

Allison Hamlin

ALLISON HAMLIN  
MANAGER, DEVELOPMENT REVIEW ALL WARDS  
PLANNING, DEVELOPMENT & BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

APPROVED

By Allison Hamlin at 5:23 pm, Jun 10, 2026

# PERLEY HEALTH EXPANSION

PROJECT NO. 13330.01  
RE-SUBMISSION FOR SITE PLAN APPROVAL  
2026-05-08

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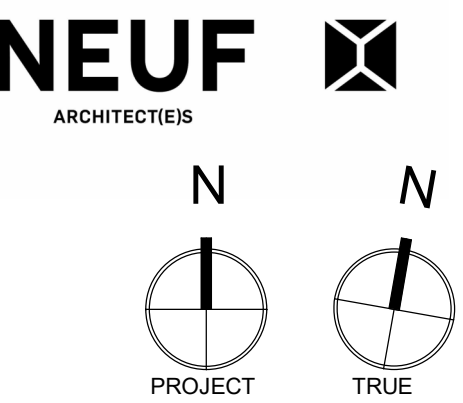
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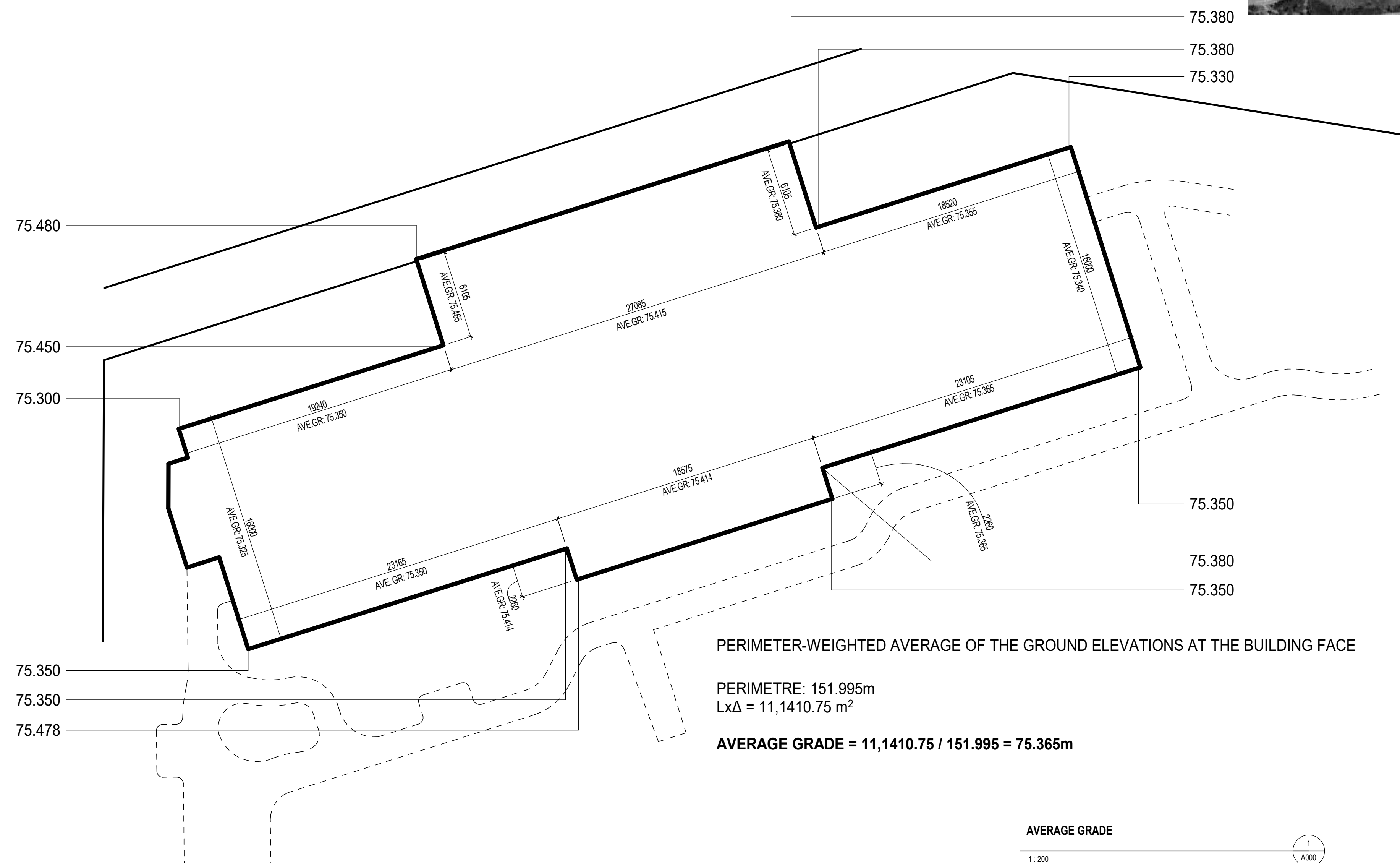
SEAL



SITE LOCATION: 1750 RUSSEL RD, OTTAWA



ARCHITECTURAL DRAWINGS - SITE PLAN APPLICATION		
SHEET NUMBER	SHEET NAME	SCALE



PROJECT  
**PERLEY HEALTH EXPANSION**

LOCATION: **1750 Russell Road**  
Ottawa, ON K1G 5Z6

PROJECT No. **13330**

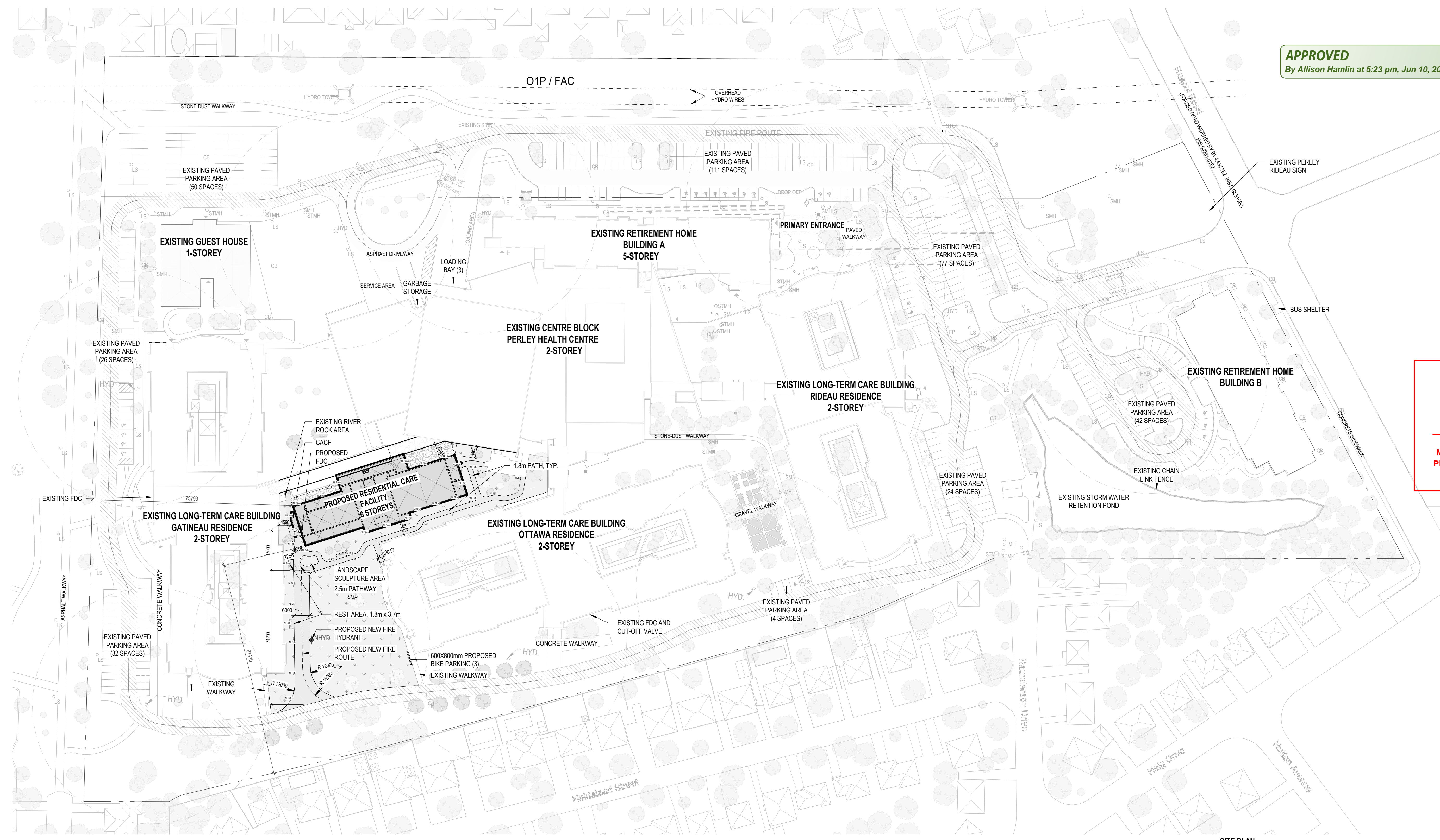
PROJECT NO.	REVISION	DATE (yyyy-mm-dd)
A	ISSUED FOR SITE PLAN APPLICATION	2026-02-09
B	ISSUED FOR SITE PLAN APPROVAL	2026-05-08

