



**LAWRENCE ARCHITECTS**

ARCHITECTURAL SHEET LIST

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# Russell Development

71 RUSSELL AVE

ISSUED FOR SPA RESPONSE 2

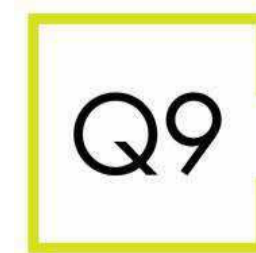
2026.05.28

ARCHITECTURAL



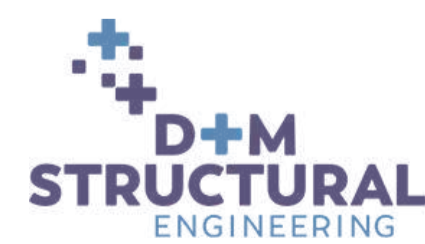
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PLANNING



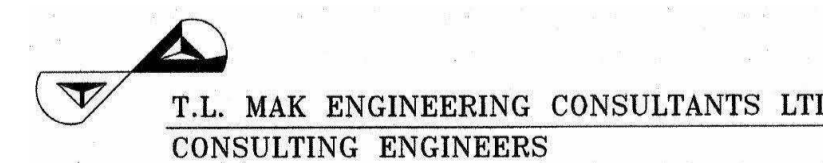
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LANDSCAPE



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MECHANICAL / ELECTRICAL



GOODKEY, WEEDMARK & ASSOCIATES LTD. (GWA)  
1688 WOODWARD DR.  
OTTAWA, ON K2C 3R8  
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**GENERAL NOTES**

- ALL WALLS TO BE CONTINUOUS FROM FLOOR TO US OF FLOOR/TRUSS OR FIRE RATED GYPSUM CEILING UNO.
- ALL INTERIOR CORRIDORS AND DEMISING WALLS BETWEEN SUITES TO BE TYPE I-2 UNO.
- REPLACE GYPSUM BOARD WITH TILE BACKER IN AL AREAS HAVING CERAMIC TILE WALL FINISH. ENSURE LISTED FIRE RATINGS ARE MAINTAINED.
- INTERIOR STUD WALLS PROVIDE TWO ROWS OF CONTINUOUS ACoustIC CAULKING AT STUD TOP & BOTTOM PLATE.
- PIECEMEAL GYPSUM BOARD SHEETS IS NOT ACCEPTABLE.
- JOINTS OF LAYERED GYPSUM BOARD SHOULD BE STAGGERED.
- CAULK AT TOP AND BOTTOM OF WALLS AT EDGE OF GYPSUM BOARD PANELS.
- ELECTRICAL AND DEVICE BOXES ON OPPOSING FACES OF WALL SHALL BE LOCATED IN SEPARATE STUD CAVITIES.
- RUN FIBERGLASS BATT/MINERAL WOOL (REFER TO WALL TYPE) INSULATION BEHIND AND AROUND ALL ELECTRICAL BOXES. NO BACK TO BACK ELECTRICAL BOXES.
- BACKING TO BE PROVIDED AT ALL MILLWORK LOCATIONS, COORDINATE ON SITE.
- SEAL ALL PENETRATIONS THROUGH ACoustIC RATED WALLS (PARTY WALLS) TIGHT WITH A COMBINATION OF JOINT COMPOUND AND ACoustIC CAULK.
- SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS (PARTY WALLS, ECT) TIGHT WITH A COMBINATION OF JOINT COMPOUND AND FIRE CAULK TO ENSURE A CONTINUOUS FIRE RATING. PROVIDE TESTED ASSEMBLIES FOR ALL FIRE STOPPING.
- PROVIDE WOOD BLOCKING WITH WALL TO PROVIDE ANCHORAGE FOR CABINETS, WASHROOM ACCESSORIES, HAND RAILINGS, ECT. BLOCKING SHALL NOT LINK BOTH SIDES OF A WALL. PLYWOOD MAY BE USED AS BLOCKING ON THE INNER LAYER OF DOUBLE LAYER WALL ASSEMBLIES. 18GA METAL STRIPS IN 1/4" WIDTH & CONTINUOUS THROUGHOUT LENGTH OF BLOCKING REQUIREMENT MAY ALSO BE USED.
- PROVIDE 3/4" FIRE-RATED TREATED PLYWOOD, GOOD ONE SIDE WITH FIRE RETARDANT PAINT, FOR MOUNTING OF ALL ELECTRICAL PANELS, CABLING, COMMUNICATION BELL, AND SECURITY PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
- THICKEN WALLS AS REQUIRED TO ACCOMMODATE ELECTRICAL PANELS & MECHANICAL ITEMS. CONTRACTOR TO CHECK CODE COMPLIANCE WITH ARCHITECT BEFORE SITE WORK BEGINS.
- FOR ASSEMBLIES REQUIRING TO CONFORM TO A LISTED UL/CUL RATING, MATERIALS WITHIN ASSEMBLY SHALL BE EXACTLY AS PER THE TESTED ASSEMBLY. ALL MATERIAL SHALL BE LABELED WITH FULL IDENTIFICATION.
- ALL ELECTRICAL SWITCHES ARE TO BE LOCATED BETWEEN 4" FROM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO ACCOMMODATE THE LOCATION OF SWITCHES SHOWN ON ELECTRICAL DRAWINGS AND SUIT THE APPROVED SUIE MOCK-UP.
- PROVIDE SCUPPERS AT EDGES OF ROOF WHERE OVER FLOW CONTROL ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH ARCHITECT.
- ALL FIRE DAMPER INSTALLATION TO BE PER MANUFACTURER INSTRUCTIONS - HVAC CONTRACTOR TO COORDINATE ON SITE WITH DRYWALL FRAMING CONTRACTOR TO ENSURE INSTALLATION INSTRUCTIONS ARE FOLLOWED EXACTLY AND ACCESS DOORS ARE PROVIDED.
- ANY WASHROOM WALLS ADJACENT TO LIVING SPACES/PUBLIC AREAS ARE TO HAVE SOUND ATTENUATING BATT INSULATION (UL C APPROVED) IF REQUIRED, IN THE STUD CAVITIES (TO FILL CAVITY).
- ALL GYPSUM BOARD IS TO EXTEND TO FULL HEIGHT OF PARTITION UNO.
- INTERIOR DOORS TO BE INSTALLED 4" FROM ADJACENT WALL UNO.

**LIST OF ABBREVIATIONS:**

ACT	ACUSTIC CEILING TILE ABOVE FINISH FLOOR
ALUM	ALUMINUM
EXM	ACCESS PANEL
ARCH	ARCHITECTURAL ASSEMBLY
ASBY	BOARD
BD	BUILDING GRADE
BLDG	BUILDING
CB	CATCH BASIN
CC	CENTER TO CENTER
CCJ	CONTROL JOINT
CL	CENTER LINE
CJ	CEILING
CLR	CLEAR
CLM	COLUMN
CONC	CONCRETE
CPT	CARPET
CR	CARD READER
CT	CERAMIC TILE
CW	CURTAIN WALL
CM	COMPLETE WITH DIMENSION
DM	HANDICAP DOOR
EL	ELEVATOR
ELEC	ELECTRICAL
ELEV	ELEVATION
EIFS	EXTERIOR INSULATED & FINISH SYSTEM
EQ	EQUAL
ES	EMERGENCY SCUPPER
EXP	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FHC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FL	FLOOR
FR	FIRE RESISTANCE RATING
GL	GLASS GLAZING
GB	GRAB BAR
GYP	GYPSUM WALLBOARD
HM	HOLLOW METAL
HWT	HOT WATER TANK
INT	INTERIOR
JT	JOINT
LTO	LIGHTING
MAX	MAXIMUM
MECH	MECHANICAL
MC	MEDICINE CABINET
MIN	MINIMUM
NBC	NATIONAL BUILDING CODE NUMBER
NTS	NOT TO SCALE
OC	ONTARIO BUILDING CODE ON CENTER
OC	OVERHEAD
PT	PRESSURE TREATED PLASTIC LAMINATE
PLM	PRESSURE TREATED POLY VINYL CHLORIDE REFLECTED CEILING PLAN
RD	ROOF DRAIN
REIN	REINFORCED
RENF	REQUIRED
RWL	RAIN WATER LEADER
SH	SHOWER
SS	STAINLESS STEEL
TOP	TOP OF
TYP	TYPICAL
US	UNDERSIDE
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE
WC	WATER CLOSET

**ANNOTATION LEGEND**

	SECTION CUT
	DRAWING NUMBER
	ROOM NUMBER
	ROOM TAG
	Room name xxyy FLOOR FINISH
	DOOR TAG
	DOOR NUMBER
	WINDOW TAG
	(B) BASEMENT (W) WINDOW No. (M) MAIN FLOOR (2) SECOND FLOOR (T) THIRD FLOOR
	CONSTRUCTION ASSEMBLY
	POINT ELEVATION TAG
	ELEVATION HEIGHT
	ELEVATION TAG
	ELEVATION NAME
	REVISION
	REVISION LOCATION AND NUMBER
	GRID TAG
	GRID NUMBER
	CALLOUT TAG
	DRAWING NUMBER
	SHEET NUMBER

**EXTERIOR WALL ASSEMBLIES**

TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
EW102/456/78*		LOAD-BEARING RATED EXTERIOR WALL (SIDES & REAR)	1HR	OCB SB-2 TABLES 2.3.4.A & 2.3.4.E			
EW1		<ul style="list-style-type: none"> <li>SAME AS EW1 (EW2/EW3/EW4/EW5/EW6/EW7/EW8)</li> <li>REPLACE 5/8" GYPSUM BOARD WITH 5/8" TYPE X GYPSUM WALL BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	BRICK TIES TO BE DESIGNED AND DETAILED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, TO ACCOMMODATE UP TO 1" OF DIFFERENTIAL MOVEMENT.
EW2		<ul style="list-style-type: none"> <li>3-1/2" MASONRY VENEER. REFER TO ELEVATIONS FOR TYPE (COLOUR &amp; PROFILE TBD BY OWNER) CW TIES (INCL. INSULATION SUPPORT) &amp; WEEP HOLES @ 2" O.C.</li> <li>1" AIR SPACE &amp; MASONRY CAVITY MESH</li> <li>2" RIGID INSULATION (R-10 CI)</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	BRICK TIES TO BE DESIGNED AND DETAILED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, TO ACCOMMODATE UP TO 1" OF DIFFERENTIAL MOVEMENT.
EW3		<ul style="list-style-type: none"> <li>LOAD-BEARING EXTERIOR WALL - COMPOSITE PANEL</li> <li>COMPOSITE PANEL (COLOUR &amp; PROFILE TBD BY OWNER), INSTALL AS PER MANUFACTURER INSTRUCTIONS.</li> <li>THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER</li> <li>2" RIGID INSULATION (R-10 CI) CW 2" HORIZONTAL Z-GIRT</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	
EW4		<ul style="list-style-type: none"> <li>LOAD-BEARING EXTERIOR WALL - HARDIE SIDING (HORIZONTAL)</li> <li>HARDIE HORIZONTAL SIDING (COLOUR &amp; PROFILE TBD BY OWNER), INSTALL AS PER MANUFACTURER INSTRUCTIONS.</li> <li>THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER</li> <li>2" RIGID INSULATION (R-10 CI) CW 2" HORIZONTAL Z-GIRT</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	
EW5		<ul style="list-style-type: none"> <li>NON-LOAD-BEARING EXTERIOR WALL</li> <li>3-1/2" MASONRY VENEER. REFER TO ELEVATIONS FOR TYPE (COLOUR &amp; PROFILE TBD BY OWNER) CW TIES (INCL. INSULATION SUPPORT) &amp; WEEP HOLES @ 2" O.C.</li> <li>1" AIR SPACE &amp; MASONRY CAVITY MESH</li> <li>2" RIGID INSULATION (R-10 CI)</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	MOVEMENT JOINTS AROUND ANY PENETRATION THROUGH THE BRICK CLADDING (IE. WINDOWS / DOORS) TO BE DESIGNED TO ACCOMMODATE UP TO 1" OF DIFFERENTIAL MOVEMENT.
EW6		<ul style="list-style-type: none"> <li>NON-LOAD-BEARING EXTERIOR WALL</li> <li>3-1/2" STONE. REFER TO ELEVATIONS FOR TYPE (COLOUR &amp; PROFILE TBD BY OWNER) CW TIES (INCL. INSULATION SUPPORT) &amp; WEEP HOLES @ 2" O.C.</li> <li>1" AIR SPACE &amp; MASONRY CAVITY MESH</li> <li>2" RIGID INSULATION (R-10 CI)</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	BRICK TIES TO BE DESIGNED AND DETAILED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, TO ACCOMMODATE UP TO 1" OF DIFFERENTIAL MOVEMENT.
EW7		<ul style="list-style-type: none"> <li>NON-LOAD-BEARING EXTERIOR WALL</li> <li>COMPOSITE PANEL (COLOUR &amp; PROFILE TBD BY OWNER), INSTALL AS PER MANUFACTURER INSTRUCTIONS.</li> <li>THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER</li> <li>2" RIGID INSULATION (R-10 CI) CW 2" HORIZONTAL Z-GIRT</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	
EW8		<ul style="list-style-type: none"> <li>NON-LOAD-BEARING EXTERIOR WALL</li> <li>HARDIE HORIZONTAL SIDING (COLOUR &amp; PROFILE TBD BY OWNER), INSTALL AS PER MANUFACTURER INSTRUCTIONS.</li> <li>THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER</li> <li>2" RIGID INSULATION (R-10 CI) CW 2" HORIZONTAL Z-GIRT</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	
EW9		<ul style="list-style-type: none"> <li>EXTERIOR STONE WALL (CONCRETE STRUCTURAL WALL)</li> <li>3-1/2" STONE. REFER TO ELEVATIONS FOR TYPE (COLOUR &amp; PROFILE TBD BY OWNER) CW TIES (INCL. INSULATION SUPPORT) &amp; WEEP HOLES @ 2" O.C.</li> <li>1" AIR SPACE &amp; MASONRY CAVITY MESH</li> <li>2" RIGID INSULATION (R-10 CI)</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	BRICK TIES TO BE DESIGNED AND DETAILED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, TO ACCOMMODATE UP TO 1" OF DIFFERENTIAL MOVEMENT.
EW10		<ul style="list-style-type: none"> <li>EXTERIOR COMPOSITE WALL (CONCRETE STRUCTURAL WALL)</li> <li>COMPOSITE PANEL (COLOUR &amp; PROFILE TBD BY OWNER), INSTALL AS PER MANUFACTURER INSTRUCTIONS.</li> <li>THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER</li> <li>2" RIGID INSULATION (R-10 CI) CW 2" HORIZONTAL Z-GIRT</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R20 CLOSED CELL SPRAY FOAM INSULATION FILLING STUD CAVITY AND AIR SPACE BEYOND</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	BRICK TIES TO BE DESIGNED AND DETAILED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, TO ACCOMMODATE UP TO 1" OF DIFFERENTIAL MOVEMENT.
EW11		<ul style="list-style-type: none"> <li>LOAD-BEARING EXTERIOR WALL - HARDIE SIDING (HORIZONTAL)</li> <li>HARDIE HORIZONTAL SIDING (COLOUR &amp; PROFILE TBD BY OWNER), INSTALL AS PER MANUFACTURER INSTRUCTIONS.</li> <li>THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER</li> <li>2" RIGID INSULATION (R-10 CI) CW 2" HORIZONTAL Z-GIRT</li> <li>VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE - ALL JOINTS SEALED.</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6" WOOD STUDS @ 16" O.C. CW MIN. R-22 BATT INSULATION</li> <li>8ML POLY VAPOUR BARRIER (LAP &amp; SEAL ALL JOINTS)</li> <li>(2) 5/8" TYPE X GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	

