

LOTS 1, 2, 3 & 4, EAST PARKDALE AVENUE
LOTS 1 & 2, WEST FORWARD AVENUE
AND
PART OF LANE, (CLOSED BY JUDGE'S
ORDER INST. N719490, AMENDED BY JUDGE'S
ORDERS INST. N722887 & N723202)
REGISTERED PLAN 35
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.
Plan Amended on July 22, 2025 to add Underground Services.

Scale 1 : 150
Metric DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them.
2. The survey was completed on the 17th day of July, 2025.

July 21, 2025
Date
Andrew Handspiker
Ontario Land Surveyor

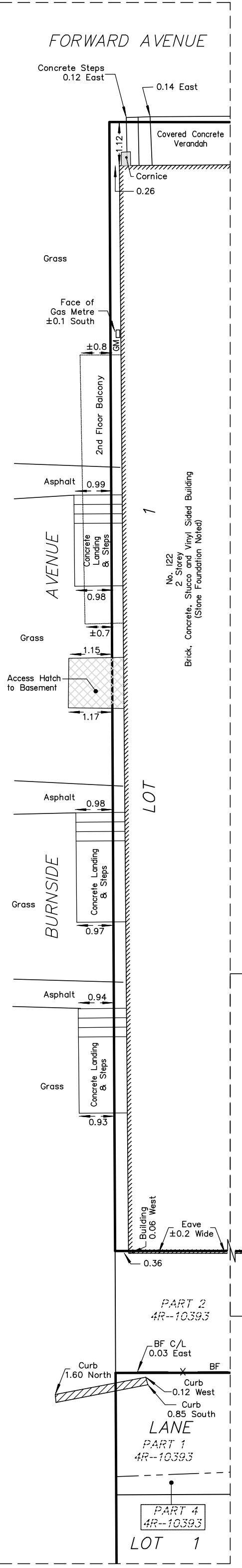
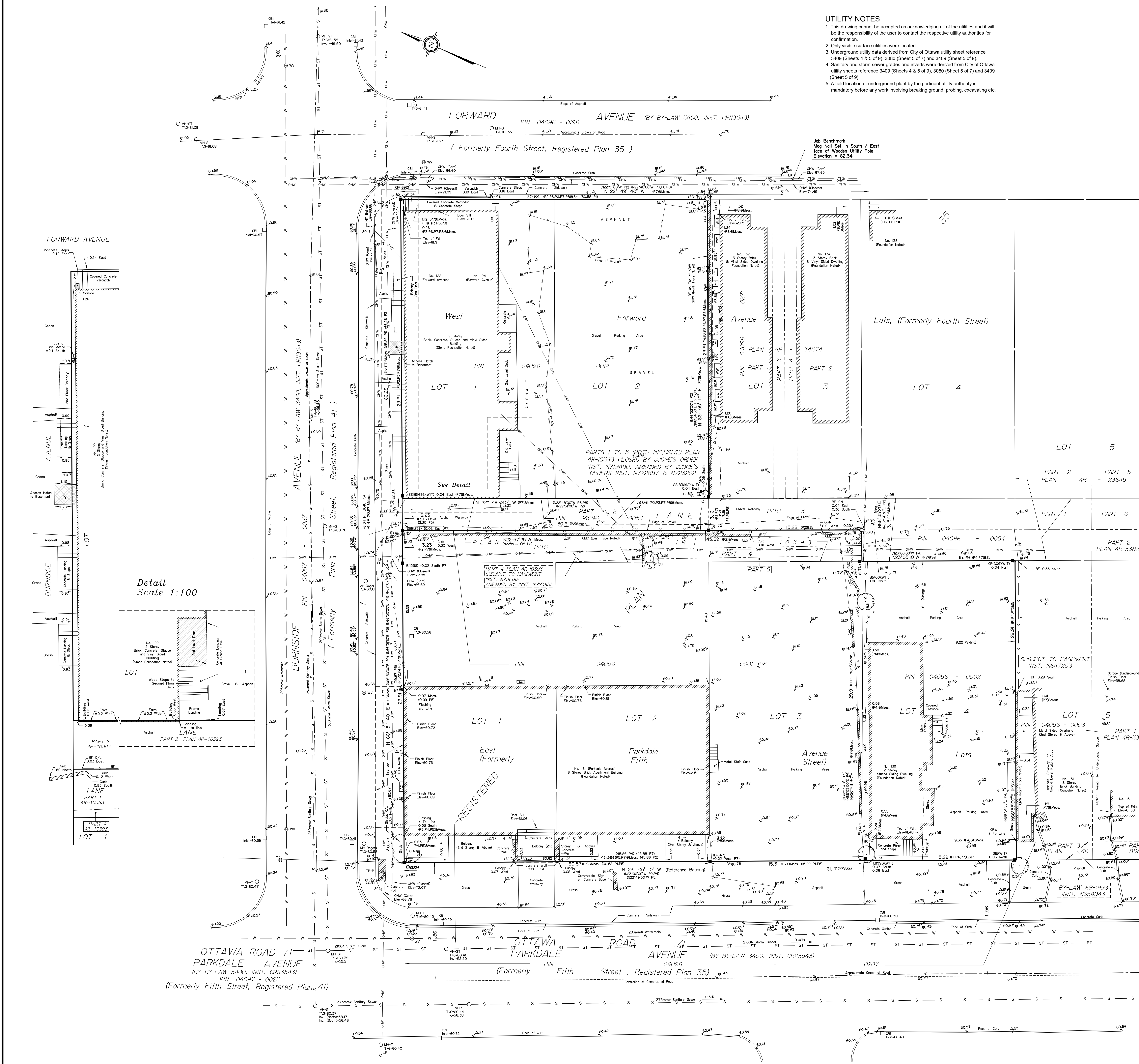
Notes & Legend