DRAWN BY: MD  
CHECKED BY: LK  
DATE: 2024-01-08  
SCALE: 1 : 200  
DRAWING TITLE: COVER SHEET AND DRAWING LIST

REVISION: **B**  
DRAWING NUMBER: **A000**  
#19458

Autodesk Docs://13330\_PERLEY HEALTH ALT\_R24/PRSLR\_133300\_ARC\_INT\_R24.rvt

**APPROVED**  
By Allison Hamlin at 5:23 pm, Jun 10, 2026



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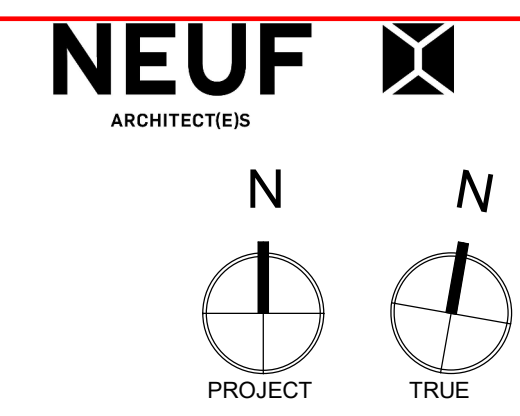
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**PROJECT**  
**PERLEY HEALTH EXPANSION**  
LOCATION: 1750 Russell Road, Ottawa, ON K1G 5Z6  
PROJECT No: 13330

PROJECT NO.	REVISION	DATE (yyyy-mm-dd)
A	ISSUED FOR SITE PLAN APPLICATION	2026-02-09
B	ISSUED FOR SITE PLAN APPROVAL	2026-05-08

DRAWN BY: **MS** CHECKED BY: **LK/RS**  
DATE (yyyy-mm-dd): **03/31/25** SCALE: **As indicated**

DRAWING TITLE: **SITE PLAN - CAMPUS**

REVISION: **B** DRAWING NUMBER: **A110**  
#19458

**PROJECT DATA**

APPLICABLE BY-LAWS	Zoning (By-law No. 2008-250)   City of Ottawa	New Zoning (By-law 2026-50)   City of Ottawa
MUNICIPAL ADDRESS	1750 RUSSELL ROAD, OTTAWA	
ZONING INFORMATION	I2 [325] Institutional Zones	LGZ[375] Large-Scale Institutional and Recreation Zone
USES	REQUIRED / ALLOWED	PROPOSED
	RESIDENTIAL CARE FACILITY, OTHERS	RESIDENTIAL CARE FACILITY, RETIREMENT HOME
MINIMUM LOT WIDTH (m)	NO MINIMUM	218.54 m
MINIMUM LOT AREA (m <sup>2</sup> )	NO MINIMUM	82,980.00 m <sup>2</sup>
MINIMUM BUILDING HEIGHT	NO MINIMUM	21.99 m
MAXIMUM BUILDING HEIGHT	15m @ 12m SET BACK, NO MAXIMUM	21.99 m
MINIMUM FRONT YARD SETBACK	7.5m	305 m
MINIMUM CORNER SIDE YARD SETBACK	7.5m	NOT A CORNER LOT
MINIMUM REAR YARD SETBACK	7.5m	76 m
MINIMUM INTERIOR SIDE YARD SETBACK	7.5m	81 m
MINIMUM WIDTH OF LANDSCAPE AREAS ALONG ALL LOT LINES	3m	PROVIDED
<b>PARKING RATE</b>		
MOTOR VEHICLE	278 (EXCEPTION)	353 (EXISTING)
BICYCLE PARKING (1/1500 m <sup>2</sup> )	4500 m <sup>2</sup> / 1500 = 3	3
LOADING SPACES	2 for GFA > 2,000 m <sup>2</sup>	3 (EXISTING)

**SITE STATISTICS**

AREA OF THE SITE	82,980 m <sup>2</sup>
EXISTING GROSS FLOOR AREA	55,197 m <sup>2</sup>
PROPOSED ADDITIONAL GROSS FLOOR AREA	4,510 m <sup>2</sup>
EXISTING RESIDENTIAL CARE FACILITY UNITS	450
EXISTING RETIREMENT HOME UNITS	139
EXISTING GUEST UNITS	12
PROPOSED RESIDENTIAL CARE FACILITY UNITS	120

**PROJECT AREA SUMMARY (\*)**

LEVEL	GROSS FLOOR AREA (GFA), m <sup>2</sup>	DEDUCTIONS, m <sup>2</sup>	FLOOR AREA, m <sup>2</sup>
LEVEL 1	844 m <sup>2</sup>	344 m <sup>2</sup>	1,187 m <sup>2</sup>
LEVEL 2	783 m <sup>2</sup>	391 m <sup>2</sup>	1,175 m <sup>2</sup>
LEVEL 3	721 m <sup>2</sup>	308 m <sup>2</sup>	1,029 m <sup>2</sup>
LEVEL 4	721 m <sup>2</sup>	308 m <sup>2</sup>	1,029 m <sup>2</sup>
LEVEL 5	721 m <sup>2</sup>	308 m <sup>2</sup>	1,029 m <sup>2</sup>
LEVEL 6	721 m <sup>2</sup>	308 m <sup>2</sup>	1,029 m <sup>2</sup>
LEVEL 7	0 m <sup>2</sup>	773 m <sup>2</sup>	773 m <sup>2</sup>
<b>TOTAL</b>	<b>4,510 m<sup>2</sup></b>	<b>2,742 m<sup>2</sup></b>	<b>7,252 m<sup>2</sup></b>

**PARKING**

EXISTING PARKING REGULAR	333
EXISTING ADA PARKING	20
EXISTING BICYCLE PARKING	64
<b>NEW PARKING</b>	<b>n/a</b>
<b>NEW BARRIER FREE PARKING REQUIRED</b>	<b>n/a</b>
Traffic and Parking (By-law No. 2017-301)	
	REQUIRED
<b>TOTAL PARKING</b>	<b>278 (EXCEPTION)</b>
<b>TOTAL ADA PARKING</b>	<b>19 (EXCEPTION)</b>
	PROPOSED
<b>TOTAL ADA PARKING</b>	<b>20</b>

**ZONING BY-LAW AMENITY CALCULATIONS**

	REQUIRED	PROPOSED
TOTAL REQUIREMENT (NEW RESIDENTIAL CARE FACILITY)	10% x 120 x 25 m <sup>2</sup> = 300 m <sup>2</sup>	390 m <sup>2</sup>

**NOTES:**

- PARKING STALLS SIZE:
  - TYPICAL - 2650 x 5200mm
  - ADA TYPE A - 3400 x 5200 - AISLE 1500mm
  - ADA TYPE B - 2400 x 5200 - AISLE 1500mm
- PARKING SPACES RESERVED FOR PEOPLE WITH DISABILITIES MUST BE IDENTIFIED BY A SIGN IN ACCORDANCE WITH THE BY-LAW REQUIREMENTS AND BUILDING CODE REQUIREMENTS.
- FOR LANDSCAPE, PLANTING DETAILS SEE DRAWINGS BY LANDSCAPE ARCHITECT.
- FOR SITE GRADING INFORMATION SEE DRAWINGS BY CIVIL ENGINEER.
- FOR SITE SERVICES INFORMATION SEE DRAWINGS PREPARED BY CIVIL ENGINEER.
- FOR SOIL INVESTIGATION REPORT REFER TO THE REPORT PREPARED BY PATERSON GROUP.
- PROPERTY LINE IS BASED ON SURVEY PREPARED BY ANIS, OSULLIVAN, VOLLEBECK LTD.
- SLOPES FOR CONCRETE PAVING AT DEPRESSED CURBS NOT TO EXCEED 5%.
- CONTRACTOR TO VERIFY ALL THE DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.
- THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS (BUILDING MATERIALS, SOIL, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING. FAILURE TO MAINTAIN THE HOARDING AS ORIGINALLY APPROVED OR THE STORAGE OF MATERIALS WITHIN THE HOARDING WILL BE CAUSE FOR THE LETTER OF CREDIT TO BE HELD FOR TWO YEARS FOLLOWING COMPLETION OF ALL SITE WORKS. HOARDING MUST BE INSPECTED PRIOR TO THE REMOVAL OF ANY TREE HOARDING FROM THE SITE.