**CEILING ASSEMBLIES**

TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
C1		SUSPENDED GYPSUM CEILING (BULKHEAD)	--	--	--	--	1/2" RESILIENT CHANNEL @ 24" O.C. 1/2" GYPSUM BOARD (TAPED, SANDED & PAINT).

**ROOF ASSEMBLIES**

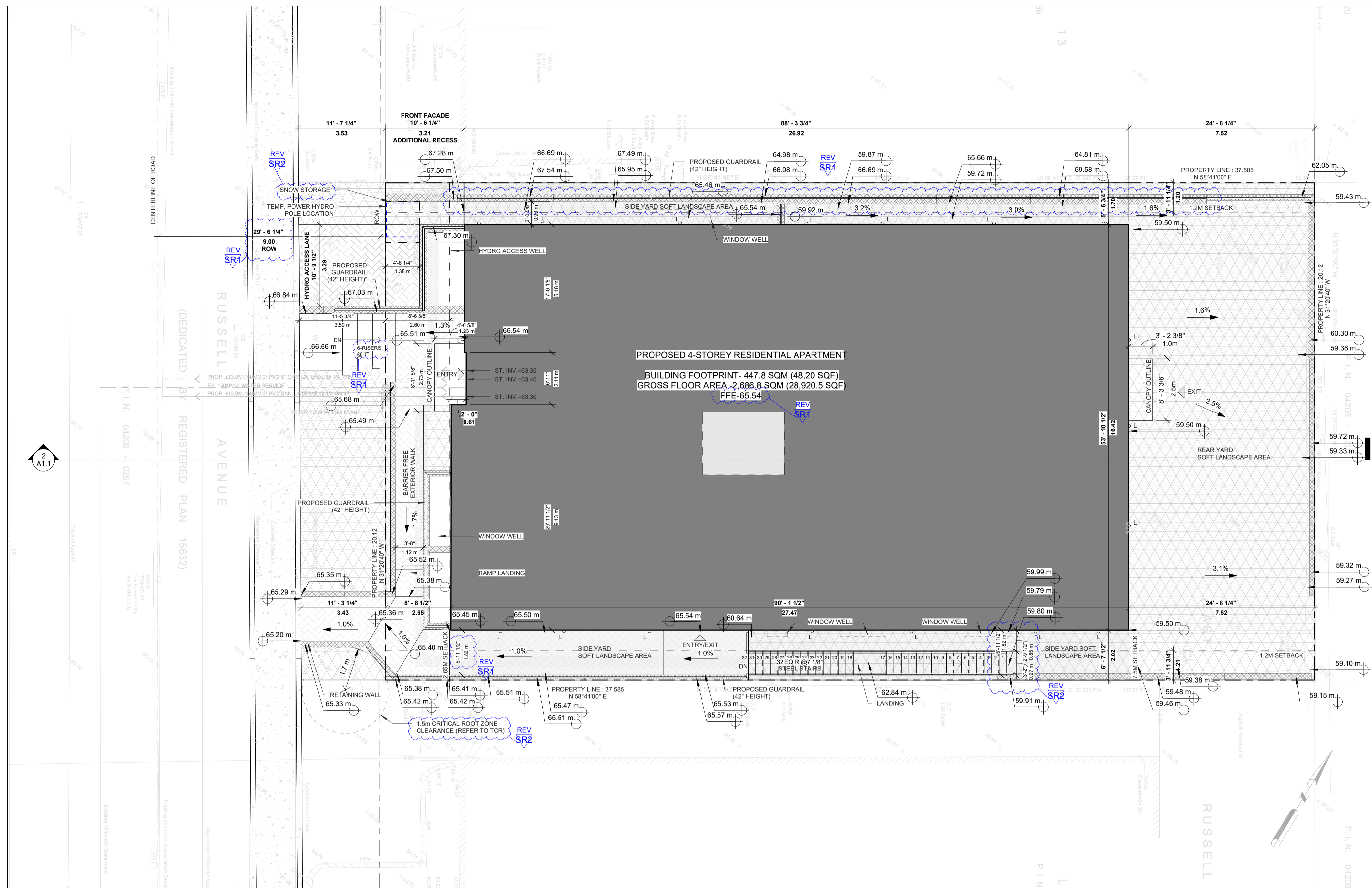
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES	
R1		<ul style="list-style-type: none"> <li>FLAT ROOF ASSEMBLY</li> <li>2 PLY MOD BIT ROOFING MEMBRANE (INSTALLATION AS PER MANUFACTURER SPECS)</li> <li>SLOPED RIGID INSULATION SLOPE MIN. 2% TO ROOF DRAINS AND/OR SCUPPERS. SEE ROOF PLAN &amp; MECH. DWGS FOR SLOPE DIRECTION AND DRAIN LOCATIONS.</li> <li>MIN. 2" (R10) CONTINUOUS RIGID INSULATION.</li> <li>SELF ADHESIVE AIRWEATHER BARRIER - ALL JOINTS SEALED</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>JOISTS AS PER STRUCTURE CW CLOSED CELL SPRAY FOAM INSULATION (R3).</li> <li>1/2" RESILIENT CHANNEL @ 16" O.C. MAX.</li> <li>5/8" TYPE X GYPSUM BOARD</li> <li>5/8" TYPE X GYPSUM BOARD (TAPED, SANDED &amp; PAINT).</li> </ul>	1HR	--	--	--	--	REFER TO ENERGY MODEL
R2		<ul style="list-style-type: none"> <li>FLAT ROOF ASSEMBLY (CANOPY)</li> <li>2 PLY MOD BIT ROOFING MEMBRANE (INSTALLATION AS PER MANUFACTURER SPECS)</li> <li>1/2" MEMBRANE UNDERLAYMENT</li> <li>SLOPED RIGID INSULATION SLOPE MIN. 2% TO ROOF DRAINS AND/OR SCUPPERS. SEE ROOF PLAN &amp; MECH. DWGS FOR SLOPE DIRECTION AND DRAIN LOCATIONS.</li> <li>MIN. 2" (R10) CONTINUOUS RIGID INSULATION.</li> <li>SELF ADHESIVE AIRWEATHER BARRIER - ALL JOINTS SEALED</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>JOISTS AS PER STRUCTURE</li> <li>PRE-FINISHED METAL SOFFIT CW MATCHING J-TRIMS</li> </ul>	--	--	--	--	--	
R3		<ul style="list-style-type: none"> <li>CONCRETE ROOF ASSEMBLY (CANOPY)</li> <li>CONCRETE SLAB AS PER STRUCTURE</li> <li>1" GALVANIZED HOT CHANNEL</li> <li>PRE-FINISHED METAL SOFFIT CW MATCHING J-TRIMS</li> </ul>	--	--	--	--		
R4		<ul style="list-style-type: none"> <li>SHED ROOF ASSEMBLY (BOG HOUSE)</li> <li>2 PLY MOD BIT ROOFING MEMBRANE (INSTALLATION AS PER MANUFACTURER SPECS)</li> <li>1/2" MEMBRANE UNDERLAYMENT</li> <li>SELF ADHESIVE AIRWEATHER BARRIER - ALL JOINTS SEALED</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>2x6 RAFTERS CW SPRAY FOAM INSULATION (R3).</li> <li>PRE-FINISHED METAL SOFFIT CW MATCHING J-TRIMS</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	ROOF = R-35	

**FLOOR ASSEMBLIES**

TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
FL1		<ul style="list-style-type: none"> <li>SLAB-ON-GRADE</li> <li>FLOOR FINISH (TBD BY OWNER)</li> <li>REFER TO STRUCTURAL DWGS</li> <li>6ML REINFORCED POLY VAPOUR BARRIER</li> <li>5/8" EXTERIOR GRADE SHEATHING</li> <li>8" COMPACTED GRANULAR FILL CW US DRAINAGE</li> <li>UNDISTURBED SOIL OR COMPACTED FILL. REFER TO GEO-TECHNICAL REPORT</li> </ul>	--	--	SB-10, ZONE 6, TABLE SB 5.5-6-2017 (I-P)	--	
FL2		<ul style="list-style-type: none"> <li>RATED TYP. SECOND AND THIRD FLOOR</li> <li>FINISH FLOOR - (TBD BY CLIENT)</li> <li>5/8" TAG PLYWOOD SUBFLOOR (GLUED &amp; SCREWED)</li> <li>14" PRE-ENG FLOOR JOISTS (REFER TO MANUFACTURER SHOP DWGS)</li> <li>1/2" RESILIENT CHANNEL @ 16" O.C. MAX.</li> <li>5/8" TYPE X GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	1HR	--	UL BXIV L570 SYSTEM 2	59	PROVIDE CLOSED CELL SPRAY FOAM INSULATION @ PERIMETER OF FLOOR/STUDS EXTERIOR WALL. R-VALUE TO MATCH EXTERIOR WALL ASSEMBLY
FL3		<ul style="list-style-type: none"> <li>RATED CONCRETE FLOOR ASSEMBLY</li> <li>FLOOR FINISH (TBD BY OWNER)</li> <li>CONCRETE SLAB - FOR REINFORCING DETAILS REFER TO STRUCTURAL DWGS</li> <li>CEILING ASSEMBLY</li> </ul>	1HR	--	--	--	

