Number 442522.00

TITLE

BUILDING SECTIONS

SHEET NUMBER

A21-01

SEAL



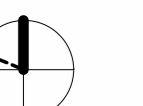
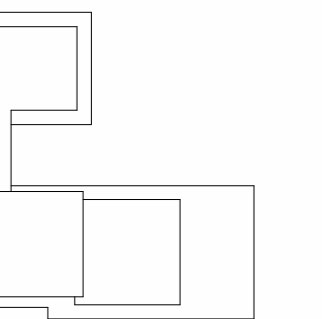
PROJECT

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ISSUE CHART

NO.	DESCRIPTION	DATE
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	DATE	DATE

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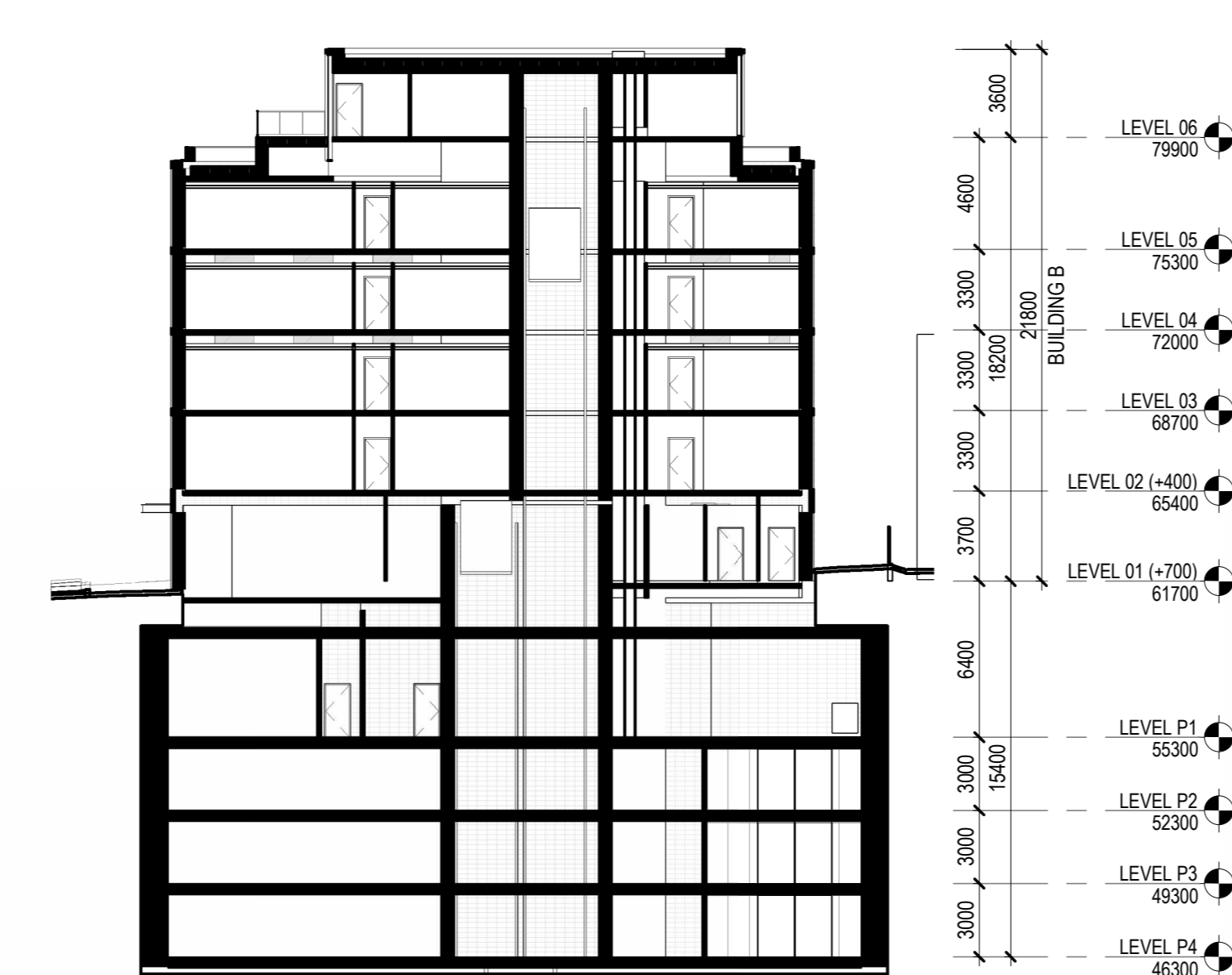
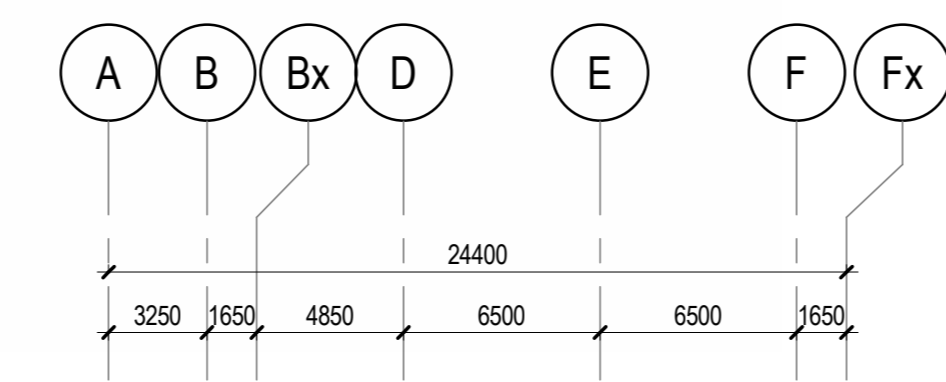
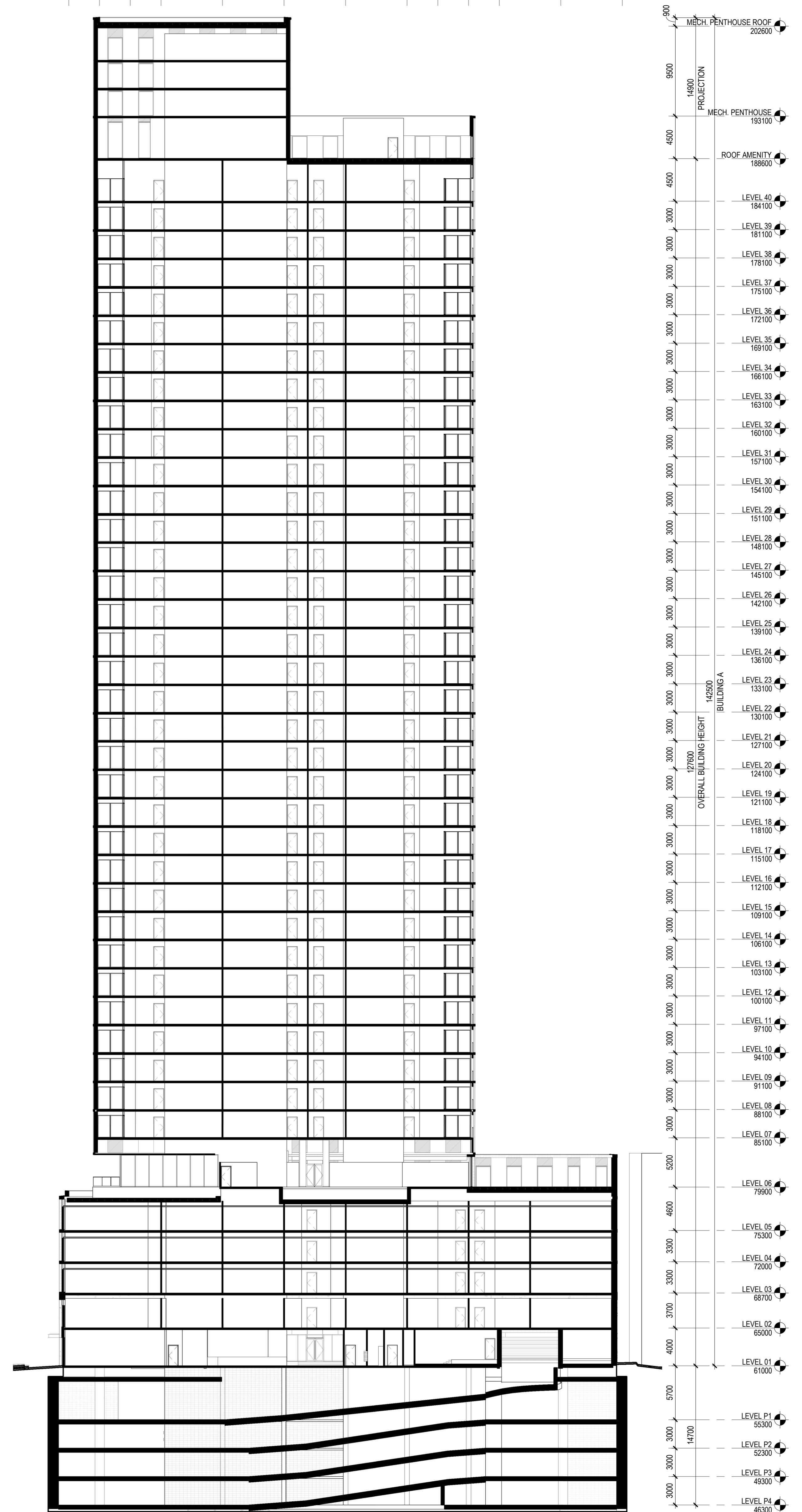
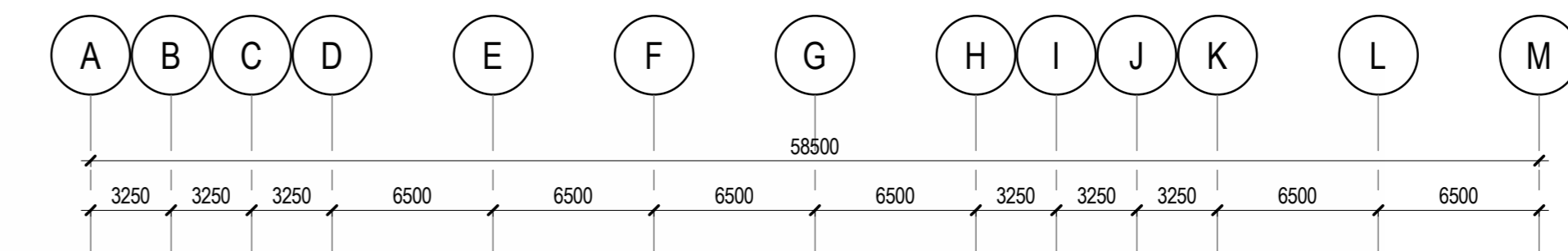
Job Number 442522.00

