

Site Information

Legal Description: Part of Lot 23, Concession 1 (Ottawa Front), Geographic Township of Gloucester and Part of Reserve Block 15 on 4M-1651

Block 21 - Lot Area: 14,162m² (1.4162 hectares or 3.5 acres)

Disclaimer: The concept site plan has been compiled using information contained in the Plan of Subdivision - Registered Plan 4M-1651 provided by Annis, O'Sullivan, Vollebek Ltd., Ontario Land Surveyors.

Block 21 - Zoning Information GM31 H(30)

GM31 H(30)	Zoning Requirement	Provided
Minimum Front Yard with Residential Land Use at Grade:	5.0m	85.6m (Codd's Road - North)
Minimum Corner Side Yard with Residential Land Use at Grade:	5.0m	7.7m (Bareille-Snow Street & Codd's Rd. - West)
Minimum Interior Side Yard with Residential Land Use at Grade:	3.0m	N/A
Minimum Rear Yard with Residential Land Use at Grade:	7.5m	9.0m (Tawadina Road)
Additional Front & Corner Side Yard Setback Required for 4th Floor:	2.0m	2.0m
Minimum Separation between Portions of a Building above 4 Storeys:	23.0m	28.0m (Phase 1 & Future Phase 2) 39.0m (Phase 1 & Future Phase 3)
Maximum Building Area of Floor Plates at 7th Floor and Above:	750m ²	N/A (6-Storey Building)
Maximum Building Height:	30.0m	23.625m (Phase 1 Building / 6-Storeys)

Phase 1 Retirement Home Building Information

Floor Level	Area	Group 'B3' & 'C' Details	Rentable Area of Suites / GFA
Basement Floor Area:	2,956m ² (31,818ft ²)	(0) Dwelling Units	0m ² (0ft ²) = 0% of GFA
Ground Floor Area:	2,925m ² (31,484ft ²)	(6) Dwelling Units	468m ² (5,038ft ²) = 16% of GFA
2nd Floor Area:	2,773m ² (29,848ft ²)	(49) Dwelling Units	1,789m ² (19,257ft ²) = 64% of GFA
3rd Floor Area:	2,773m ² (29,848ft ²)	(49) Dwelling Units	1,789m ² (19,257ft ²) = 64% of GFA
4th Floor Area:	1,864m ² (20,064ft ²)	(28) Dwelling Units	1,520m ² (16,361ft ²) = 82% of GFA
5th Floor Area:	1,864m ² (20,064ft ²)	(28) Dwelling Units	1,536m ² (16,533ft ²) = 82% of GFA
6th Floor Area:	1,864m ² (20,064ft ²)	(28) Dwelling Units	1,536m ² (16,533ft ²) = 82% of GFA
Gross Floor Area (GFA):	17,019m ² (183,190ft ²)	(188) Dwelling Units	8,638m ² (92,979ft ²) = 51% of GFA

Proposed Building Height: 23.625m measured from grade to top of parapet
Number of Storeys: (6) storeys above grade

Phase 1 Vehicular Parking Information

Phase 1 Retirement Home Building Parking	Zoning Requirement	Provided
Resident: 0.25 spaces per Unit = 188 units x 0.25 = 47 spaces	Table 101 - R20 - Column II	47 spaces (provided in below grade indoor parking garage)
Staff: 1 space per 100m ² GFA used for medical, health or personal services = 900m ² GFA x 1 = 9 spaces	Table 101 - R20 - Column II	13 spaces * (provided in below grade indoor parking garage)
Visitor: No requirement for Retirement Home		15 spaces ** (surface parking)
Total Phase 1 Building - Vehicular Parking Required:	= 56 spaces	
Total Phase 1 Building - Vehicular Parking Provided:	= 75 spaces consisting of (15) exterior surface & (60) indoor parking	

General Phase 1 Parking Space Note:

- * When the Phase 2 Senior's Apartment Building and underground parking structure is completed, (2) standard indoor parking spaces for Phase 1 staff will be removed to accommodate for the 6.7m [W] drive aisle connection between the Phase 1 & Phase 2 indoor parking garages (Refer to Master Plan - A1.1 and Master Plan - Underground - A1.2).
- ** When the Phase 3 Senior's Apartment Building and underground parking structure is completed, (11) standard exterior surface spaces for Phase 1 visitors will be transferred to the Phase 3 parking requirements and consisting of (10) standard exterior surface spaces for Phase 3 visitors and (1) Phase 3 loading space (Refer to Master Plan - A1.1 and Master Plan - Underground - A1.2).