**INTERIOR PARTITION ASSEMBLIES**

TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
P1		<ul style="list-style-type: none"> <li>TYP. NON-RATED PARTITION (STRUCTURAL WALL)</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>PLYWOOD SHEATHING AS PER STRUCTURE</li> <li>2x6 WOOD STUDS @ 16" O.C.</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P1a		<ul style="list-style-type: none"> <li>TYP. NON-RATED PARTITION (NON-LOADBEARING)</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>4" STEEL STUDS @ 16" O.C.</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	--	--	
P1b		<ul style="list-style-type: none"> <li>TYP. NON-RATED PARTITION (NON-LOADBEARING)</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>6" STEEL STUDS @ 16" O.C.</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	--	--	
P2		<ul style="list-style-type: none"> <li>TYP. NON-RATED INSULATED PARTITION (STRUCTURAL WALL)</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>PLYWOOD SHEATHING AS PER STRUCTURE</li> <li>2x6 WOOD STUDS @ 16" O.C. CW FIBERGLASS BATT INSULATION</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P2a		<ul style="list-style-type: none"> <li>TYP. NON-RATED INSULATED PARTITION</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>4" STEEL STUDS @ 16" O.C. CW FIBERGLASS BATT INSULATION</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	--	--	PROVIDE SOUND ATTENUATION BATT INSULATION AROUND BEDROOMS, WASHROOMS, LAUNDRY & PLUMBING CHASES
P2b		<ul style="list-style-type: none"> <li>TYP. NON-RATED INSULATED PARTITION</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>2x6 WOOD STUDS @ 16" O.C. CW FIBERGLASS BATT INSULATION</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	--	--	--	--	
P3a		<ul style="list-style-type: none"> <li>NON-RATED PARTITION - PLUMBING CHASE</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>3.5" STEEL STUDS @ 16" O.C.</li> </ul>	--	--	--	--	
P3b		<ul style="list-style-type: none"> <li>NON-RATED PARTITION - PLUMBING CHASE</li> <li>1/2" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>2x6 WOOD STUDS @ 16" O.C.</li> </ul>	--	--	--	--	
P3c		<ul style="list-style-type: none"> <li>NON-RATED PARTITION - PLUMBING CHASE</li> <li>5/8" GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>1/2" METAL RESILIENT CHANNELS @ 24" O.C.</li> </ul>	--	--	--	--	
P4		<ul style="list-style-type: none"> <li>RATED ELEVATOR WALL</li> <li>5/8" TYPE X GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>5/8" TYPE X GYPSUM BOARD</li> <li>2x6 WOOD STUDS @ 16" O.C. MAX CW BATT INSULATION</li> <li>5/8" TYPE X GYPSUM BOARD</li> <li>5/8" TYPE X GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	2HR	cUL U301	56	NOAL 18-0713	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P5		<ul style="list-style-type: none"> <li>RATED INTERIOR PARTITION</li> <li>5/8" TYPE X GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> <li>1/2" METAL RESILIENT CHANNELS @ 24" O.C.</li> <li>2x6 WOOD STUDS @ 24" O.C. MAX CW BATT INSULATION</li> <li>5/8" TYPE X GYPSUM BOARD</li> <li>5/8" TYPE X GYPSUM BOARD (TAPED, SANDED &amp; PAINT)</li> </ul>	1HR	UL U305	53	USG-161 202	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P6		<ul style="list-style-type: none"> <li>RATED SHAFT LINER WALL</li> <li>1" GYPSUM SHAFT LINER PANELS</li> <li>64MM NON-LOADBEARING CH-STEEL STUD 25 GAUGE FRAMING</li> <li>1/2" METAL RESILIENT CHANNELS @ 24" O.C.</li> <li>(2) 5/8" TYPE X GYPSUM BOARD (TAPED, SANDED, &amp; PAINT)</li> </ul>	1HR	ULC W446	45	NOAL 19-0705	FOR SHEAR WALL LOCATIONS REPLACE INNER 5/8" GYPSUM WITH OSB SHEATHING PER STRUCTURAL DWGS
P7		<ul style="list-style-type: none"> <li>RATED SHAFT LINER WALL (IN HYDRO VAULT)</li> <li>1" GYPSUM SHAFT LINER PANELS</li> <li>64MM NON-LOADBEARING CH-STEEL STUD 25 GAUGE FRAMING</li> <li>(</li></ul>					



1 SITE PLAN  
SCALE 1" = 10'



2 LOCATION PLAN  
SCALE 1" = 80'-0"

NOTE#	NOTE
(E)AS	EXISTING ASPHALT SURFACE - REFER TO SURVEY
(E)BU	EXISTING BUSHES - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE CURB - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
(E)OHV	EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY
(E)RW	EXISTING RETAINING WALL - REFER TO SURVEY
(E)T	EXISTING TREE - REFER TO SURVEY
(E)TR	EXISTING TREE TO BE REMOVED - REFER TO SURVEY
B	BOLLARD, 6MM X 125MM DIA. X 1050MM PAINTED GALVANIZED STEEL BOLLARD C/W WELDED CAP AND 6MM X 150MM BASE PLATE WITH 4 BOLT HOLES; SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 15MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION.
BFPS	PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 1500MM ABOVE GRADE AND NOT MORE THAN 2000MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN BF PARKING SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE FOUR-SQUARE ACCESSIBLE".
BR	BIKE RACK - REFER TO LANDSCAPE
CC	CONCRETE CURB - REFER TO CIVIL
CP	CONCRETE PAD - REFER TO CIVIL
CSW	CONCRETE SIDEWALK - REFER TO CIVIL
CY	CANOPY C/W RECESSED POT LIGHTS - REFER TO ELEC.
GM	GAS METER - REFER TO SITE SERVICING
PMT	PAD MOUNT TRANSFORMER - REFER TO CIVIL
PP	PAINTED PARKING LINES, TYP. - REFER TO CIVIL
RSL	ROOF STORM LINE - REFER TO CIVIL
RW	RETAINING WALL - REFER TO CIVIL
SL	SANITARY LINE - REFER TO CIVIL
STL	STORM LINE - REFER TO CIVIL
TWSI	TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE - REFER TO CIVIL
WTS	WATER SERVICE - REFER TO CIVIL
WTSL	WEAVING TILE STORM LINE - REFER TO CIVIL

ZONING PROVISIONS (R4UD(480))	REQUIRED	PROVIDED
OH	NEW OVERHEAD DOOR	
DC	DEPRESSED CURB (DC)	
TWSI	TACTILE WALKING SURFACE INDICATORS (TWSI)	
NC	NEW CONSTRUCTION	
CS	CONCRETE SIDEWALK	
PR	PROPOSED RETAINING WALL	
SH	SHORING	
PP	PERMEABLE PAVERS (WITH GREY BACKGROUND FOR SIDE YARD)	
SL	SOFT LANDSCAPE (WITH GREY BACKGROUND FOR SIDE YARD)	
PL	PROPERTY LINE	
MS	MINIMUM SETBACKS (ZONING)	
F	FENCE	

**PROJECT LEGAL DESCRIPTION**  
**PIN 04208-0265 LOT 14 REGISTERED PLAN 58319**  
**EAST SIDE OF RUSSELL AVENUE**  
**CITY OF OTTAWA**

FARLEY, SMITH & DNIS SURVEYING LTD.  
 FILE NO.: 591-17  
 DATE: JANUARY, 2018

**PROJECT ZONING REVIEW / STATISTICS**

MUNICIPALITY: CITY OF OTTAWA  
 MUNICIPAL ADDRESS: 71 RUSSELL AVE, OTTAWA, ON K1N 7X2  
 REGISTERED OWNER: JERSEY DEVELOPMENTS INC.  
 LOT AREA: 756.32 sq.m  
 LOT AREA (TAKEN FROM GEO-OTTAWA PARCEL INFORMATION)

ZONING ANALYSIS  
 OTTAWA ZONE: R4UD LOW-RISE APARTMENT DWELLING (9 OR MORE UNITS)  
 PROPOSED USE: 4 STOREY APARTMENT BUILDING (28 RESIDENTIAL UNITS)

BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
GROSS FLOOR AREA:		
BASEMENT	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
SUB-BASEMENT	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
GROUND FLOOR	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
SECOND FLOOR	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
THIRD FLOOR	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
FOURTH FLOOR	447.8 M <sup>2</sup>	4,820 FT <sup>2</sup>
TOTAL	2,686.8 M <sup>2</sup>	28,920 FT <sup>2</sup>

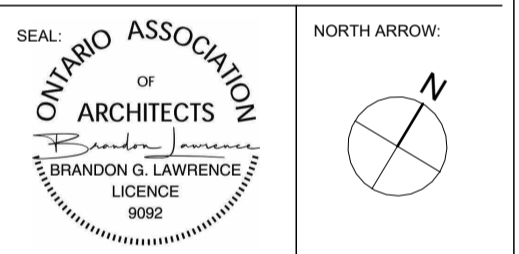
ZONING PROVISIONS (R4UD(480))	SECTION	REQUIRED	PROVIDED
MIN. LOT WIDTH	S162, TABLE 162A	15M	20.12M
MIN. LOT AREA	S162, TABLE 162A	450M <sup>2</sup>	756.32M <sup>2</sup>
MAX. BUILDING HEIGHT	S162, TABLE 162A	14.5M	14.28M
MIN. FRONT YARD SETBACK	S144(1)(A); S162, TABLE 162A	1.4 SO (D) MIN. 1.5 APPLIES	2.65M
MIN. REAR YARD SETBACK TABLE 144A(III)	S143(3)(A)	11.27M (30% OF LOT DEPTH)	7.52M (20.02% OF LOT DEPTH)
MIN. REAR YARD AREA	S143(3)(A)	189.12M <sup>2</sup> (25% OF LOT AREA)	151.67M <sup>2</sup> (20.04% OF LOT AREA)
MIN. INTERIOR YARD SETBACK	S162, TABLE 162A	1.5M	2.02M, 1.7M
MIN. AREA OF SOFT LANDSCAPING IN REAR YARD	S161(15)(B)(i)	AREA > 450M <sup>2</sup> : 50% OF REAR YARD AREA	100%
	S161(15)(B)(ii)	MIN. AGGREGATE AREA OF 25M <sup>2</sup> , W/ ONE DIMENSION <= 2M	
MIN. LANDSCAPED AREA	S161(8)	228.99M <sup>2</sup> (30% OF LOT AREA)	294.6M <sup>2</sup> (38.9% OF LOT AREA)
MIN. AGGREGATE FRONT YARD SOFT LANDSCAPED AREA	S161, TABLE 161	10.46M <sup>2</sup> (20% FOR LOT WITH FYS 1.5M-3M)	41.9M <sup>2</sup> (78.5% OF FRONT YARD AREA)
MIN. FENESTRATION REQUIREMENT	S161(15)(G)	FRONT FACADE: 25% WINDOWS=52.5M <sup>2</sup>	29.41=51.73M <sup>2</sup>
MIN. FRONT FACADE ADDITIONAL RECESS	S161(15)(H)	0.6M (MIN. 20% OF FRONT FACADE)	0.61M (28.3M-13.4%), 0.56 (63M-29.9%)
MIN. PARKING SPACE	S106(1)	2.6m (WIDTH) x 5.2m (LENGTH) MAX. WIDTH=3.1M	N/A
UNIT BREAKDOWN	S161(16)	25% 2 BEDROOM UNITS TOTAL UNITS: 28 MIN. 2-BEDROOM UNITS: 7	43% PROVIDED TOTAL 2-BEDROOM UNITS: 12
MAX. DRIVEWAY WIDTH	S139, TABLE 139(3)(ii)	3M, NO DOUBLE DRIVEWAY PERMITTED	N/A
DRIVEWAY SEPARATION FROM INTERIOR LOT LINE	S139, TABLE 139(3)(ii)	0.15M (LANDSCAPED / DECORATIVE BRICK)	N/A
MIN. BICYCLE PARKING	S111, TABLE 111A(B)	14 (0.5 PER DWELLING UNIT)	32
MIN. NUMBER OF PARKING SPACES (RESIDENT)	S110	S101(3)(A) PARKING ONLY REQUIRED FOR UNITS > 12: 16 UNITS @ 0.5 SPACES PER DU = 8 SPACES	0 SPACES
MIN. NUMBER OF PARKING SPACES (VISITOR)	S102	S 102(2) 0 SPACES <= 12 SPACES TABLE 102 (1) SPACES PER DU @ 16 UNITS = 1.6 (2 SPACES)	0 SPACES
ENCROACHMENTS: CANOPIES (LOW-RISE, MULTIPLE RESIDENTIAL)	S654(B)(i)	A DISTANCE OF 1/2 THE DEPTH OF THE FRONT, REAR OR CORNER SIDE YARD, BUT NOT CLOSER THAN 0.9 M TO THE LOT LINE.	FRONT - 1.2M REAR - 1.0M
ENCROACHMENTS: CANOPIES (LOW-RISE, MULTIPLE RESIDENTIAL)	S654(B)(ii)	1.8 M INTO AN INTERIOR SIDE YARD, BUT NOT CLOSER THAN 0.6 M TO A SIDE LOT LINE.	N/A
ENCROACHMENTS: OPEN STAIRWAYS	S655(B)(i)	WHERE AT OR BELOW THE FLOOR LEVEL OF THE FIRST FLOOR: 1. IN THE CASE OF THE INTERIOR SIDE YARD OR REAR YARD - NO LIMIT, AND 2. IN THE CASE OF THE FRONT YARD OR CORNER SIDE YARD: NO CLOSER THAN 0.6M TO A LOT LINE, AND	2.3M / 7'-6" BEYOND FRONT PROPERTY LINE
ENCROACHMENTS: OPEN STAIRWAYS	S654(B)(ii)	OTHER CASES: IN THE CASE OF ANY YARD: 1.5 M BUT NOT CLOSER THAN 1 M TO A LOT LINE. EXCEPT THAT, SWITCHBACK STAIRS AND LANDINGS MAY PROJECT 2.2M INTO THE REAR YARD WHERE THESE ARE INTENDED TO PROVIDE A MEANS OF EGRESS FOR DWELLING UNITS LOCATED ON THE SECOND AND HIGHER STOREYS.	0.3M / 1'-1" EXTERIOR FACE OF STAIR TO PROPERTY LINE