TITLE

BUILDING SECTIONS

SHEET NUMBER

A21-02



② NORTH-SOUTH SECTION B

1:250

① NORTH-SOUTH SECTION A

1:250



VIEW FROM PARKDALE LOOKING SOUTH



VIEW FROM PARKDALE LOOKING NORTH



VIEW FROM BURNSIDE LOOKING WEST



VIEW FROM FORWARD LOOKING NORTH



VIEW FROM PARKDALE LOOKING EAST



VIEW FROM BURNSIDE LOOKING SOUTH

SEAL



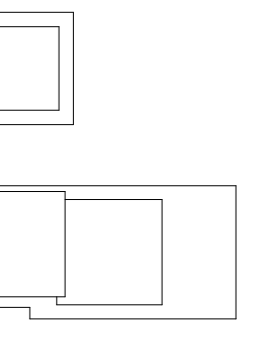
PROJECT

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ISSUE CHART

NO.	ISSUE	DATE
1	ISSUED FOR OPAZBASPA	2025/02/27

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Job Number 442522.00
TITLE

STREET VIEWS

SHEET NUMBER

A70-01

BIRD DETERRANCE STRATEGY
VISION GLAZING / SPANDREL WITH BIRD FRIT

Perkins&Will

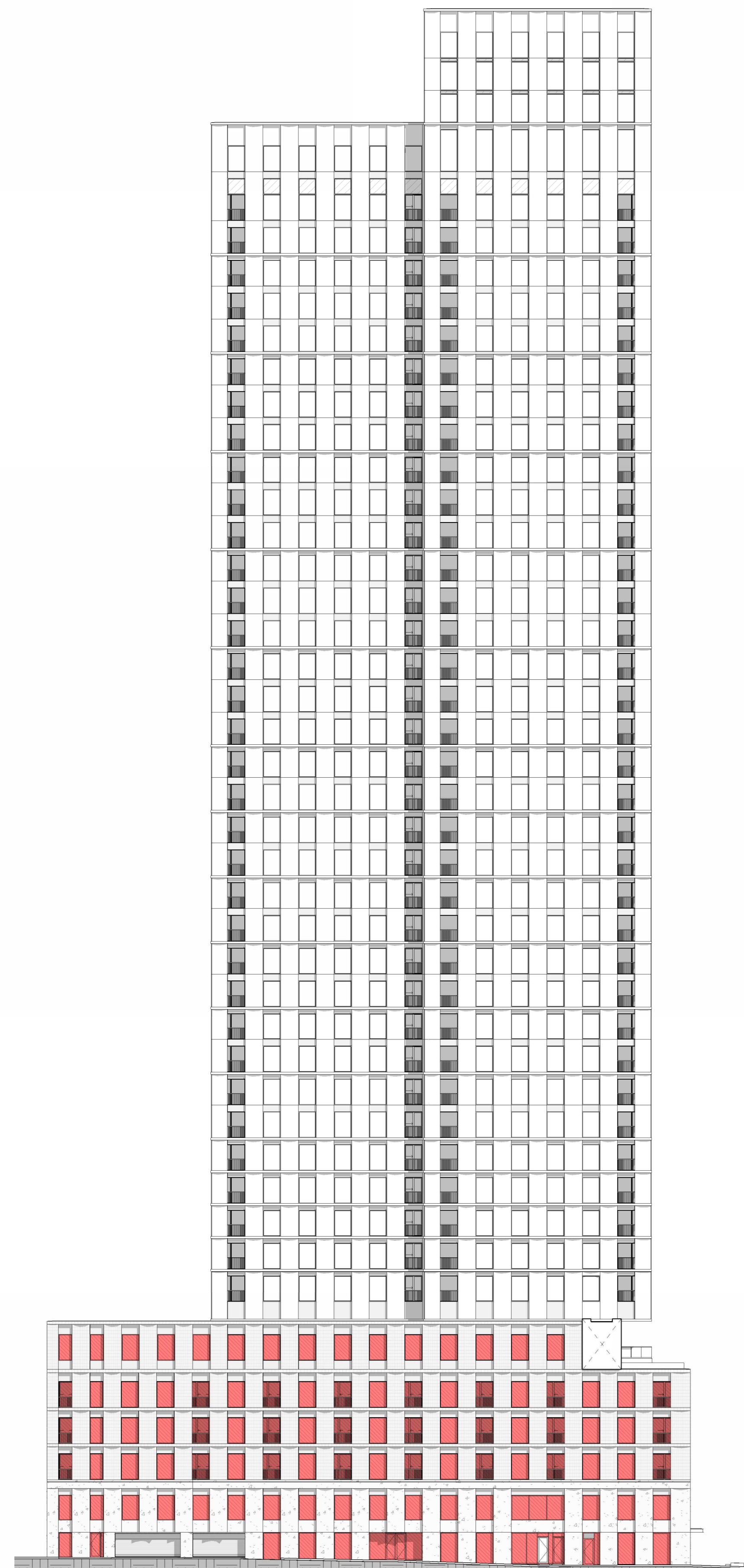
275 Slater Street,
Suite 1910,
Ottawa, Ontario,
Canada, K1P 5M9
613.563.2500
613.563.7281
perkinswill.com