**ZONING BY-LAW 2008-250, OTTAWA, ONTARIO**

**DEFINITIONS (SECTION 54)**  
**GROSS FLOOR AREA** MEANS THE TOTAL AREA OF EACH FLOOR WHETHER LOCATED ABOVE, AT OR BELOW GRADE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS AND INCLUDING FLOOR AREA OCCUPIED BY INTERIOR WALLS AND FLOOR AREA CREATED BY BAY WINDOWS, BUT EXCLUDING:  
(A) FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING (BY-LAW 2008-326);  
(B) COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS (BY-LAW 2008-326);  
(C) BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES;  
(D) COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS;  
(E) COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING (BY-LAW 2008-326);  
(F) COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPAL USE ON THE LOT; AND (BY-LAW 2008-326);  
(G) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING. (SURFACE DE PLANCHER HORS OUVREURE BRUTE)

**SITE-PLAN LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	BARRIER FREE PARKING	FP	FLAG POLE		STORM WATER
	BUILDING ENTRANCE / EXIT		FIRE DEPARTMENT SIAMASE		WATER
	BOLLARD		GAS METER (REFER TO MECHANICAL)		NEW
	CURB	NHS	NEW HANDICAPPED PARKING SIGN		EXIST
	PAINTED PEDESTRIAN CROSSING	STOP	STOP SIGN		TO REMOVE
	PROPERTY LOT LINE	TS	EXISTING TRAFFIC SIGN		SANITARY
	FIRE ROUTE	NHYD	NEW FIRE HYDRANT		NEW
	EXTENT OF WORK	NLS(S)	NEW LIGHT STANDARD TALL (SEE ELECTRICAL)		EXIST
	EXISTING FIRE HYDRANT WITH 45m RADIUS	NLS(W)	NEW LIGHT STANDARD WALL-MOUNTED (SEE ELECTRICAL)		TO REMOVE
	EXISTING LIGHT STANDARD	NSMH	NEW SANITARY MANHOLE (SEE CIVIL)		GAS
	EX. SANITARY MANHOLE (SEE CIVIL)	NSTMH	NEW STORM MANHOLE (SEE CIVIL)		NEW
	EX. STORM MANHOLE (SEE CIVIL)	CB	NEW CATCH BASIN (SEE CIVIL)		EXIST
	EX. CATCH BASIN (SEE CIVIL)				TO REMOVE
					HYDRO / COMM
					NEW
					EXIST
					TO REMOVE

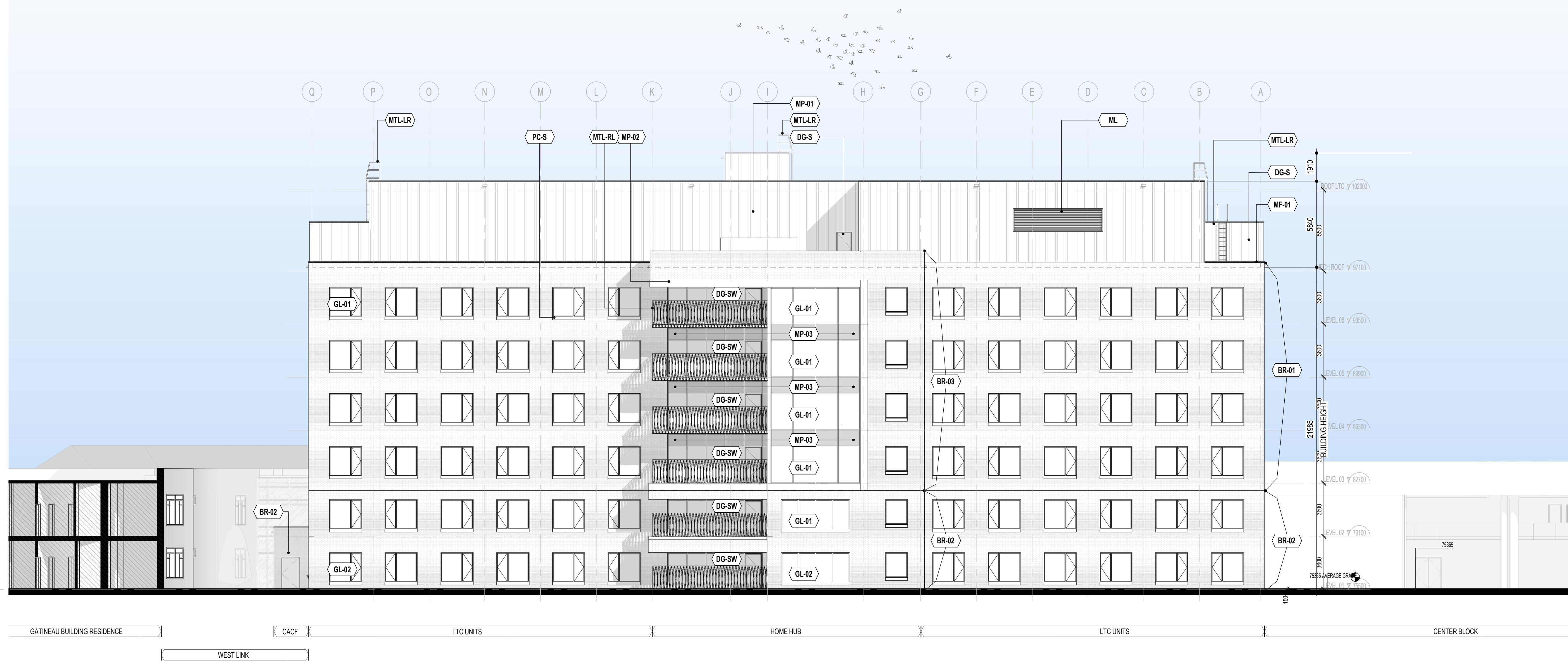
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D07-12-26-0018

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DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Allison Hamlin at 5:23 pm, Jun 10, 2026



LTC - ELEVATION SOUTH SPA  
ELEVATION  
1:150

2  
A410

MATERIALS LEGEND	
MP-01	PREFABRICATED METAL PANELS - GRAY VICWEST AD-300 PROFILE, 56161 CAMBRIDGE WHITE
MP-02	PREFABRICATED METAL PANELS - BROWN
MP-03	ALUMINIUM PANEL FOR SPANDREL PANEL IN CURTAIN WALL
MF-01	CAPPING/FLASHING - PARAPET

MATERIALS LEGEND CONT'D	
BR-01	BRICK FINISH - COLOUR: BROWN CANADA BRICK, HUDSON
BR-02	BRICK FINISH - COLOUR: VARIES (BROWN AND LIGHT BROWN) CANADA BRICK, CONESTOGA
BR-03	BRICK FINISH - COLOUR: BROWN PATTERNED CANADA BRICK, RUTHERFORD
BR-04	LIMESTONE MASONRY UNIT - COLOUR: SEPIA ARRISCRRAFT, ADAIR

MATERIALS LEGEND CONT'D	
GL-01	GLASS CLEAR - TYPICAL
GL-02	GLASS CLEAR - SAFETY
PC-S	PRECAST WINDOW SILL

MATERIALS LEGEND CONT'D	
SP-03	SPANDREL - (DARK BROWN GREY)
R-01	METAL GUARDRAIL (DARK BROWN GREY)
L-01	MECHANICAL LOUVRES, GREY