BUILDING FLOOR STATISTICS-APARTMENT TYPES (TOTAL)				
FLOOR LEVEL	SUITE COUNT	SUITE TYPES		
		ONE BEDROOM	TWO BEDROOM	TWO BED + OFFICE/PANTRY
SUB-BASEMENT	3	2	1	N/A
BASEMENT	5	4	1	N/A
GROUND FLOOR	5	4	1	N/A
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	2	1
FOURTH FLOOR	5	2	2	1
TOTAL	28	16	10	2
SUITE MIX	100%	16/28=57.14%	12/28=42.86%	

BUILDING FLOOR STATISTICS-APARTMENT TYPES (BARRIER FREE UNITS - OBC 2024 3.8.2.1(7))				
FLOOR LEVEL	SUITE COUNT (B.F. ONLY)	SUITE TYPES		
		ONE BEDROOM	TWO BEDROOM	TWO BED + OFFICE/PANTRY
SUB-BASEMENT	1	1	N/A	N/A
BASEMENT	1	1	N/A	N/A
GROUND FLOOR	1	1	N/A	N/A
SECOND FLOOR	2	N/A	1	1
THIRD FLOOR	2	N/A	1	1
FOURTH FLOOR	2	N/A	1	1
TOTAL	9	3	3	3
SUITE MIX	100%	33.33%	33.33%	33.33%

CLIENT NAME:  
**JERSEY DEVELOPMENTS INC.**

NOTES:  
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
 3) DO NOT SCALE DRAWINGS.  
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
13	2028.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
12	2028.05.26	ISSUED FOR COORDINATION
11	2028.05.19	ISSUED FOR BUILDING PERMIT
10	2028.05.05	ISSUED FOR COORDINATION
09	2028.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
08	2028.02.09	ISSUED FOR SPC SUBMISSION
07	2028.01.29	ISSUED FOR COORDINATION
06	2025.12.23	ISSUED FOR COORDINATION
05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

**LAWRENCE ARCHITECTS**  
 205-18 DEAKIN STREET  
 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 738-7770  
 E: INFO@LAWRENCEARC.COM

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PROJECT:  
**Russell Development**

71 RUSSELL AVE  
 SHEET TITLE:  
**SITE PLAN**

DRAWN BY:  
 Y.R.

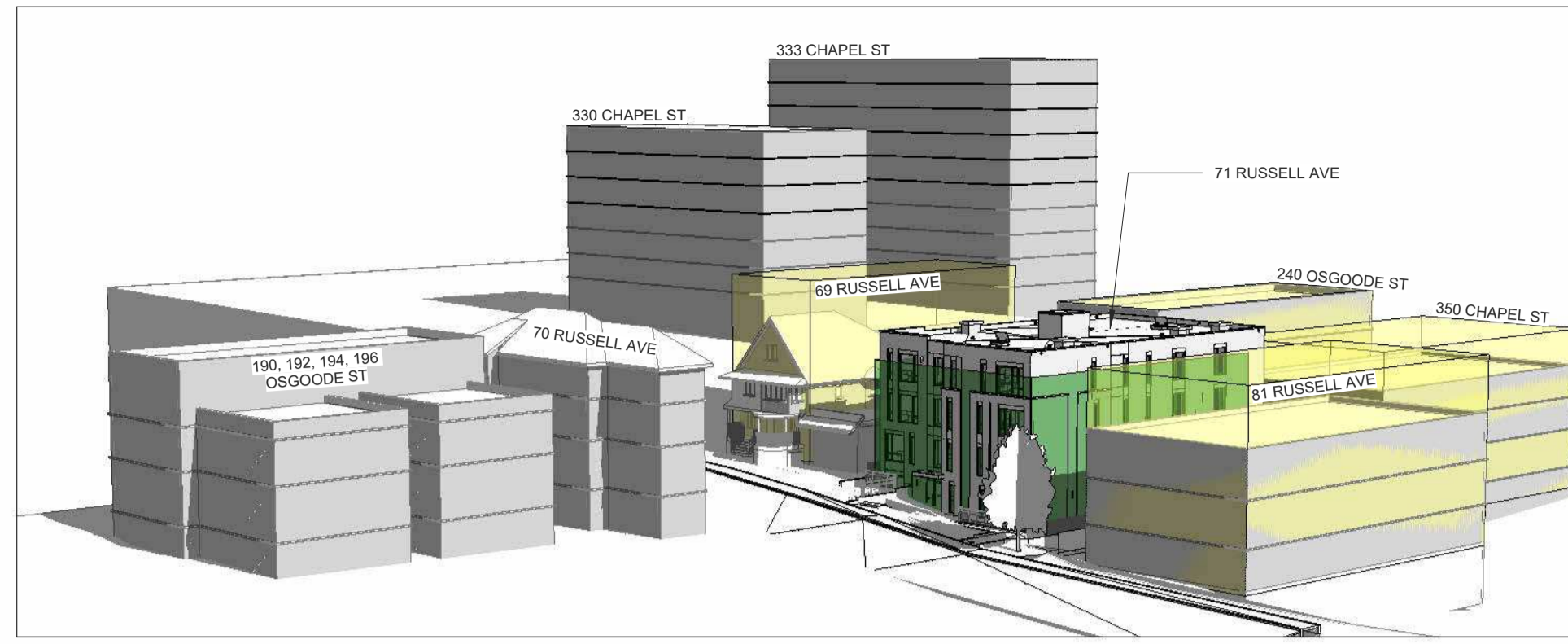
CHECKED BY:  
 B.L.