Table with 2 columns: Symbol and Description. Includes symbols for Survey Monument Planted, Survey Monument Found, Standard Iron Bar, Short Standard Iron Bar, Iron Bar, Concrete Pin, Witness, Measured, Accepted, Registered Plan 35, Plan 4R-10393, (1892) Plan Dated May 24, 2018, (1990) Plan Dated June 26, 1992, (647) Plan Dated January 12, 1984, (AOC) Plan Dated June 7, 2024, (AOC) Plan Dated March 20, 2020, (S) Plan Dated January 12, 2023, Maintenance Hole (Sanitary), Maintenance Hole (Storm Sewer), Overhead Wires, Underground Storm Sewer, Underground Sanitary Sewer, Underground Water Utility Pole, Air Conditioner, Anchor, Light Standard, Catch Basin, Catch Basin Inlet, Top of Grate, Gas Meter, Handhole, Hydro Transformer, Bell Terminal Box, Concrete Retaining Wall, Stone Retaining Wall, Diameter, Location of Elevations, Top of Concrete Curb / Wall Elevation, Centreline, Bollard, Board Fence, Deciduous Tree, Water Valve, Window Well, Concrete Movable Curb, Corn, Communication, Foundation.

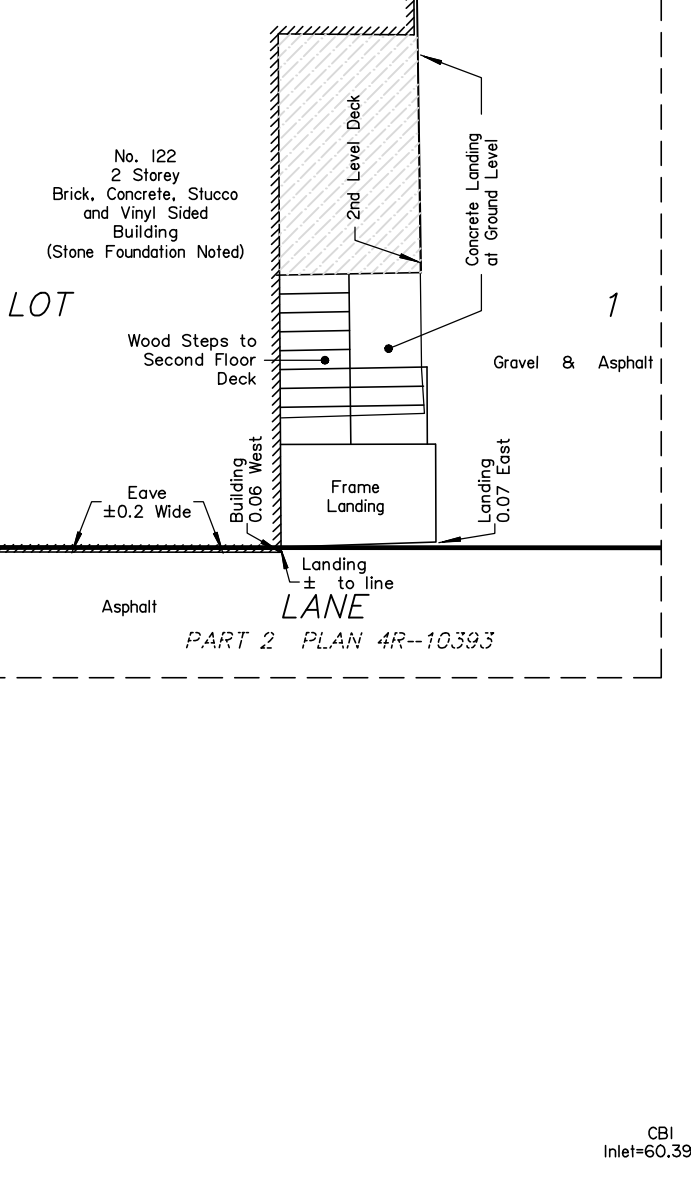
ELEVATION NOTES
1. Elevations shown are geoidic, and are referred to the CGVD28 geoidic datum, derived from City of Ottawa control monument No. 2011-0134 having an elevation of 61.149m.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

SITE AREAS
PIN 04096-0001 & 04096-0002 (Combined) = 1975.9m²
PIN 04096-0012 = 916.0m²

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference 3409 (Sheets 4 & 5 of 9), 3080 (Sheet 5 of 7) and 3409 (Sheet 5 of 9).
4. Sanitary and storm sewer grades and inverts were derived from City of Ottawa utility sheets reference 3409 (Sheets 4 & 5 of 9), 3080 (Sheet 5 of 7) and 3409 (Sheet 5 of 9).
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.



Detail Scale 1:100



OTTAWA ROAD 71
PARKDALE AVENUE
(BY BY-LAW 3400, INST. CR13543)
PIN 04097 - 0025
(Formerly Fifth Street, Registered Plan 41)

OTTAWA PARKDALE AVENUE
(BY BY-LAW 3400, INST. CR13543)
PIN 04096
(Formerly Fifth Street, Registered Plan 35)

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-110855
THIS PLAN IS NOT VALID UNLESS IT IS AN UNREVISED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 29 (3).