BUILDING ELEMENTS LEGEND		
DG-SW	EXTERIOR AUTOMATIC GLASS DOOR	S.S. SUPPORT STRUCTURE (OPENINGS OVER 3000mm), STRUCTURAL STEEL HSS AND SHELF ANGLE ABOVE WINDOW (SEE STRUCTURAL ENGINEER FOR STRUCTURE TYPE, SIZE, SPACING, DIMENSIONS, LOCATIONS, ANCHORAGE ETC.)
DG-SG	EXTERIOR GLASS SWING DOOR	
DG-S	EXTERIOR METAL SOLID DOOR	
ML	MECHANICAL LOUVER	
MTL-RL	METAL RAILING	WALL BOXES (REFER TO MECHANICAL ENGINEER)
MTL-LR	ROOF ACCESS LADDER	
L.L.	GALVANIZED STEEL LOOSE LINTEL	
S.A.	GALVANIZED STEEL SHELF ANGLE	
S.S.A.	GALVANIZED STEEL SUSPENDED SHELF ANGLE	
C.J.	CONTROL JOINT	
SC.	OVERFLOW SCUPPER	

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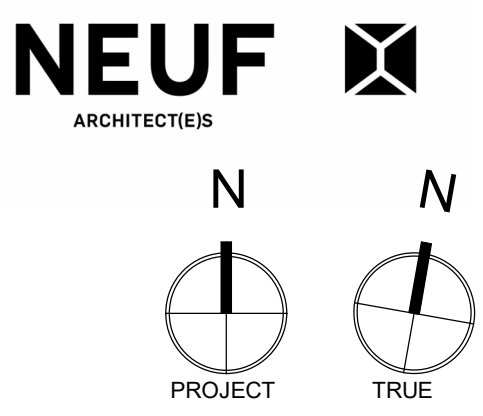
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SEAL



PROJECT  
**PERLEY HEALTH EXPANSION**

LOCATION  
**1750 Russell Road  
Ottawa, ON K1G 5Z6**

PROJECT No.  
**13330**

PROJECT NO. REVISION DATE (yyyy-mm-dd)  
A ISSUED FOR SITE PLAN APPLICATION 2026-02-09  
B ISSUED FOR SITE PLAN APPROVAL 2026-05-09

DRAWN BY: **GG** CHECKED BY: **LK**  
DATE (yyyy-mm-dd) **2025-03-21** SCALE **As indicated**  
DRAWING TITLE  
**EXTERIOR ELEVATIONS  
SPA**

REVISION **B** DRAWING NUMBER **A410**

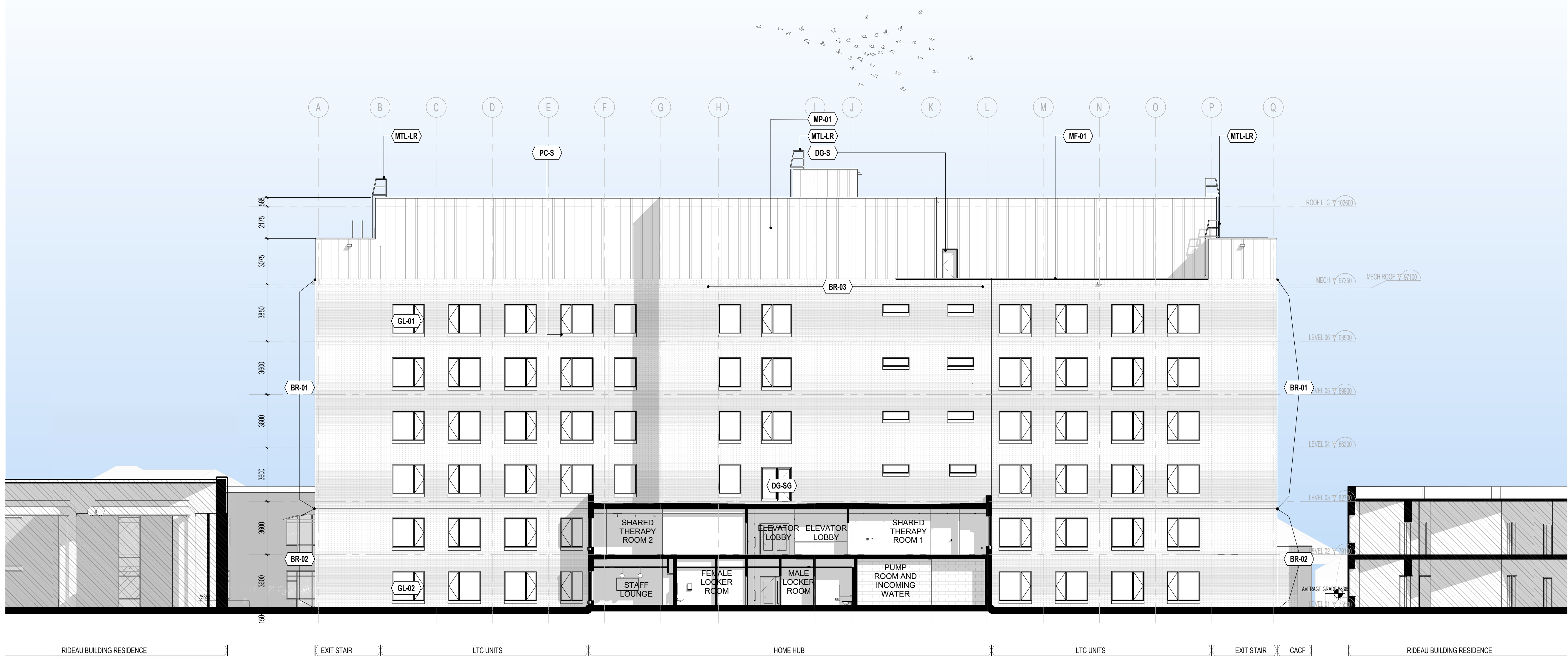
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**LTC - ELEVATION NORTH SPA**  
 ELEVATION  
 1:150

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			WALL BOXES (REFER TO MECHANICAL ENGINEER)

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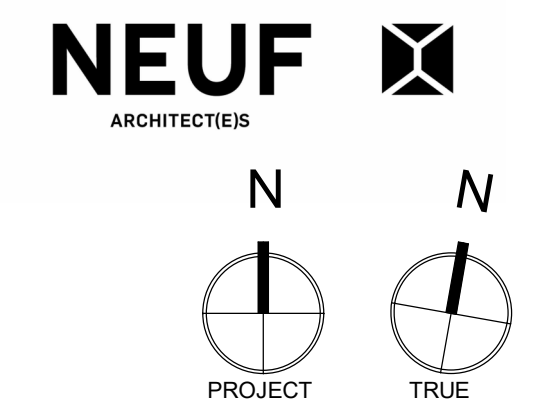
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*DO NOT USE FOR CONSTRUCTION*