PROJECT DATE:  
**28-05-2026 13:57:53**

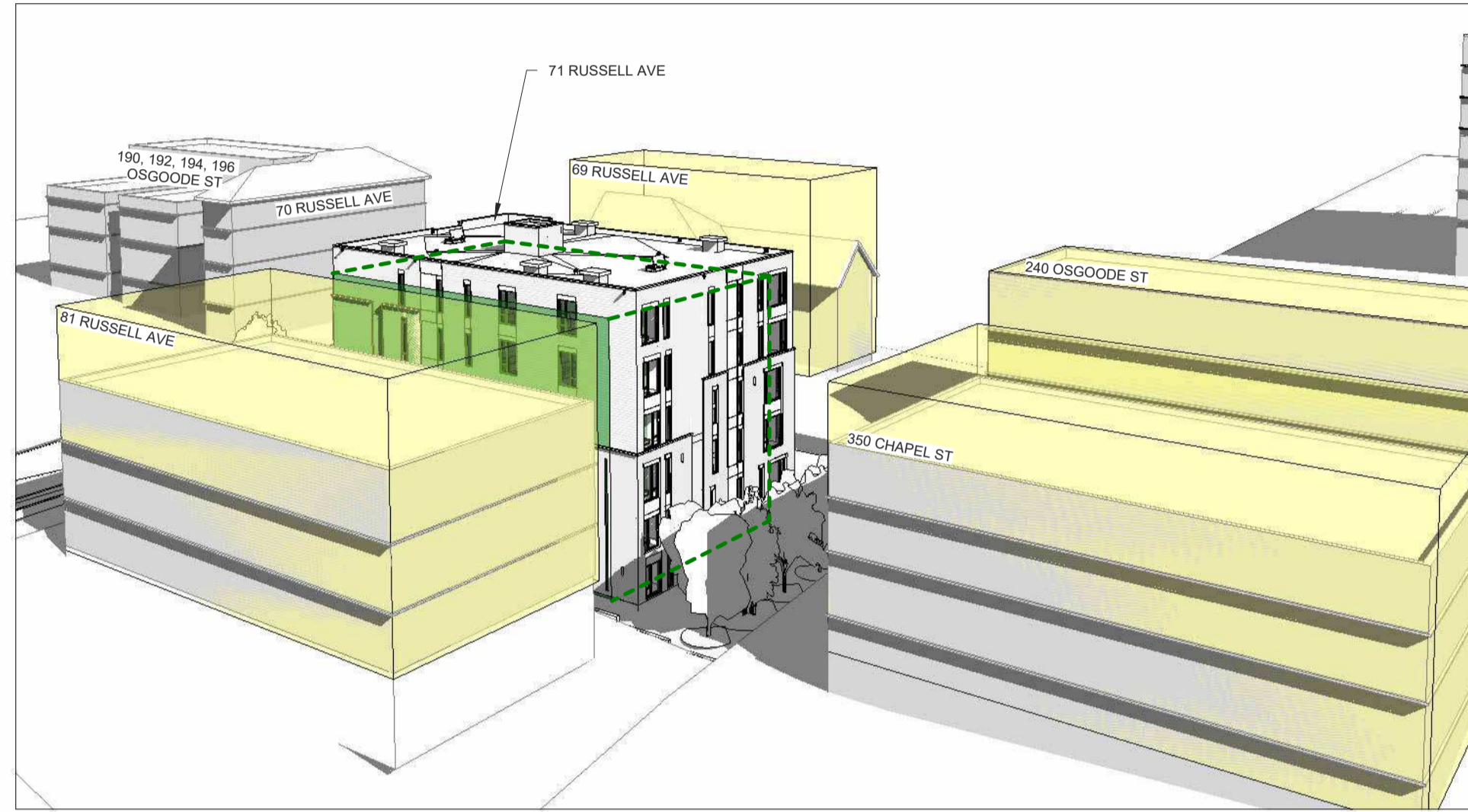
PROJECT SCALE:  
**24-06-2025**

JOB NUMBER:  
**LA-1158-25**

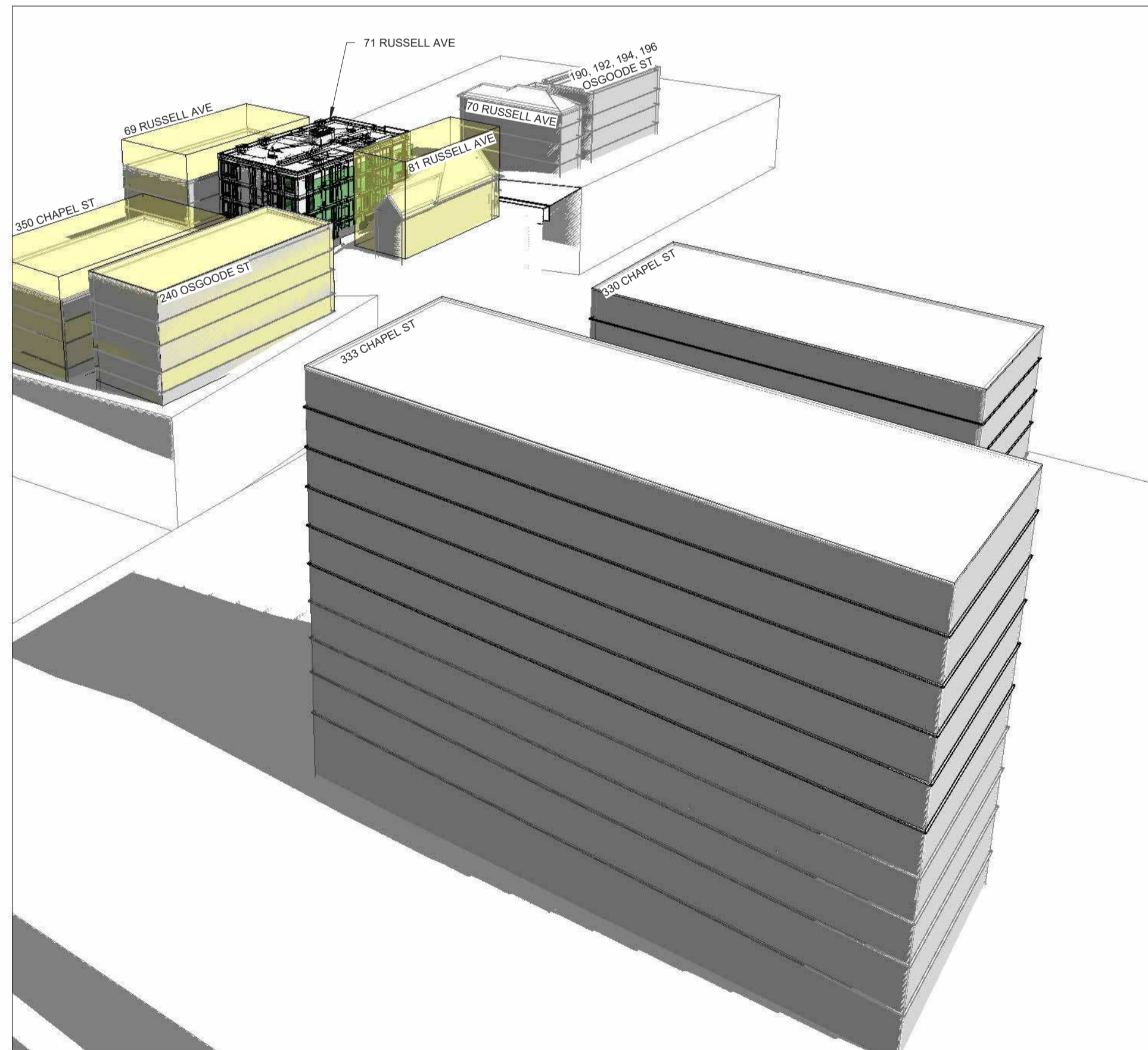
SCALE:  
**As Indicated**



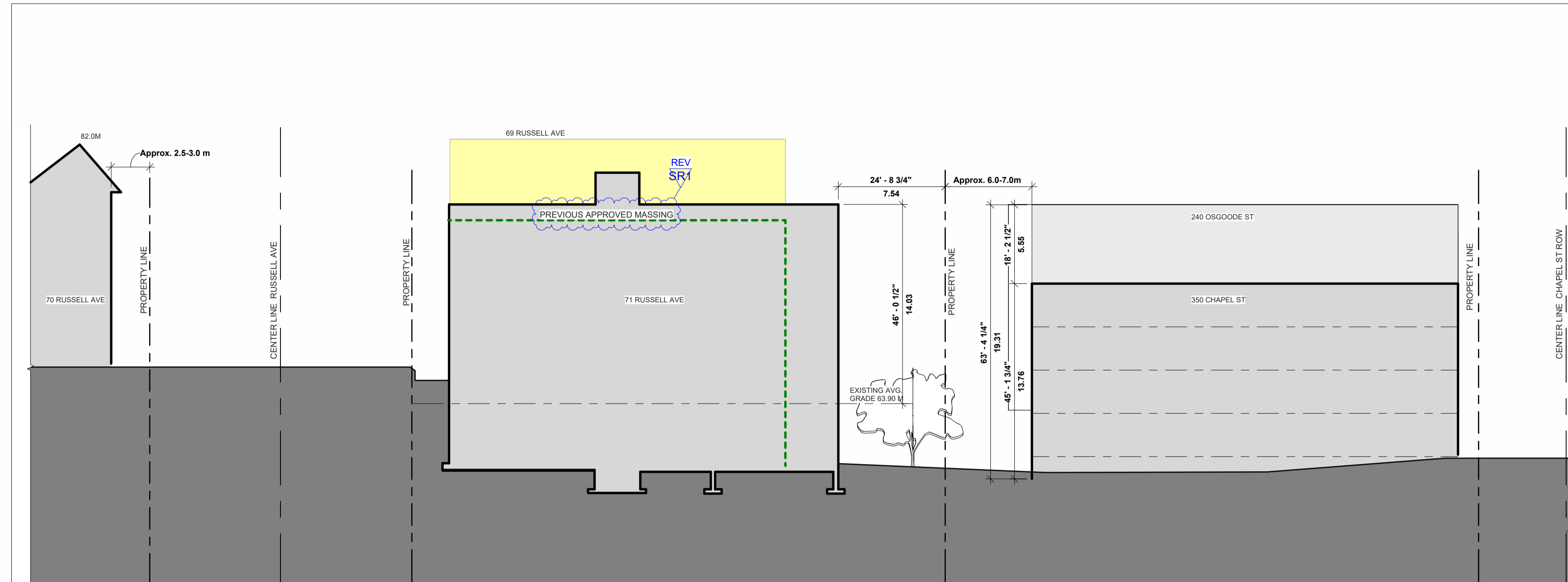
1 Context 1  
A1.1 SCALE



5 Context 2  
A1.1 SCALE



4 Context 3  
A1.1 SCALE



2 SITE SECTION  
A1.1 SCALE 1" = 20'-0"

CLIENT NAME:  
**JERSEY DEVELOPMENTS INC.**

- NOTES:
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  - 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

LEGEND

- AS OF RIGHT MASSING (Yellow box)
- PREVIOUS APPROVED MASSING (Green box)

REV SR2  
REV SR1

SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**  
BRANDON G. LAWRENCE  
LICENSE 9092

NORTH ARROW

No.	DATE	REVISION
13	2026.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
12	2026.05.26	ISSUED FOR COORDINATION
11	2026.05.19	ISSUED FOR BUILDING PERMIT
10	2026.05.05	ISSUED FOR COORDINATION
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01	2025.11.13	ISSUED FOR REVIEW

**LAWRENCE ARCHITECTS**

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PROJECT:  
**Russell Development**

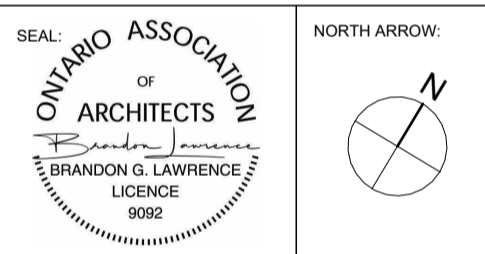
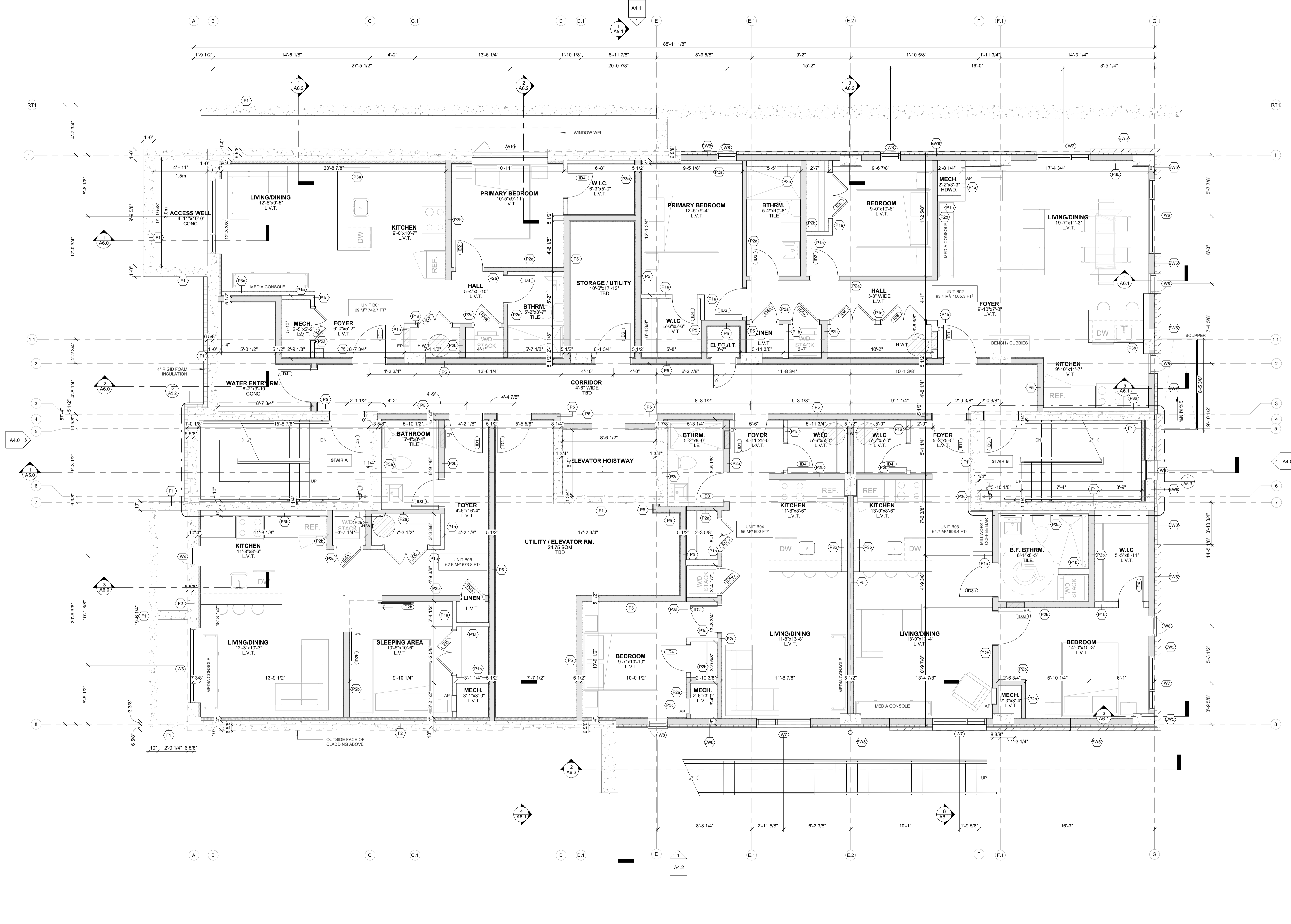
71 RUSSELL AVE  
SHEET TITLE:  
**SITE CONTEXT**

DRAWN BY: Y.R.  
CHECKED BY: B.L.  
PLOT DATE: 28-05-2026 12:07:33  
PROJECT DATE: 24-06-2025  
JOB NUMBER: LA-1158-25  
SCALE: As Indicated

A1.1



- NOTES:
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  - 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
13	2028.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
12	2028.05.26	ISSUED FOR COORDINATION
11	2028.05.19	ISSUED FOR BUILDING PERMIT
10	2028.05.05	ISSUED FOR COORDINATION
09	2028.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
08	2028.02.09	ISSUED FOR SPC SUBMISSION
07	2028.01.29	ISSUED FOR COORDINATION
06	2025.12.23	ISSUED FOR COORDINATION
05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW



205-18 DEAKIN STREET  
OTTAWA, ONTARIO  
K2E 8B7  
T: (613) 739-7770  
E: INFO@LAWRENCEARC.COM

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PROJECT:  
**Russell Development**  
71 RUSSELL AVE  
SHEET TITLE:  
**BASEMENT FLOOR PLAN**

DRAWN BY:  
**Y.R.**  
PLOT DATE:  
**28-05-2026 13:01:42**  
JOB NUMBER:  
**LA-1158-25**

CHECKED BY:  
**B.L.**  
PROJECT DATE:  
**24-06-2025**  
SCALE:  
**1/4" = 1'-0"**

**1**  
**A2.2** BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

**A2.2**

- NOTES:
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**WALL HATCH LEGEND**

- REFER TO SHEET A4.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- REFER TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