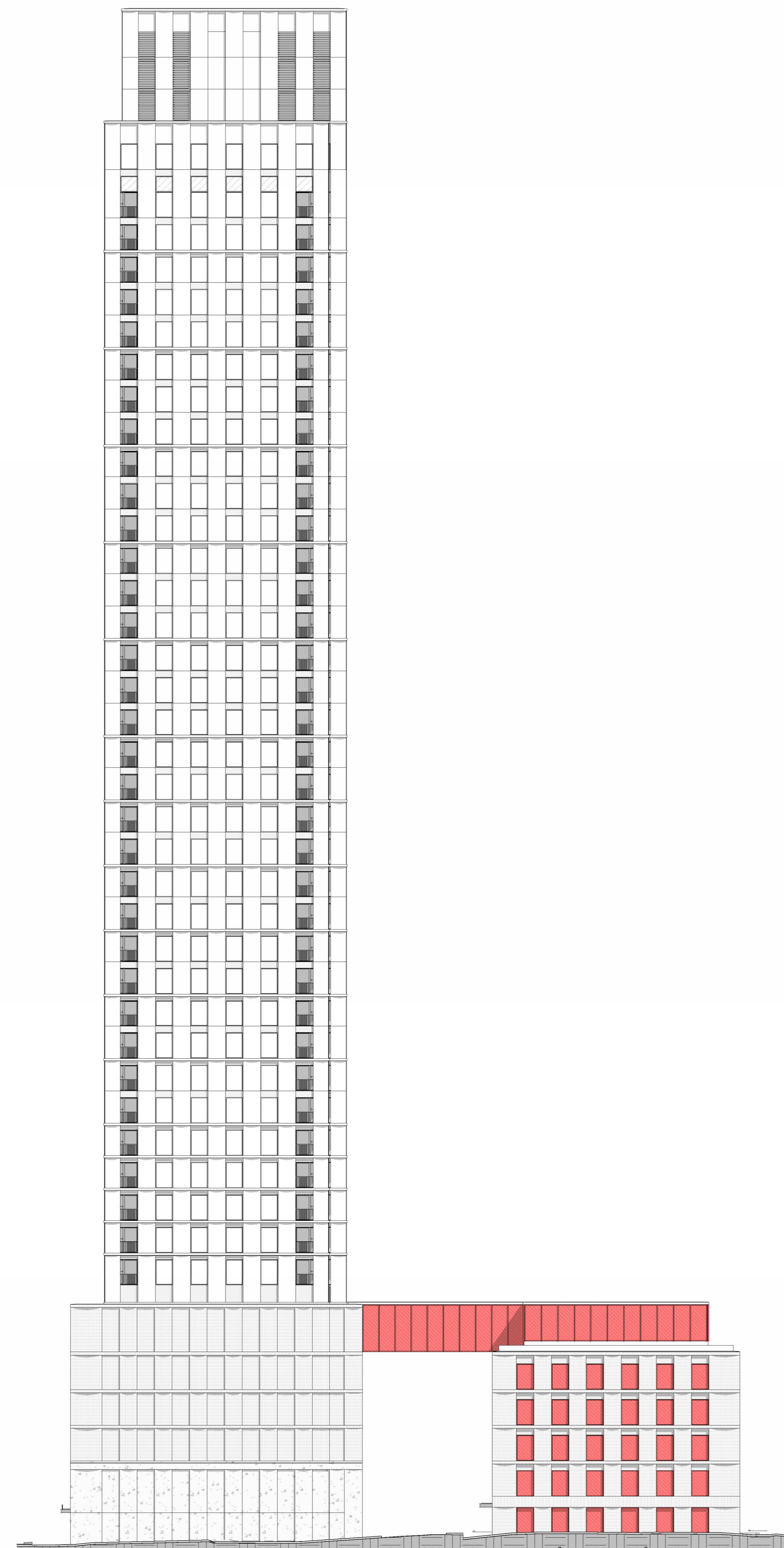
5 EAST ELEVATION - BUILDING B - BIRD COLLISION DETERRANCE
1:300



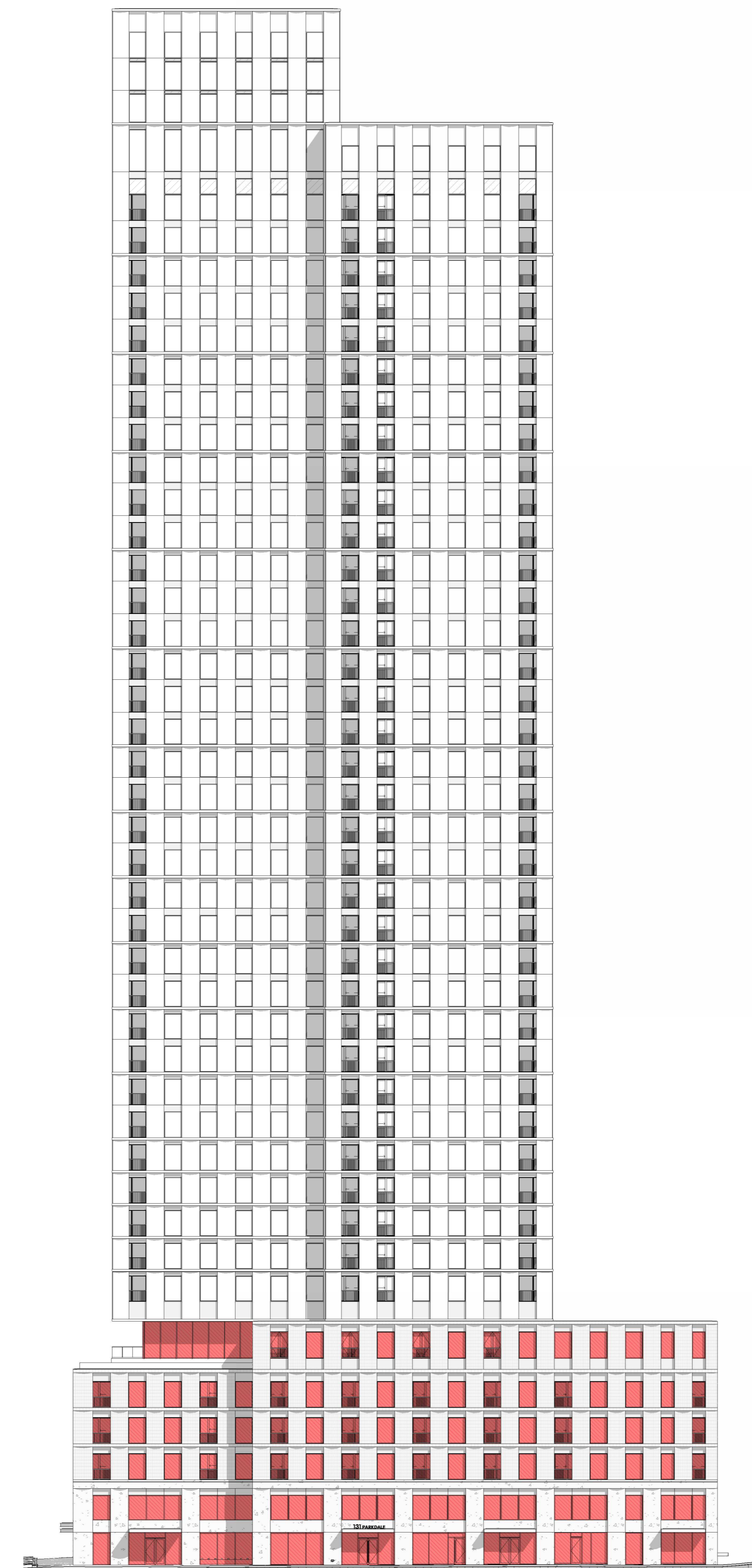
6 WEST ELEVATION - BUILDING B - BIRD COLLISION DETERRANCE
1:300



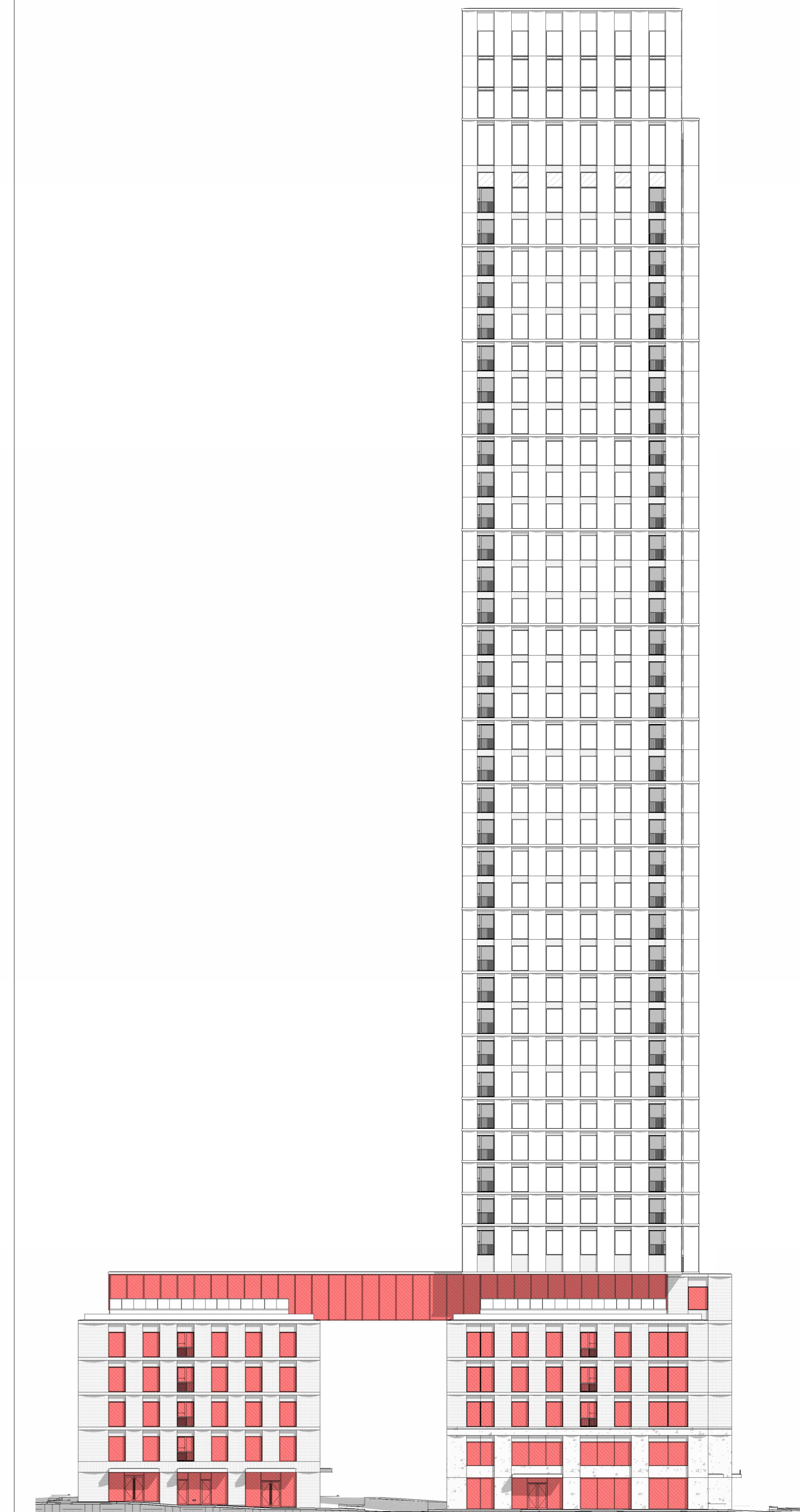
4 EAST ELEVATION - BIRD COLLISION DETERRANCE
1:300



2 SOUTH ELEVATION - BIRD COLLISION DETERRANCE
1:300



3 WEST ELEVATION - BIRD COLLISION DETERRANCE
1:300



1 NORTH ELEVATION - BIRD COLLISION DETERRANCE
1:300

SEAL



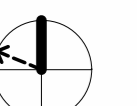
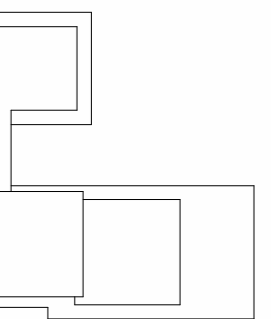
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ISSUE CHART

NO.	ISSUED FOR OPAZBASPA	DATE
1	ISSUED FOR OPAZBASPA	2026/02/27

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Job Number 442522.00
TITLE

**BIRD COLLISION
DETRANCE**

SHEET NUMBER

A70-10

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