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 DATE (yyyy-mm-dd): 12/15/25  
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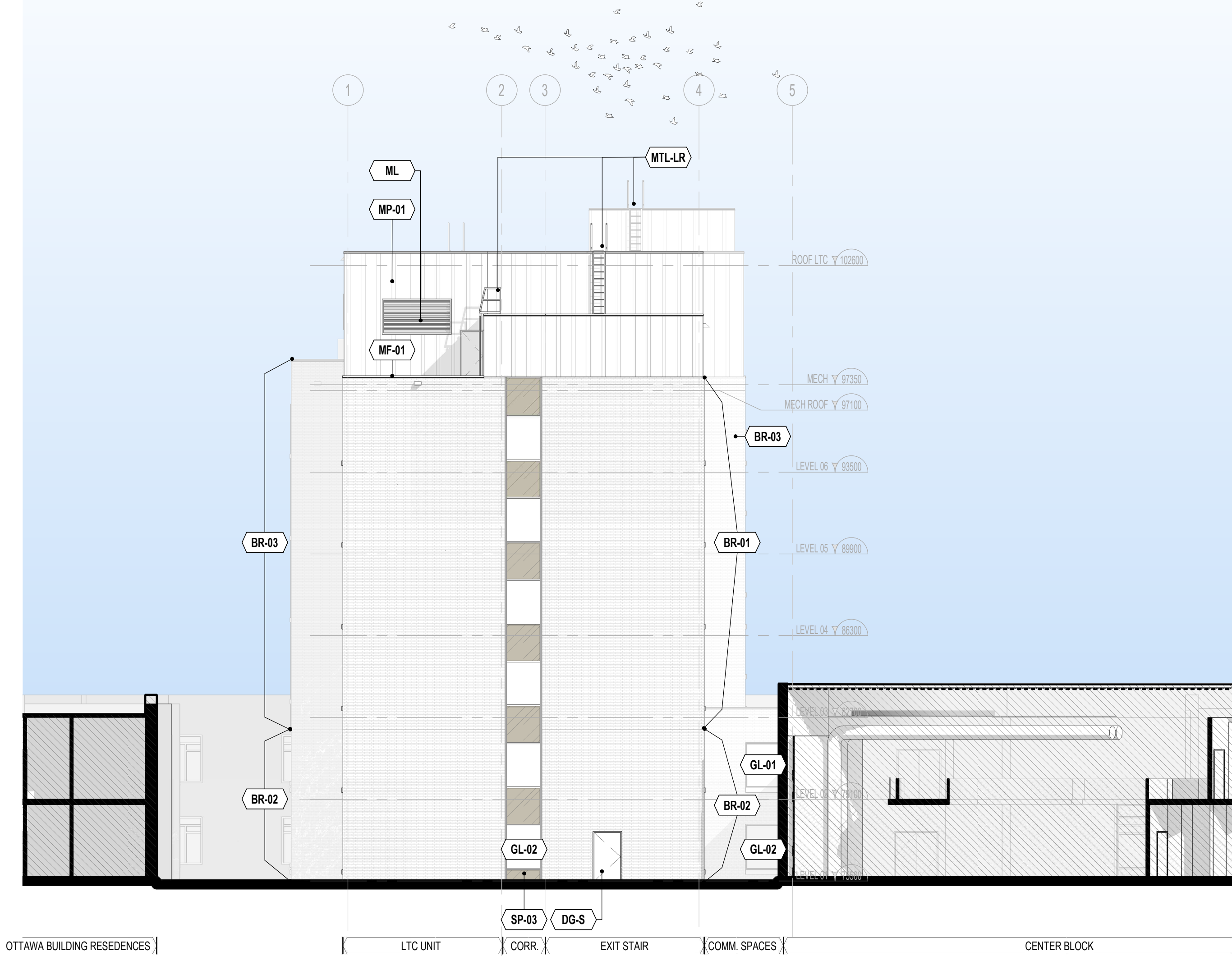
**DRAWING TITLE**  
**EXTERIOR ELEVATIONS SPA**  
 REVISION: **B**  
 DRAWING NUMBER: **A411**  
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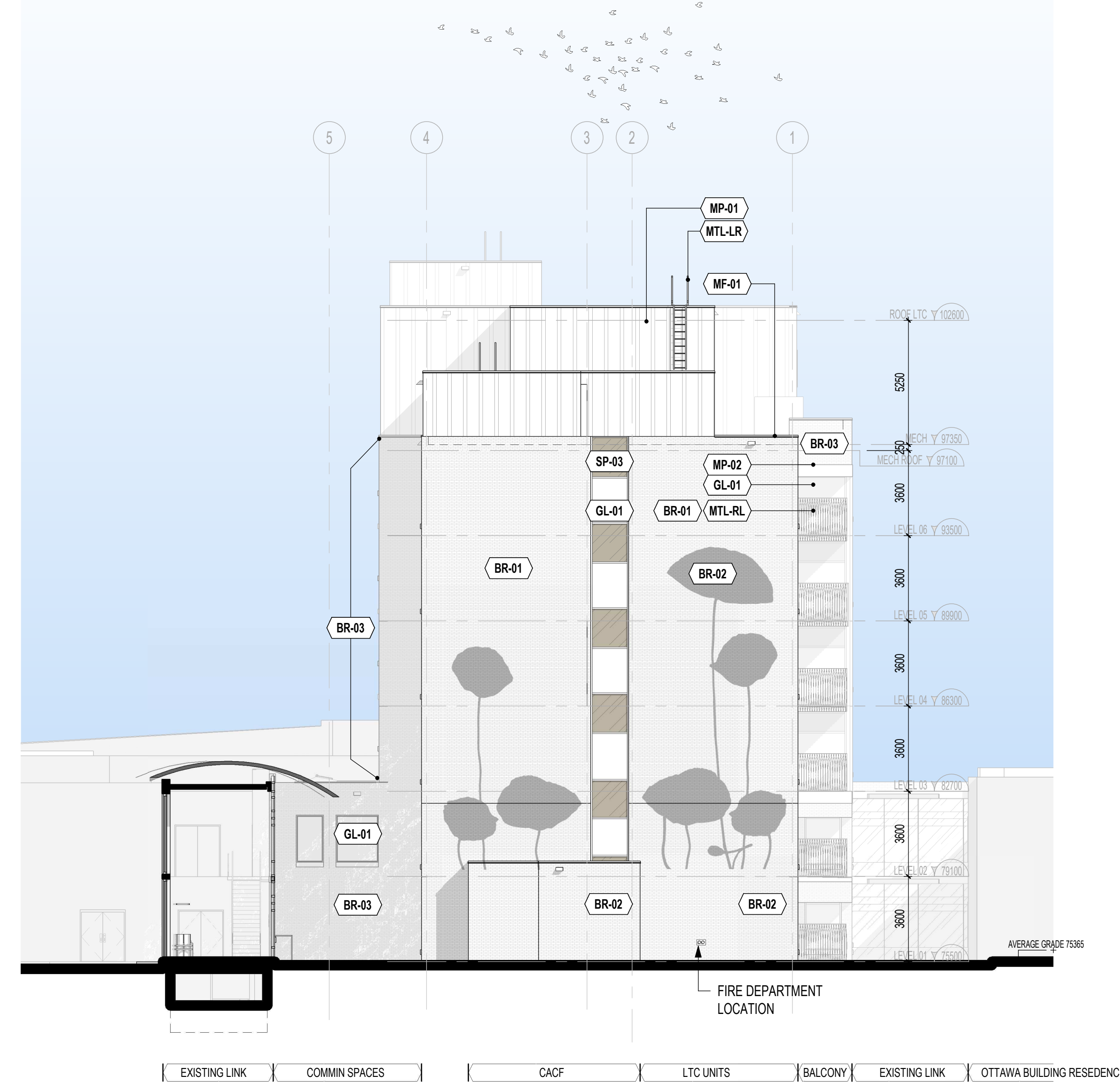
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By Allison Hamlin at 5:23 pm, Jun 10, 2026



LTC - ELEVATION EAST SPA  
ELEVATION  
1:150

1  
A412



LTC - ELEVATION WEST SPA  
ELEVATION  
1:150

2  
A412

MATERIALS LEGEND	
MP-01	PREFABRICATED METAL PANELS - GRAY VICWEST AD-300 PROFILE, 56161 CAMBRIDGE WHITE
MP-02	PREFABRICATED METAL PANELS - BROWN
MP-03	ALUMINIUM PANEL FOR SPANDREL PANEL IN CURTAIN WALL
MF-01	CAPPING/FLASHING - PARAPET

MATERIALS LEGEND CONT'D	
BR-01	BRICK FINISH - COLOUR: BROWN CANADA BRICK, HUDSON
BR-02	BRICK FINISH - COLOUR: VARIES (BROWN AND LIGHT BROWN) CANADA BRICK, CONESTOGA
BR-03	BRICK FINISH - COLOUR: BROWN PATTERNED CANADA BRICK, RUTHERFORD
BR-04	LIMESTONE MASONRY UNIT - COLOUR: SEPIA ARRISRAFT, ADAIR

MATERIALS LEGEND CONT'D	
GL-01	GLASS CLEAR - TYPICAL
GL-02	GLASS CLEAR - SAFETY
PC-S	PRECAST WINDOW SILL

MATERIALS LEGEND CONT'D	
SP-03	SPANDREL - (DARK BROWN GREY)
R-01	METAL GUARDRAIL (DARK BROWN GREY)
L-01	MECHANICAL LOUVRES, GREY

BUILDING ELEMENTS LEGEND			
DG-SW	EXTERIOR AUTOMATIC GLASS DOOR	S.S.	SUPPORT STRUCTURE (OPENINGS OVER 3000mm). STRUCTURAL STEEL HSS AND SHELF ANGLE ABOVE WINDOW (SEE STRUCTURAL ENGINEER FOR STRUCTURE TYPE, SIZE, SPACING, DIMENSIONS, LOCATIONS, ANCHORAGE ETC.)
DG-SG	EXTERIOR GLASS SWING DOOR		
DG-S	EXTERIOR METAL SOLID DOOR		
ML	MECHANICAL LOUVER		
MTL-RL	METAL RAILING		
MTL-LR	ROOF ACCESS LADDER		
L.L.	GALVANIZED STEEL LOOSE LINTEL		
S.A.	GALVANIZED STEEL SHELF ANGLE		
S.S.A.	GALVANIZED STEEL SUSPENDED SHELF ANGLE		
C.J.	CONTROL JOINT		
SC.	OVERFLOW SCUPPER		