INSULATED WALL  
 NON-INSULATED WALL  
 ENGINEERED SHEAR WALL  
 LOADBEARING WALL

NORTH ARROW

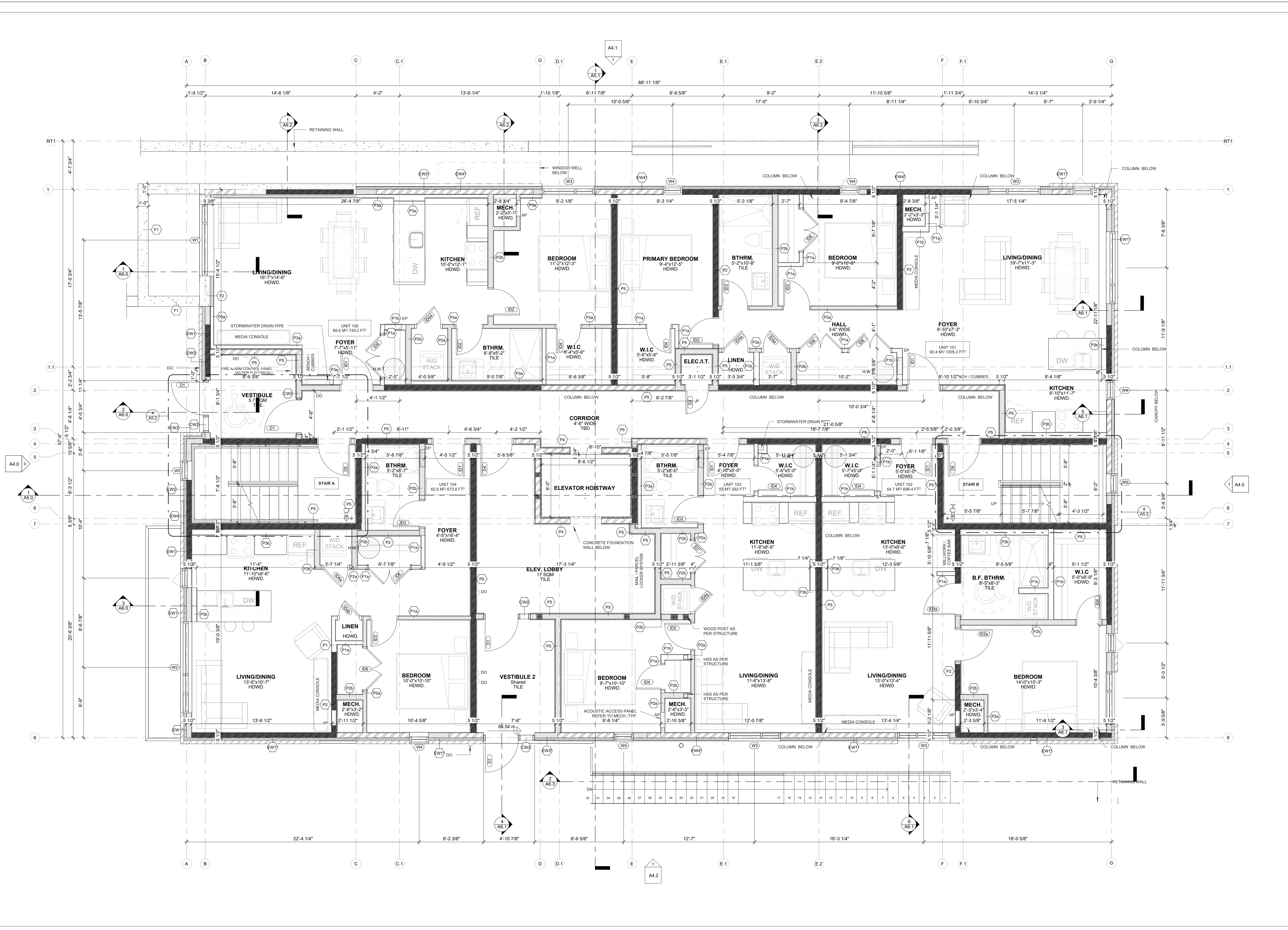
No.	DATE	REVISION
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12	2028.05.26	ISSUED FOR COORDINATION
11	2028.05.19	ISSUED FOR BUILDING PERMIT
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07	2028.01.29	ISSUED FOR COORDINATION
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05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

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PROJECT:  
**Russell Development**  
 71 RUSSELL AVE  
 SHEET TITLE:  
**GROUND FLOOR PLAN**

DRAWN BY:  
**Y.R.**  
 CHECKED BY:  
**B.L.**  
 PROJECT DATE:  
**28-05-2026 13:01:45**  
 PROJECT DATE:  
**24-06-2025**  
 JOB NUMBER:  
**LA-1158-25**  
 SCALE:  
**As Indicated**



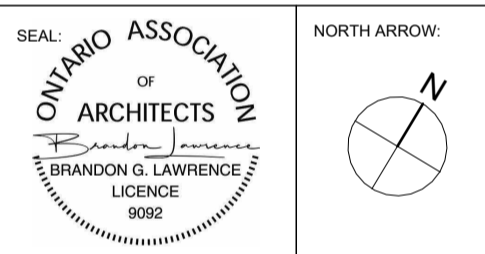
**1**  
**A2.3** GROUND FLOOR PLAN  
 SCALE 1/4" = 1'-0"

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- ALL EXTERIOR WALLS ARE LOAD BEARING

INSULATED WALL  
 NON-INSULATED WALL  
 ENGINEERED SHEAR WALL  
 LOADBEARING WALL



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PROJECT:  
**Russell Development**

71 RUSSELL AVE  
SHEET TITLE:  
**SECOND FLOOR PLAN**

DRAWN BY:  
**Y.R.**

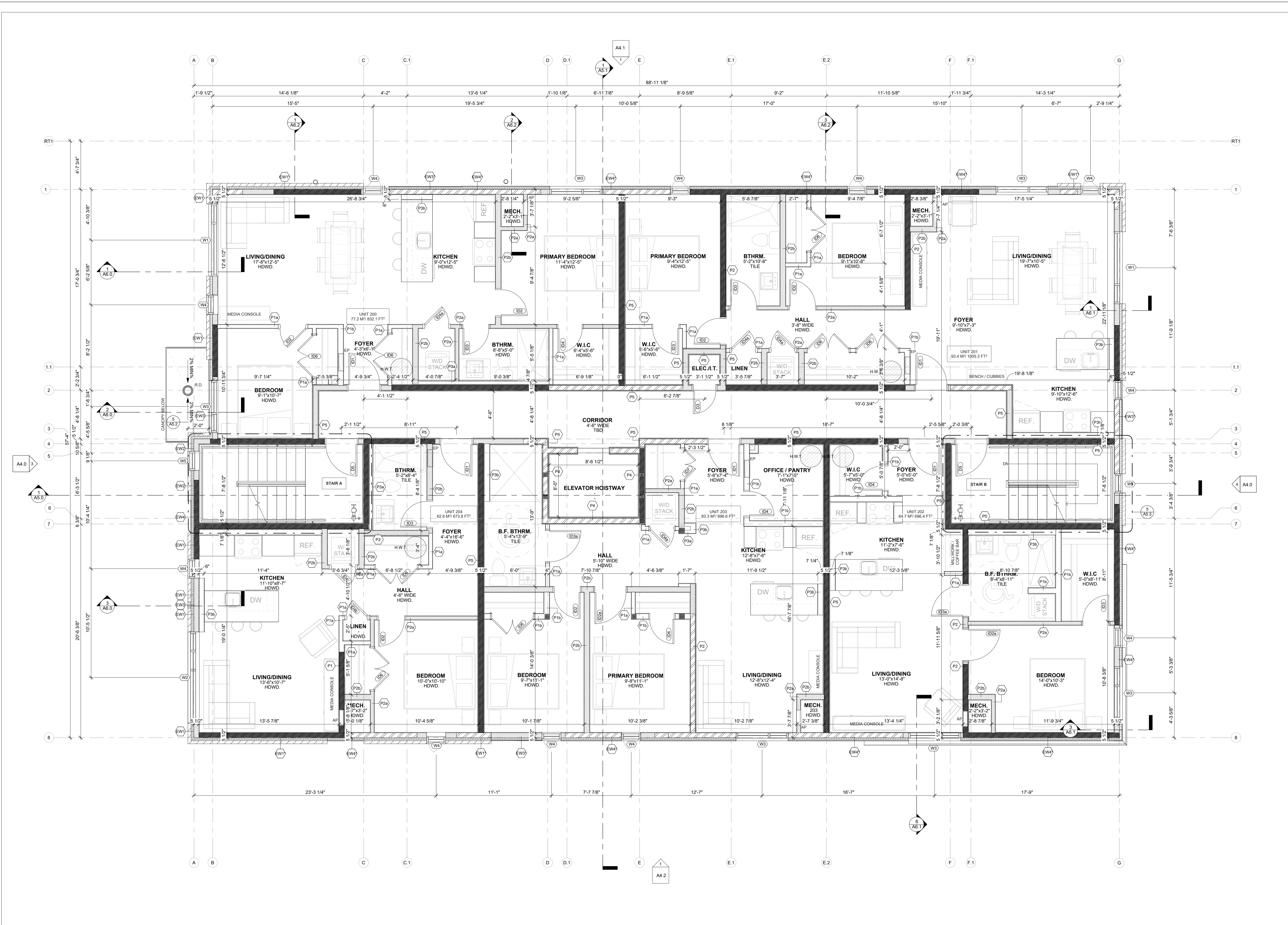
CHECKED BY:  
**B.L.**

PL07 DATE:  
**28-05-2026 13:01:47**

PROJECT DATE:  
**24-06-2025**

JOB NUMBER:  
**LA-1158-25**

SCALE:  
**As Indicated**

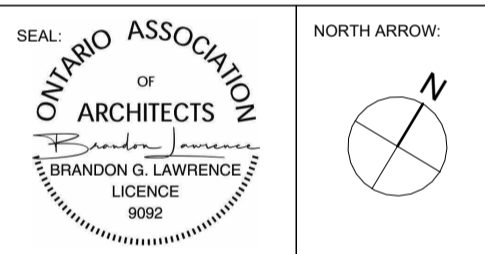


**1**  
**A2.4**  
**SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

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- ALL EXTERIOR WALLS ARE LOAD BEARING



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K2E 8B7

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PROJECT:  
**Russell Development**

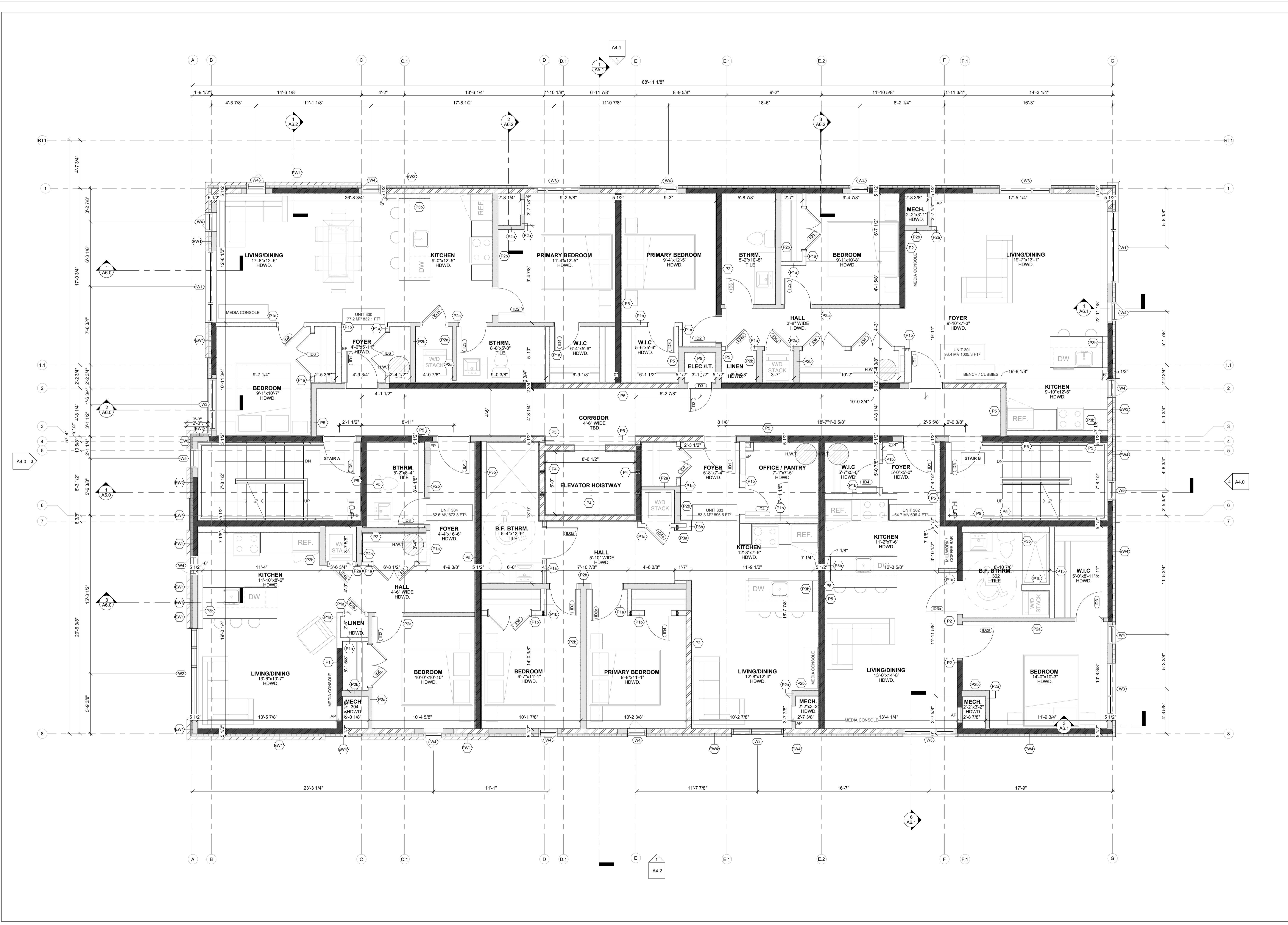
71 RUSSELL AVE  
SHEET TITLE:  
**THIRD FLOOR PLAN**