Phase 1 Bicycle Parking Information

Phase 1 Retirement Home Building Parking	Zoning Requirement
Resident: 0.25 spaces per Unit = 188 units x 0.25 = 47 spaces	Table 111A (a) - Retirement Home
Total Phase 1 Building - Bicycle Parking Required:	= 47 spaces
Total Phase 1 Building - Bicycle Parking Provided:	= 50 spaces consisting of: 16 (surface) & 34 (indoor) bicycle spaces @ 0.6m x 1.8m space per bicycle with minimum 1.5m access aisle

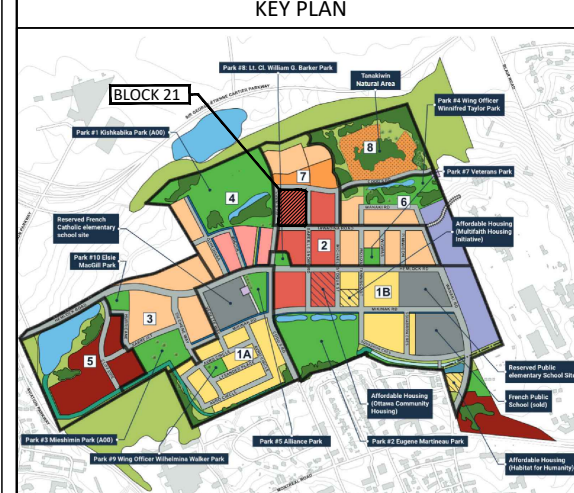
Site Plan & Master Plan Symbol Legend

- Denotes proposed Phase 1 retirement home building
- Denotes proposed Phase 2 senior's apartment building
- Denotes proposed Phase 3 senior's apartment building
- Denotes concrete surface
- Denotes unit paver surface
- Denotes seed/ sod ground landscape cover
- Denotes shrub / perennial bed
- Denotes bio-retention area
- Denotes building feature above
- Denotes property line
- Denotes site setback
- Denotes proposed phasing line
- Denotes c/l drive aisle
- Denotes building entrance
- Denotes accessible parking
- Denotes depressed curb
- Denotes high colour contrast pavement marking
- Denotes tactile walking surface indicator (TWSI)
- Denotes aluminum sign
- Denotes bench seating
- Denotes fire hydrant

REV.	DESCRIPTION	DATE
01	FOR SITE PLAN APPROVAL	01/20/2026
02	FOR SITE PLAN APPROVAL	02/27/2026

- #### GENERAL NOTES
- DO NOT SCALE DRAWINGS. ALL MEASUREMENTS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - ALL WORK DESCRIBED UNDER THIS CONTRACT TO COMPLY WITH ONTARIO BUILDING CODE, 2024 AND/OR NATIONAL BUILDING CODE, 2020 AND OTHER CODES AND BY-LAWS IN EFFECT.
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PROJECT TITLE		
WATERIDGE LIFESTYLES - PHASE 1 RETIREMENT HOME BLOCK 21 WATERIDGE VILLAGE 200 CODD'S ROAD, OTTAWA ON K1K 5C6		
DRAWING LIST		
SITE PLAN - PHASE 1		
JOB No.	TBA-2026-01	DRAWING No.
DATE	01/20/2026	
SCALE	AS NOTED	
DRAWN & REVIEWED BY T.B.		A1.0

FILE No. XX / PLAN No. XX