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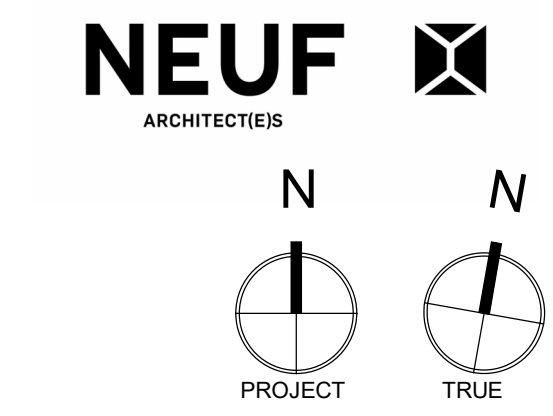
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SEAL



PROJECT  
**PERLEY HEALTH EXPANSION**  
LOCATION  
**1750 Russell Road  
Ottawa, ON K1G 5Z6**  
PROJECT No.  
**13330**

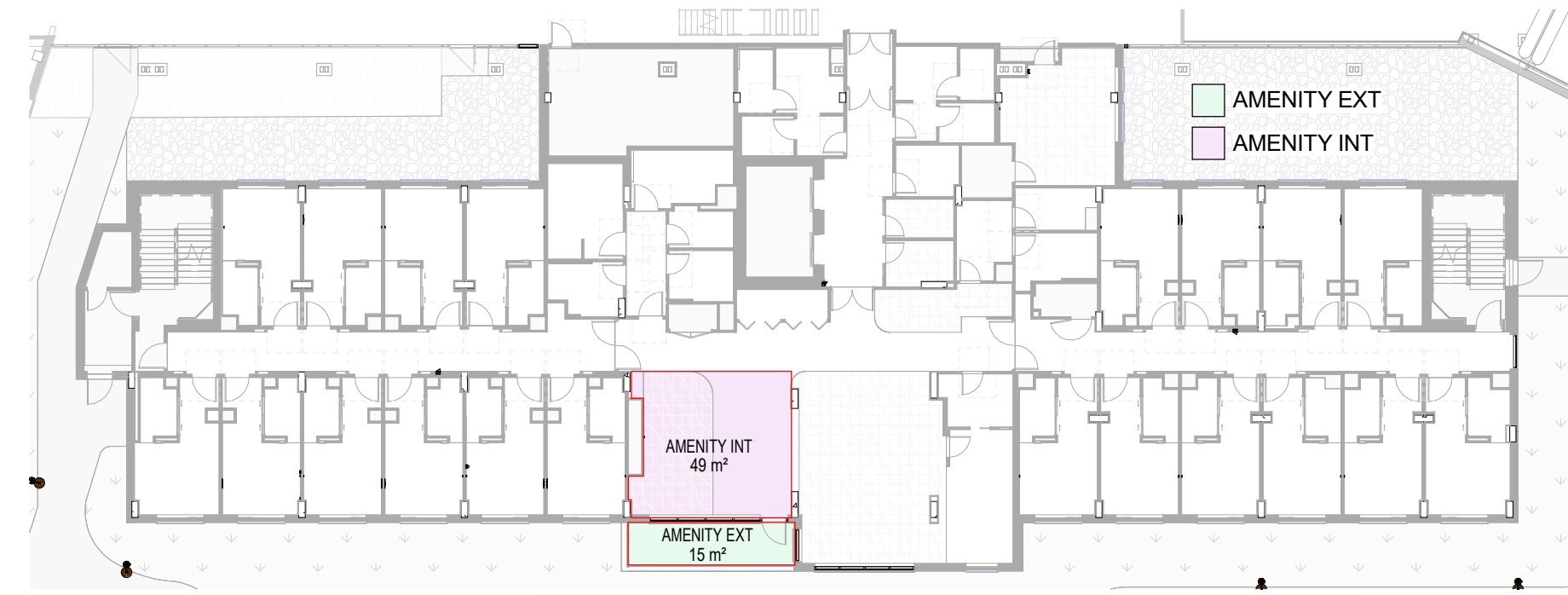
PROJECT NO. REVISION DATE (yyyy-mm-dd)  
A ISSUED FOR SITE PLAN APPLICATION 2026-02-09  
B ISSUED FOR SITE PLAN APPROVAL 2026-05-09

PROVISIONAL  
DO NOT USE FOR CONSTRUCTION

DRAWN BY: GG CHECKED BY: lk  
DATE (yyyy-mm-dd) 12/15/25 SCALE As indicated

DRAWING TITLE  
**EXTERIOR ELEVATIONS  
SPA**  
REVISION B DRAWING NUMBER A412  
#19458

Autodesk Docs://13330\_PERLEY HEALTH ALT\_R24/PRSLR\_13330\_ARC\_INT\_R24.rvt



AMENITY AREA PLAN - LEVEL 01  
PLAN

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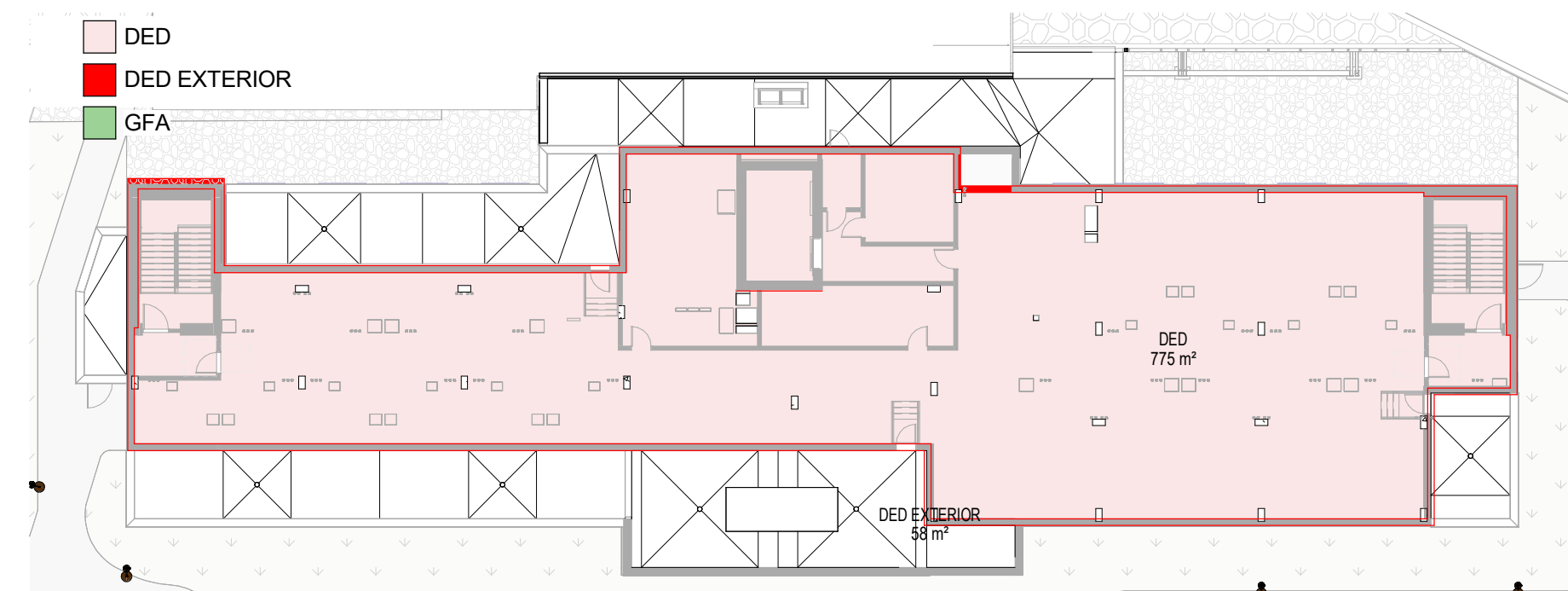
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GFA LTC - LEVEL 04  
PLAN