DRAWN BY:  
**Y.R.**

CHECKED BY:  
**B.L.**

PROJECT DATE:  
**28-05-2026 13:01:50**

SCALE:  
**As Indicated**



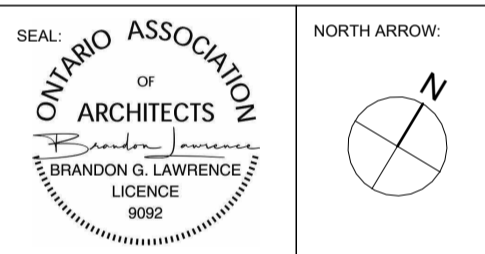
**1**  
**A2.5** THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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	INSULATED WALL
	NON-INSULATED WALL
	ENGINEERED SHEAR WALL
	LOADBEARING WALL



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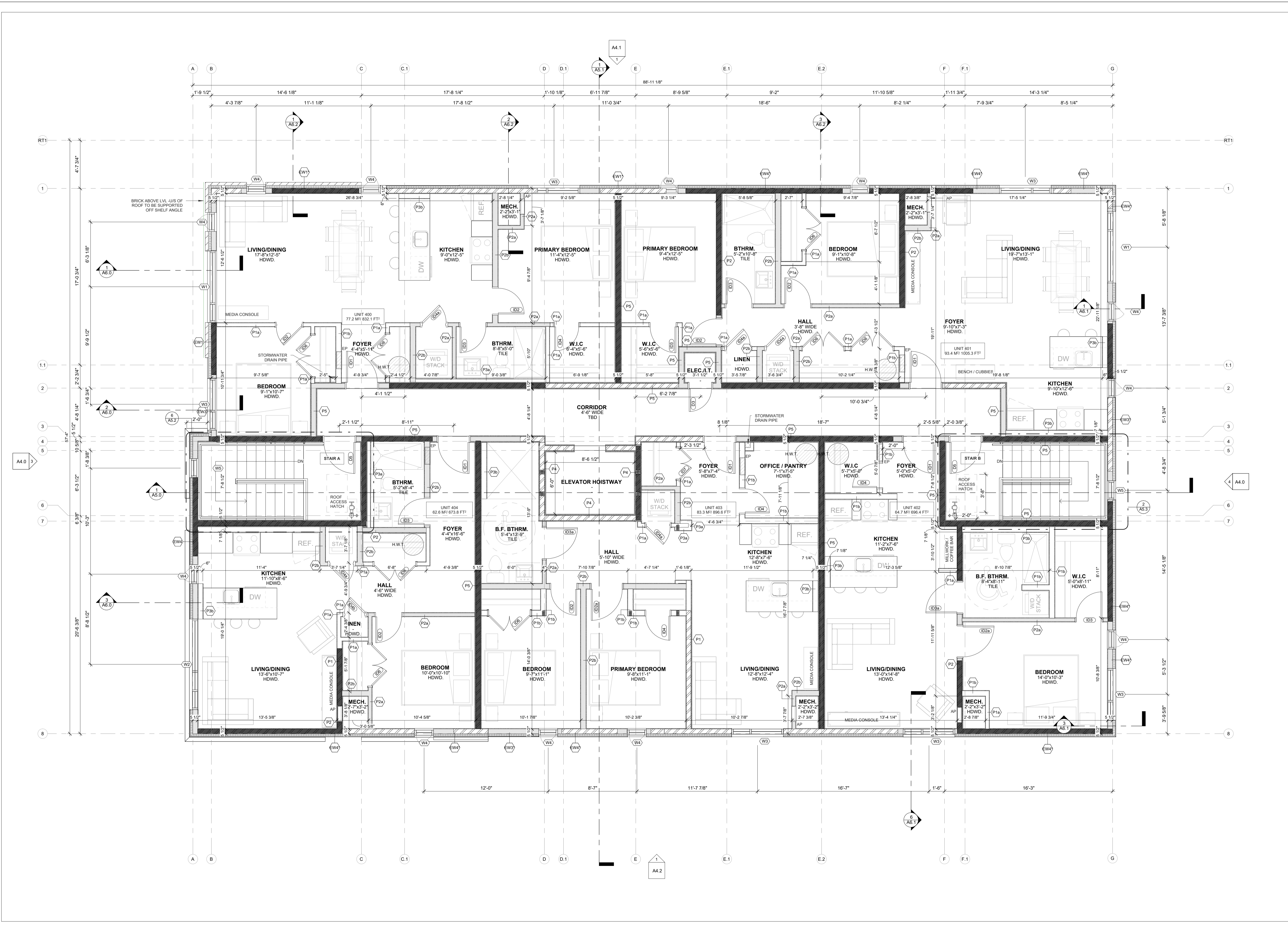


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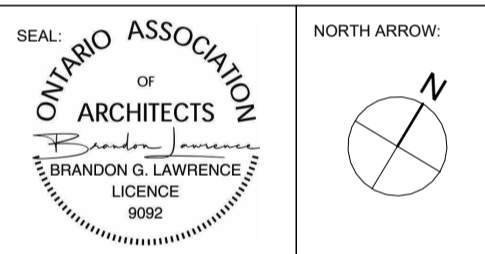
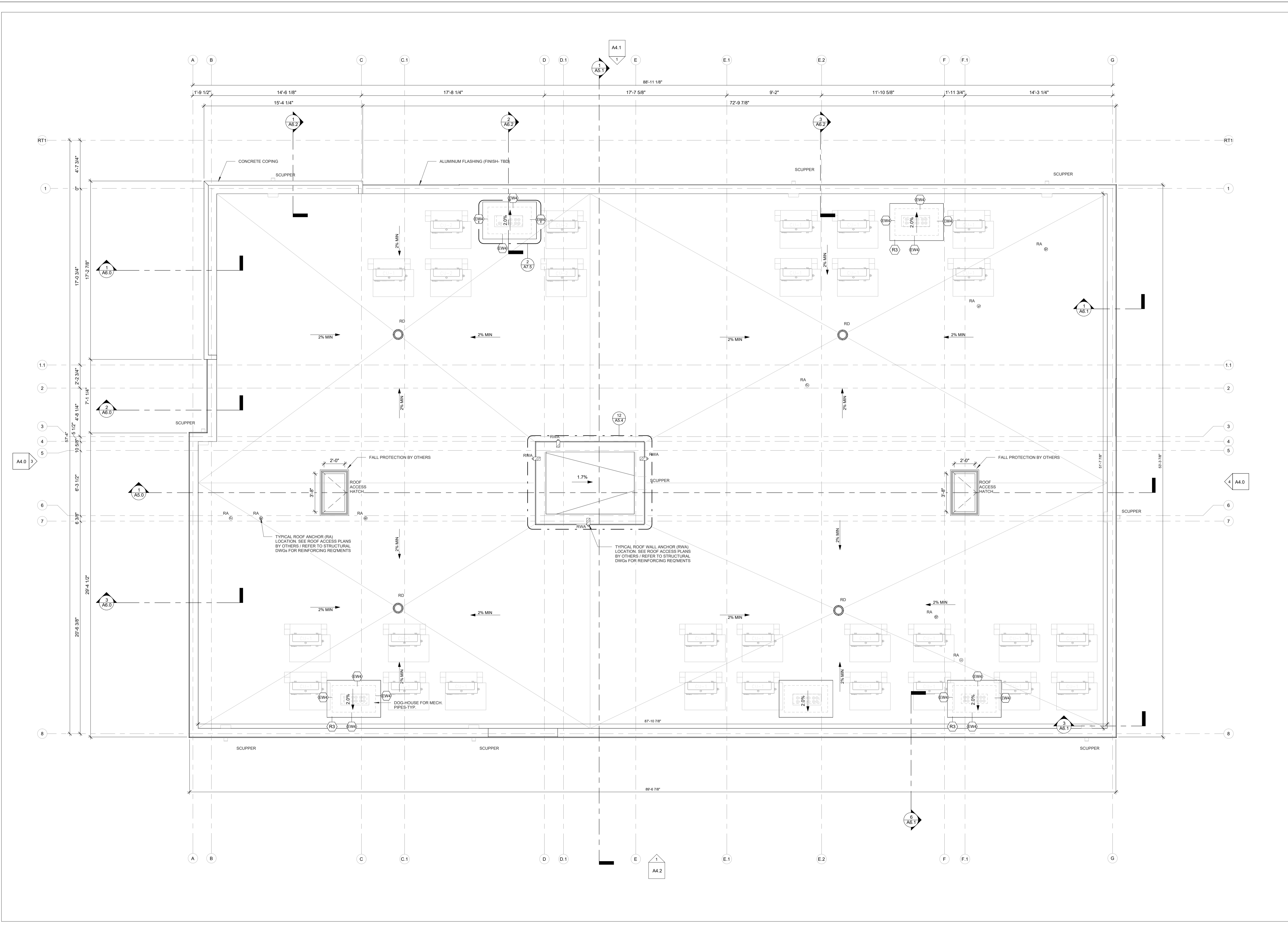
PROJECT:  
**Russell Development**  
71 RUSSELL AVE  
SHEET TITLE:  
**FOURTH FLOOR PLAN**

DRAWN BY: <b>Y.R.</b>	CHECKED BY: <b>B.L.</b>
PL07 DATE: <b>28-05-2026 13:01:52</b>	PROJECT DATE: <b>24-06-2025</b>
JOB NUMBER: <b>LA-1158-25</b>	SCALE: <b>As Indicated</b>



**1** FOURTH FLOOR PLAN  
SCALE 1/4" = 1'-0"

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01	2025.11.13	ISSUED FOR REVIEW

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 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 736-7770  
 E: INFO@LAWRENCEARC.COM

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PROJECT:  
**Russell Development**  
 71 RUSSELL AVE  
 SHEET TITLE:  
**ROOF PLAN**

DRAWN BY:  
**Y.R.**  
 CHECKED BY:  
**B.L.**  
 PLOT DATE:  
**28-05-2026 13:01:53**  
 PROJECT DATE:  
**24-06-2025**  
 JOB NUMBER:  
**LA-1158-25**  
 SCALE:  
**1/4" = 1'-0"**

**1**  
**A2.7**  
ROOF PLAN  
SCALE: 1/4" = 1'-0"

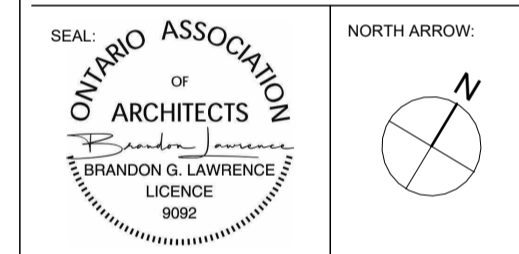
**A2.7**  
PLAN # 19441

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**FRR LEGEND**

—FS—FS—	FIRE SEPERATION (0HR FRR)
—10—10—	1HR FRR
—120—120—	2HR FRR
---	TRAVEL DISTANCE
[C]	FIRE HOSE CABINET
[E]	RECESSED FIRE EXTINGUISHER
[M]	FIRE ALARM MANUAL PULL STATION
[S]	EXIST SIGN
[L]	EMERGENCY LIGHT HEADS
[B]	BATTERY POWERED EMERGENCY LIGHT
[D]	FIRE ALARM SMOKE DETECTOR
[H]	FIRE ALARM - COMBINATION HORN/STROBE - WALL MTD
[R]	STANDPIPE-65MM HOSE CONNECTION DRAIN RISER

- FIRE LIFE SAFETY PLAN NOTES**
1. WALLS ABOVE DOORS TO MATCH WALL ASSEMBLY ADJACENT TO DOOR UNLESS NOTED OTHERWISE.
  2. REFER TO ELECTRICAL & MECHANICAL DWGS FOR EMERGENCY LIGHTING, EXIT SIGNAGE, FIRE EXTINGUISHER/CABINET, AND FIRE ALARM PLACEMENT & INFORMATION.



