

Site Information

Legal Description: Part of Lot 23, Concession 1 (Ottawa Front), Geographic Township of Gloucester and Part of Reserve Block 15 on 4M-1651

Block 21 - Lot Area: 14,162m² (1.4162 hectares or 3.5 acres)

Disclaimer: The concept site plan has been compiled using information contained in the Plan of Subdivision - Registered Plan 4M-1651 provided by Annis, O'Sullivan, Vollebek Ltd., Ontario Land Surveyors.

Block 21 - Zoning Information GM31 H(30)

| GM31 H(30) | Zoning Requirement | Provided |
|---|--------------------|---|
| Minimum Front Yard with Residential Land Use at Grade: | 5.0m | 7.8m (Codd's Road - North) |
| Minimum Corner Side Yard with Residential Land Use at Grade: | 5.0m | 7.7m (Bareille-Snow Street & Codd's Rd. - West) |
| Minimum Interior Side Yard with Residential Land Use at Grade: | 3.0m | N/A |
| Minimum Rear Yard with Residential Land Use at Grade: | 7.5m | 9.0m (Tawadina Road) |
| Additional Front & Corner Side Yard Setback Required for 4th Floor: | 2.0m | 2.0m |
| Minimum Separation between Portions of a Building above 4 Storeys: | 23.0m | 28.0m (Phases 1 & 2), 39.0m (Phases 1 & 3) 26.0m (Phases 2 & 3) |
| Maximum Building Area of Floor Plates at 7th Floor and Above: | 750m ² | Phase 1 - N/A, Phase 2 - 652m ² , Phase 3 - 652m ² |
| Maximum Building Height: | 30.0m | 23.625m (Phase 1 Building / 6-Storeys) 30.0m (Phase 2 & 3 Buildings / 9-Storeys) |

Phase 1 Retirement Home Building Information

| Floor Level | Area | Group 'B3' & 'C' Details | Rentable Area of Suites / GFA |
|-------------------------|--|--------------------------|---|
| Basement Floor Area: | 2,956m ² (31,818ft ²) | (0) Dwelling Units | 0m ² (0ft ²) = 0% of GFA |
| Ground Floor Area: | 2,925m ² (31,484ft ²) | (6) Dwelling Units | 468m ² (5,038ft ²) = 16% of GFA |
| 2nd Floor Area: | 2,773m ² (29,848ft ²) | (49) Dwelling Units | 1,789m ² (19,257ft ²) = 64% of GFA |
| 3rd Floor Area: | 2,773m ² (29,848ft ²) | (49) Dwelling Units | 1,789m ² (19,257ft ²) = 64% of GFA |
| 4th Floor Area: | 1,864m ² (20,064ft ²) | (28) Dwelling Units | 1,520m ² (16,361ft ²) = 82% of GFA |
| 5th Floor Area: | 1,864m ² (20,064ft ²) | (28) Dwelling Units | 1,536m ² (16,533ft ²) = 82% of GFA |
| 6th Floor Area: | 1,864m ² (20,064ft ²) | (28) Dwelling Units | 1,536m ² (16,533ft ²) = 82% of GFA |
| Gross Floor Area (GFA): | 17,019m ² (183,190ft ²) | (188) Dwelling Units | 8,638m ² (92,979ft ²) = 51% of GFA |

Proposed Building Height: 23.625m measured from grade to top of parapet
Number of Storeys: (6) storeys above grade

Phase 2 Senior's Apartment Building Information

| Floor Level | Area | Group 'C' Details |
|-------------------------------------|--|----------------------|
| Underground Parking Garage Area: | 4,411m ² (47,480ft ²) | (0) Dwelling Units |
| Link between Phase 1 & 2 Buildings: | 40m ² (431ft ²) | (0) Dwelling Units |
| Ground Floor Area: | 1,900m ² (20,451ft ²) | (18) Dwelling Units |
| 2nd Floor Area: | 2,066m ² (22,238ft ²) | (25) Dwelling Units |
| 3rd Floor Area: | 2,066m ² (22,238ft ²) | (25) Dwelling Units |
| 4th Floor Area: | 1,592m ² (17,136ft ²) | (25) Dwelling Units |
| 5th Floor Area: | 1,592m ² (17,136ft ²) | (25) Dwelling Units |
| 6th Floor Area: | 1,592m ² (17,136ft ²) | (25) Dwelling Units |
| 7th Floor Area: | 652m ² (7,018ft ²) | (9) Dwelling Units |
| 8th Floor Area: | 652m ² (7,018ft ²) | (9) Dwelling Units |
| 9th Floor Area: | 652m ² (7,018ft ²) | (9) Dwelling Units |
| Gross Floor Area (GFA): | 17,215m ² (185,300ft ²) | (170) Dwelling Units |

Proposed Building Height: 30.0m measured from grade to top of parapet
Number of Storeys: (9) storeys above grade

Phase 3 Senior's Apartment Building Information

| Floor Level | Area | Group 'C' Details |
|----------------------------------|---|----------------------|
| Underground Parking Garage Area: | 1,448m ² (15,586ft ²) | (0) Dwelling Units |
| Ground Floor Area: | 1,012m ² (10,893ft ²) | (8) Dwelling Units |
| 2nd Floor Area: | 1,178m ² (12,680ft ²) | (13) Dwelling Units |
| 3rd Floor Area: | 1,178m ² (12,680ft ²) | (13) Dwelling Units |
| 4th Floor Area: | 840m ² (9,042ft ²) | (13) Dwelling Units |
| 5th Floor Area: | 840m ² (9,042ft ²) | (13) Dwelling Units |
| 6th Floor Area: | 840m ² (9,042ft ²) | (13) Dwelling Units |
| 7th Floor Area: | 652m ² (7,018ft ²) | (9) Dwelling Units |
| 8th Floor Area: | 652m ² (7,018ft ²) | (9) Dwelling Units |
| 9th Floor Area: | 652m ² (7,018ft ²) | (9) Dwelling Units |
| Gross Floor Area (GFA): | 9,292m ² (100,019ft ²) | (100) Dwelling Units |