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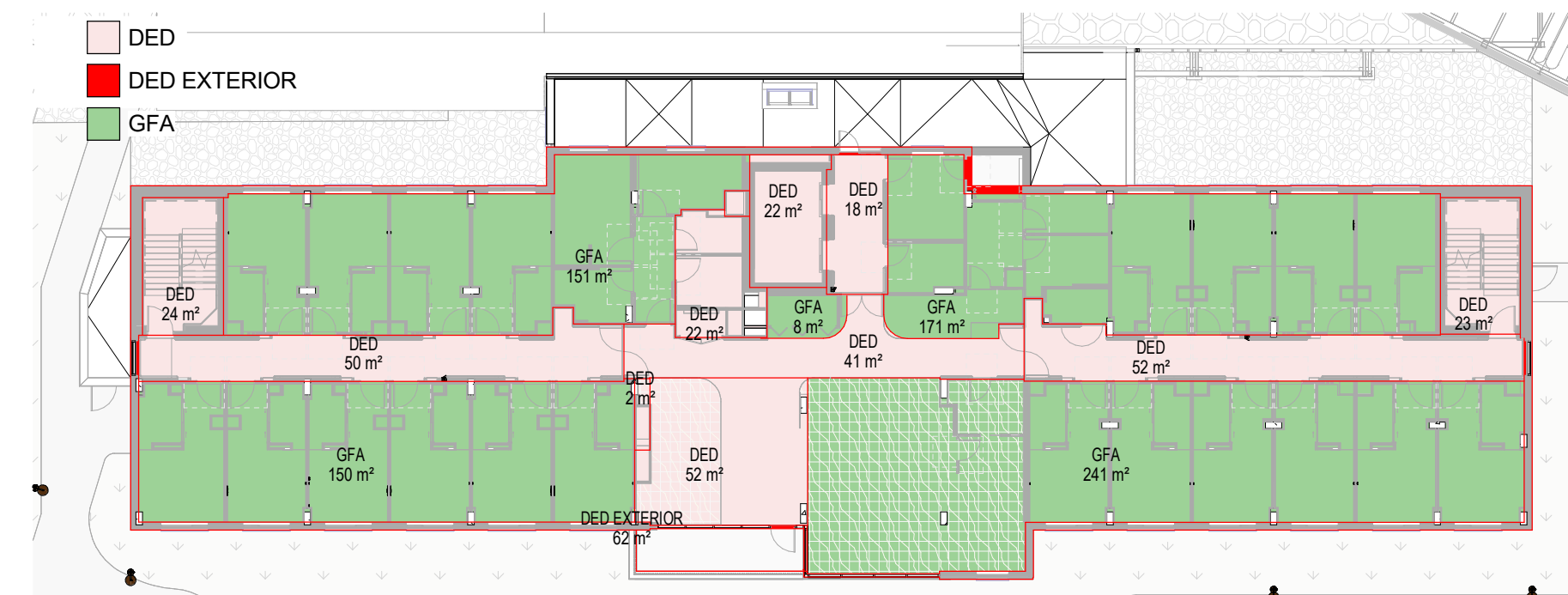
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GFA LTC - MECHANICAL LEVEL 07  
PLAN

1:300

7  
SK-041



GFA LTC - LEVEL 03  
PLAN

1:300

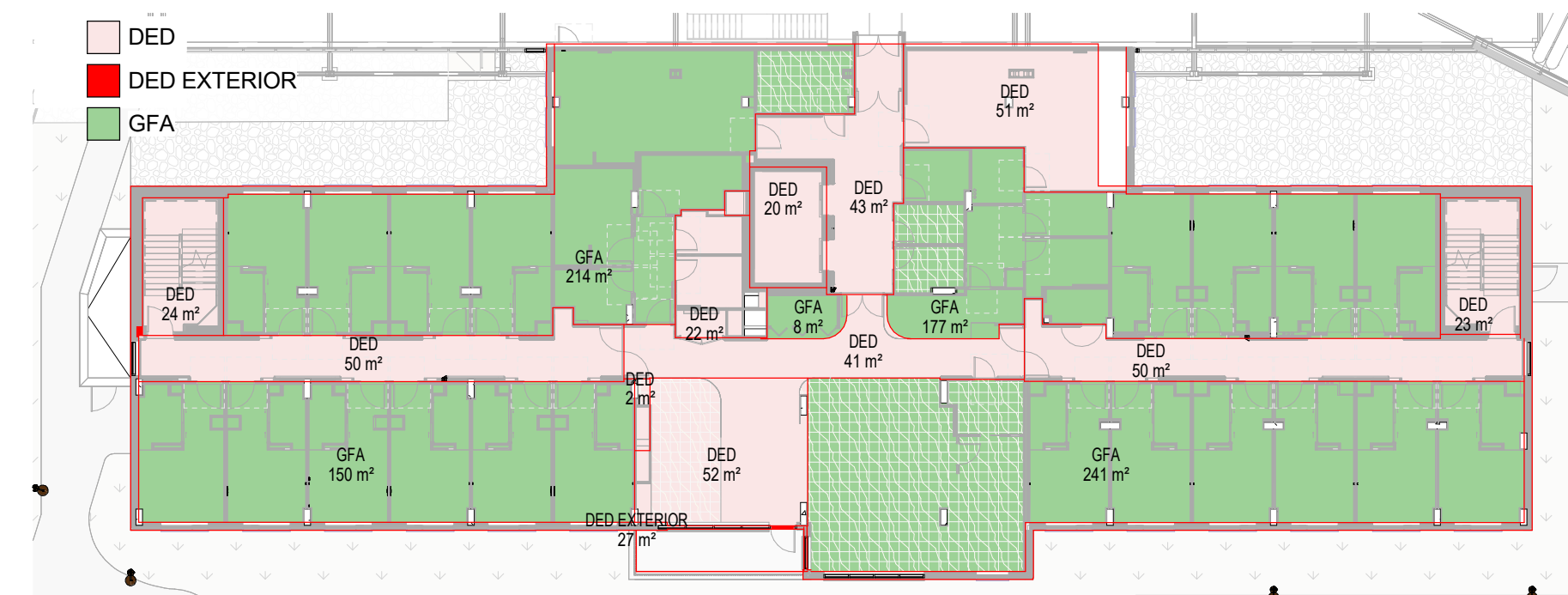
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GFA LTC - LEVEL 06  
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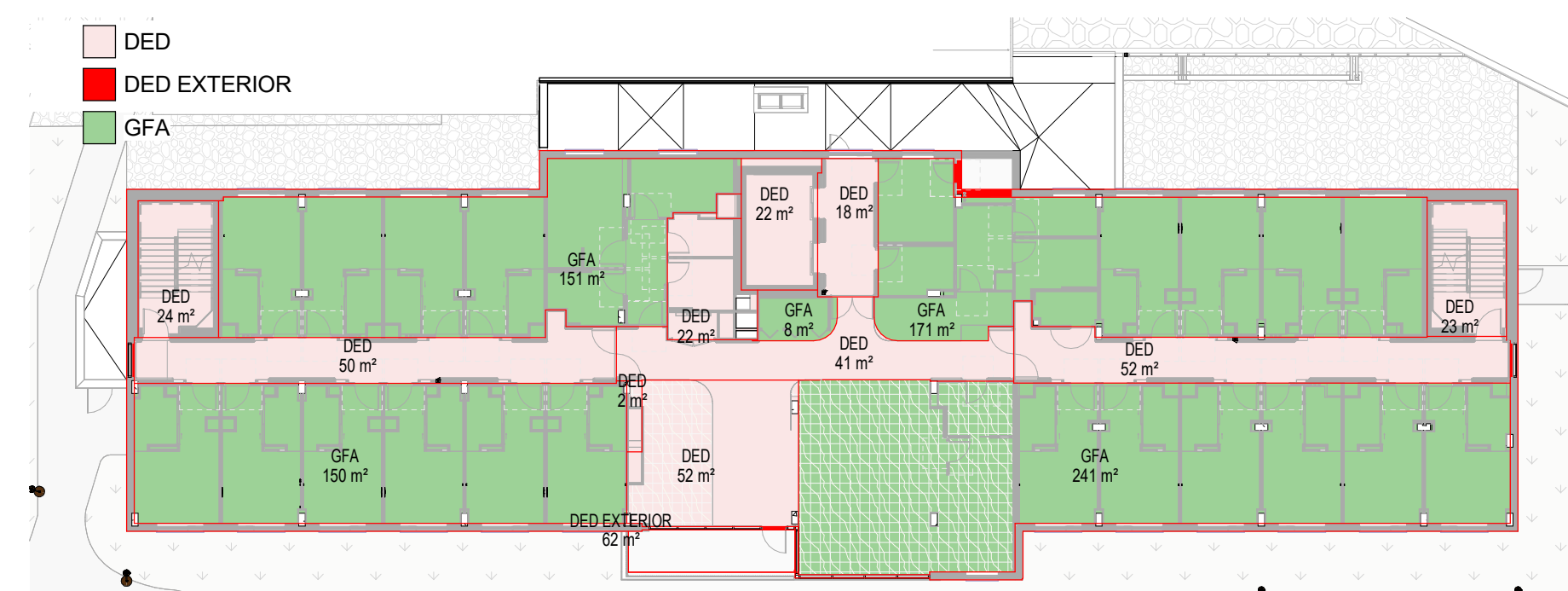
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GFA LTC - LEVEL 02  
PLAN