Proposed Building Height: 30.0m measured from grade to top of parapet
Number of Storeys: (9) storeys above grade

Phase 1, 2 & 3 Vehicular Parking Information

| Building | Zoning Requirement | Provided |
|---|---------------------------------------|--|
| Phase 1 Retirement Home Building Parking | | |
| Resident: 0.25 spaces per Unit = 188 units x 0.25 = 47 spaces | Table 101 - R20 - Column II | 47 spaces (provided in below grade indoor parking garage) |
| Staff: 1 space per 100m ² GFA used for medical, health or personal services = 900m ² GFA x 1 = 9 spaces | Table 101 - R20 - Column II | 11 spaces (provided in below grade indoor parking garage) |
| Visitor: No requirement for Retirement Home | | 4 spaces (surface parking) |
| Phase 2 Senior's Apartment Building (Mid-High Rise) Parking | | |
| Resident: 0.5 spaces per Unit = 170 units x 0.5 = 85 spaces * (designed for 0.75 spaces per Unit = 128 spaces) | Table 101 - R12 - Column II | 129 spaces (provided in below grade indoor parking garage) |
| Visitor: 0.1 spaces per Unit = 170 units x 0.1 = 17 spaces | Table 102 - Mid-High Rise - Column II | 17 spaces (surface parking) |
| Phase 3 Senior's Apartment Building (Mid-High Rise) Parking | | |
| Resident: 0.5 spaces per Unit = 100 units x 0.5 = 50 spaces | Table 101 - R12 - Column II | 37 spaces (provided in below grade indoor parking garage) 13 spaces (surface parking) |
| Visitor: 0.1 spaces per Unit = 100 units x 0.1 = 10 spaces | Table 102 - Mid-High Rise - Column II | 10 spaces (surface parking) |

| REV. | DESCRIPTION | DATE |
|------|------------------------|------------|
| 01 | FOR SITE PLAN APPROVAL | 01/20/2026 |
| 02 | FOR SITE PLAN APPROVAL | 02/27/2026 |

GENERAL NOTES

- DO NOT SCALE DRAWINGS. ALL MEASUREMENTS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- ALL WORK DESCRIBED UNDER THIS CONTRACT TO COMPLY WITH ONTARIO BUILDING CODE, 2024 AND/OR NATIONAL BUILDING CODE, 2020 AND OTHER CODES AND BY-LAWS IN EFFECT.
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Bicycle Parking Information

Phase 1 Retirement Home Building
Bicycle Parking Required - Table 111A (a):
0.25 spaces / 188 dwelling units = 47 spaces

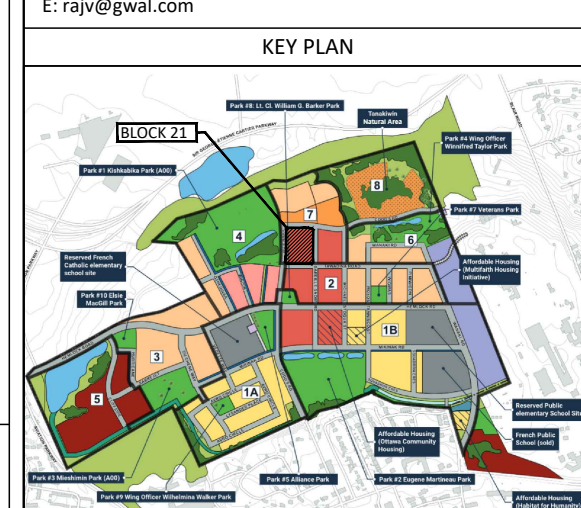
Bicycle Parking Provided:
50 bicycle parking spaces consisting of:
16 (surface) & 34 (indoor) @ 0.6m x 1.8m space per bicycle w/ 1.5m access aisle

Phase 2 Senior's Apartment Building
Bicycle Parking Required - Table 111A (b):
0.5 spaces / 170 dwelling units = 85 spaces

Bicycle Parking Provided:
85 bicycle parking spaces consisting of:
19 (surface) & 66 (indoor) @ 0.6m x 1.8m space per bicycle w/ 1.5m access aisle

Phase 3 Senior's Apartment Building
Bicycle Parking Required - Table 111A (b):
0.5 spaces / 100 dwelling units = 50 spaces

Bicycle Parking Provided:
32 (surface) & 18 (indoor) @ 0.6m x 1.8m space per bicycle w/ 1.5m access aisle



PROJECT TITLE
WATERIDGE LIFESTYLES - PHASE 1 RETIREMENT HOME
BLOCK 21 WATERIDGE VILLAGE
200 CODD'S ROAD, OTTAWA ON K1K 5C6

DRAWING LIST

| MASTER PLAN | DRAWING No. |
|---------------------|-------------|
| JOB No. TBA-2026-01 | DRAWING No. |
| DATE 01/20/2026 | |
| SCALE AS NOTED | |

DRAWN & REVIEWED BY T.B.

FILE No. XX / PLAN No. XX