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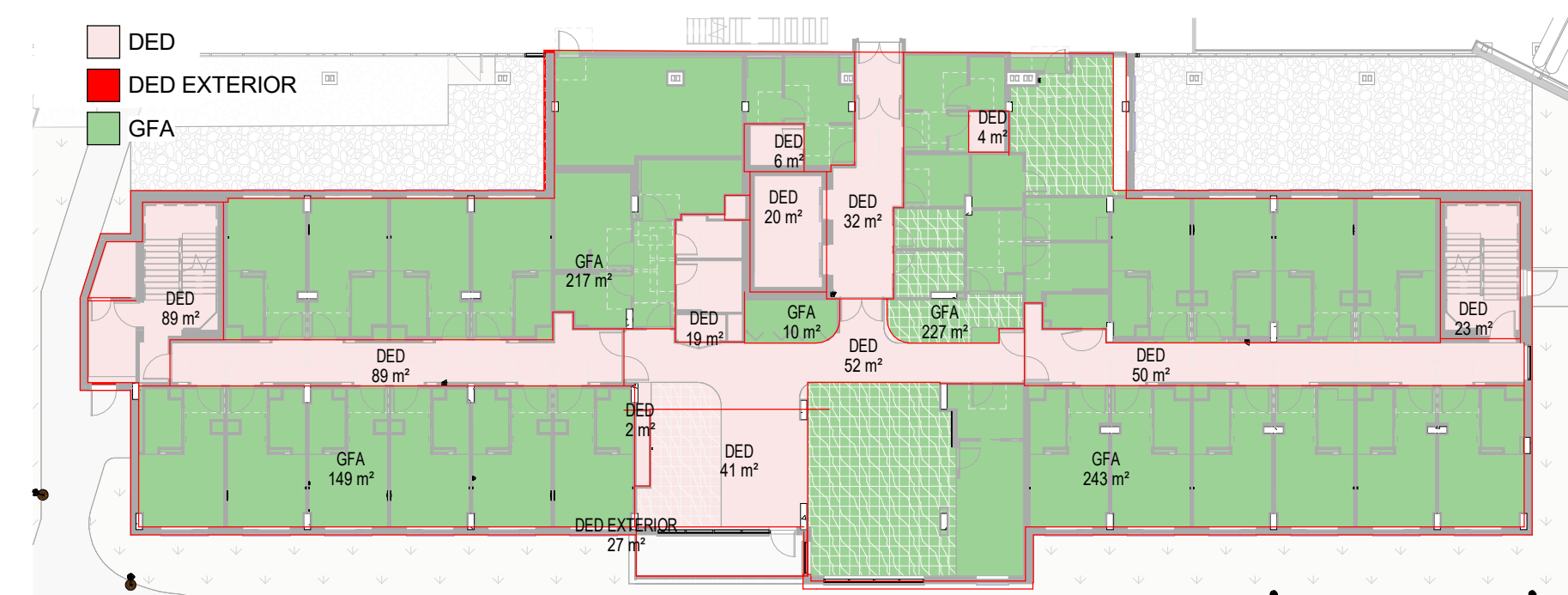
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GFA LTC - LEVEL 05  
PLAN

1:300

5  
SK-041



GFA LTC - LEVEL 01  
PLAN

1:300

1  
SK-041

ZONING BY-LAW 2008-250, OTTAWA, ONTARIO

Definitions (Section 54)

- GROSS FLOOR AREA** means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:
- (a) floor area occupied by shared mechanical, service and electrical equipment that serve the building (By-law 2008-326);
  - (b) common hallways, corridors, stairwells, elevator shafts and other voids, steps and landings (By-law 2008-326) (By-law 2017-302);
  - (c) bicycle parking, motor vehicle parking or loading facilities;
  - (d) common laundry, storage and washroom facilities that serve the building or tenants;
  - (e) common storage areas that are accessory to the principal use of the building; (By-law 2008-326)
  - (f) common amenity area and play areas accessory to a principal use on the lot; and (By-law 2008-326)
  - (g) living quarters for a caretaker of the building. (surface de plancher hors oeuvre brute)

GFA LTC ADDITION ZONING BY-LAW 2008-250 CONSTRUCTION GFA

LEVEL	FLOOR AREA, m²	DEDUCTIONS, m²	GFA, m²	EXTERIOR WALL, m²	CGFA TOTAL, m²
LEVEL 1	1,186 m²	339 m²	846 m²	27 m²	1,213 m²
LEVEL 2	1,169 m²	380 m²	789 m²	27 m²	1,196 m²
LEVEL 3	1,029 m²	308 m²	721 m²	62 m²	1,091 m²
LEVEL 4	1,029 m²	316 m²	713 m²	62 m²	1,091 m²
LEVEL 5	1,029 m²	308 m²	721 m²	62 m²	1,091 m²
LEVEL 6	1,029 m²	309 m²	720 m²	61 m²	1,091 m²
LEVEL 7	775 m²	775 m²	0 m²	58 m²	833 m²
TOTAL	7,246 m²	2,736 m²	4,511 m²	359 m²	7,605 m²

AMENITY AREA SCHEDULE

Name	Area
<b>LEVEL 01</b>	
AMENITY EXT	15 m²
AMENITY INT	49 m²
	64 m²
<b>LEVEL 02</b>	
AMENITY EXT	15 m²
AMENITY INT	49 m²
	65 m²
<b>LEVEL 03</b>	
AMENITY EXT	15 m²
AMENITY INT	49 m²
	65 m²
<b>LEVEL 04</b>	
AMENITY EXT	15 m²
AMENITY INT	49 m²
	65 m²
<b>LEVEL 05</b>	
AMENITY EXT	15 m²
AMENITY INT	49 m²
	65 m²
<b>LEVEL 06</b>	
AMENITY EXT	15 m²
AMENITY INT	49 m²
	65 m²
	389 m²

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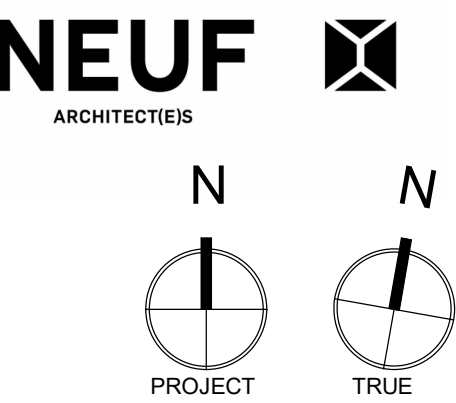
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SEAL



*Allison Hamlin*

**ALLISON HAMLIN**  
MANAGER, DEVELOPMENT REVIEW ALL WARDS  
PLANNING, DEVELOPMENT & BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Allison Hamlin at 5:23 pm, Jun 10, 2026

PROJECT

**PERLEY HEALTH EXPANSION**

LOCATION PROJECT No.  
**1750 Russell Road 13330**  
Ottawa, ON K1G 5Z6

PROJECT NO	REVISION	DATE (yyyy-mm-dd)
A	ISSUED FOR SITE PLAN APPLICATION	2026-02-09
B	ISSUED FOR SITE PLAN APPROVAL	2026-05-09

REVISION	DRAWING NUMBER
<b>B</b>	<b>SK-041</b>

DRAWN BY: Author CHECKED BY: LK  
DATE (yyyy-mm-dd) 2024-01-08 SCALE As indicated

DRAWING TITLE  
**GFA DIAGRAMS (ZONING)**

REVISION DRAWING NUMBER  
**B SK-041**  
#19458