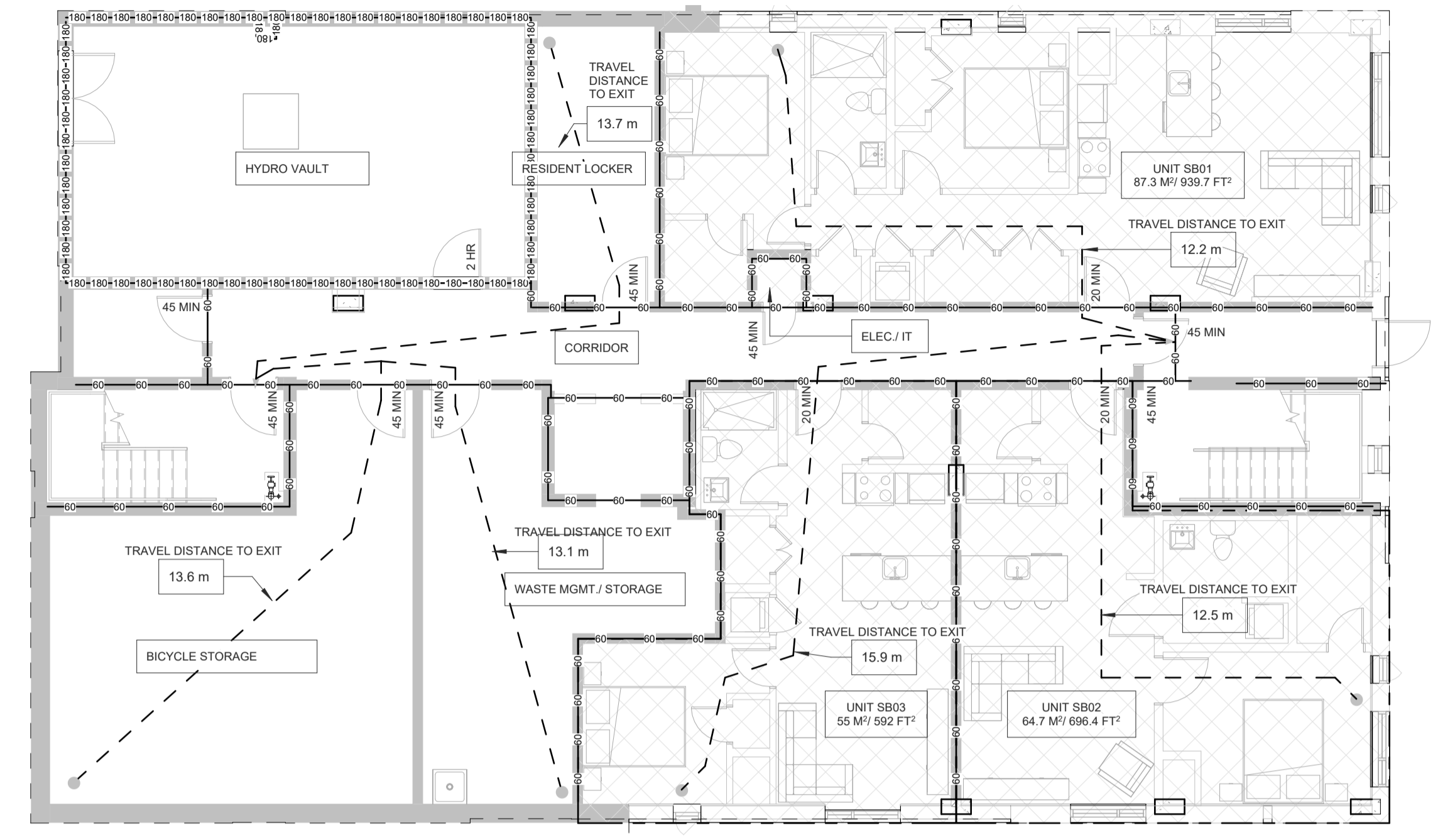
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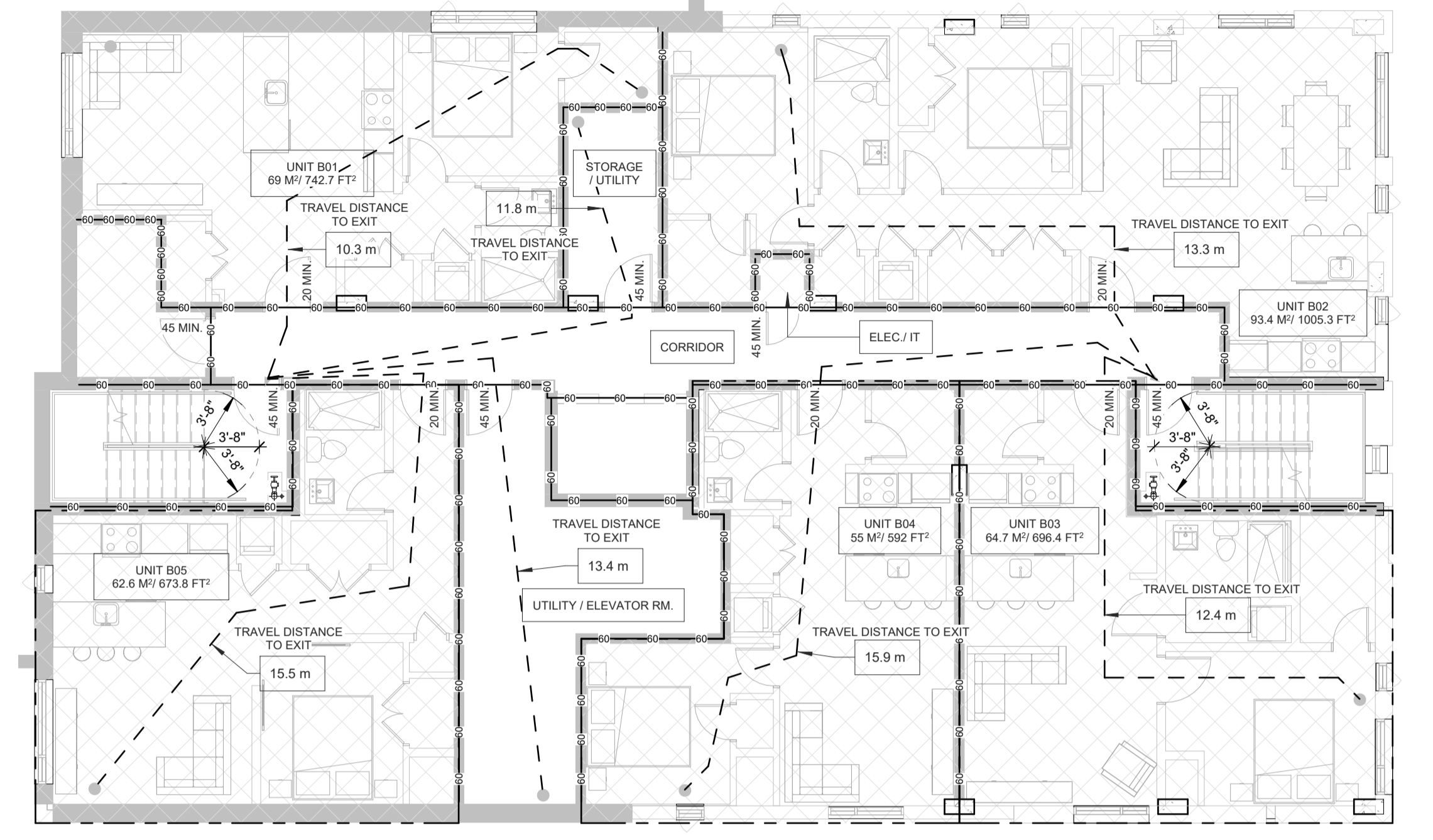
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PROJECT:  
**Russell Development**  
 71 RUSSELL AVE  
 SHEET TITLE:  
**FIRE SAFETY PLANS**

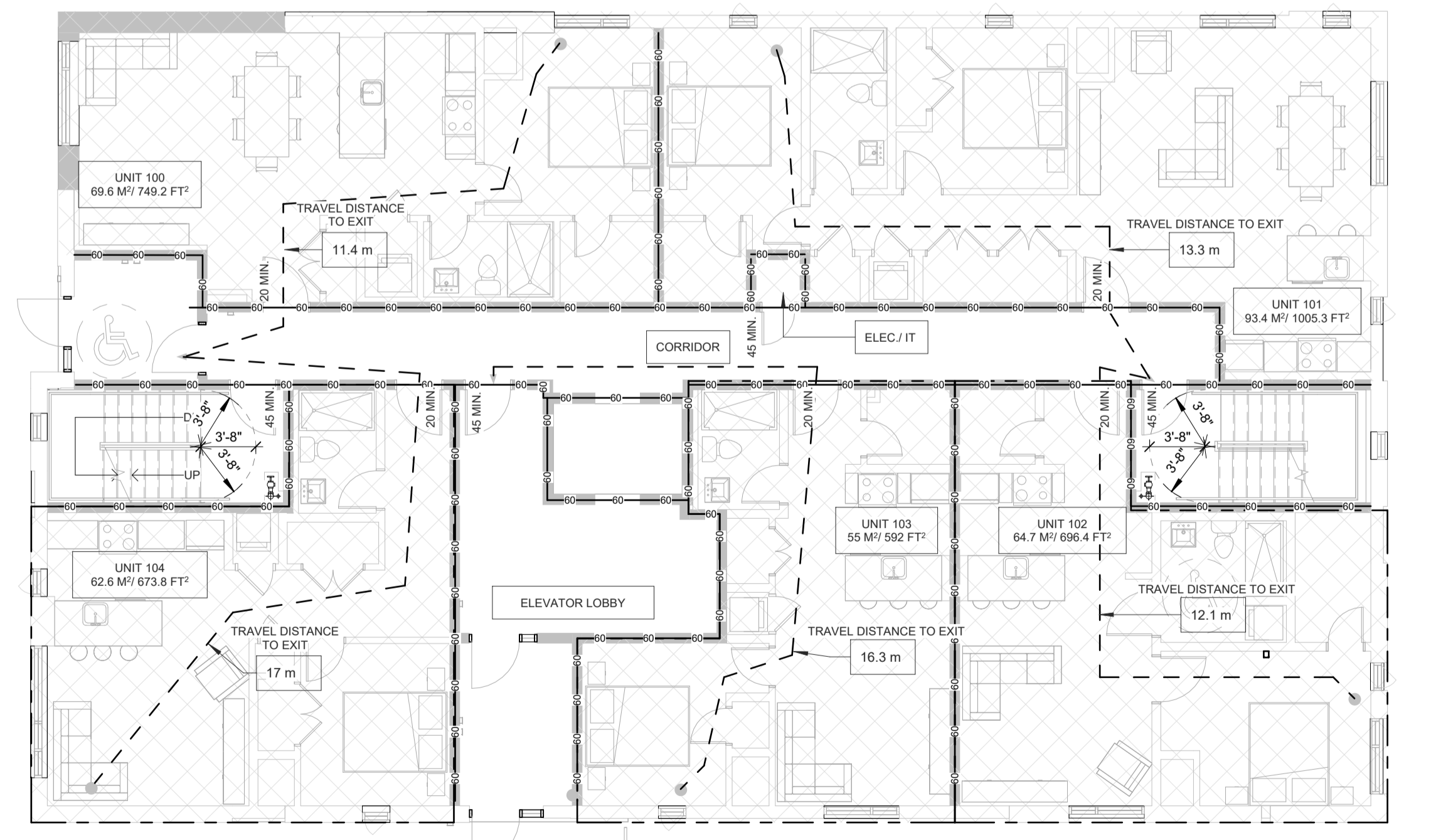
DRAWN BY: <b>Y.R.</b>	CHECKED BY: <b>B.L.</b>
PLOT DATE: <b>28-05-2026 12:08:03</b>	PROJECT DATE: <b>24-06-2025</b>
JOB NUMBER: <b>LA-1158-25</b>	SCALE: <b>As Indicated</b>



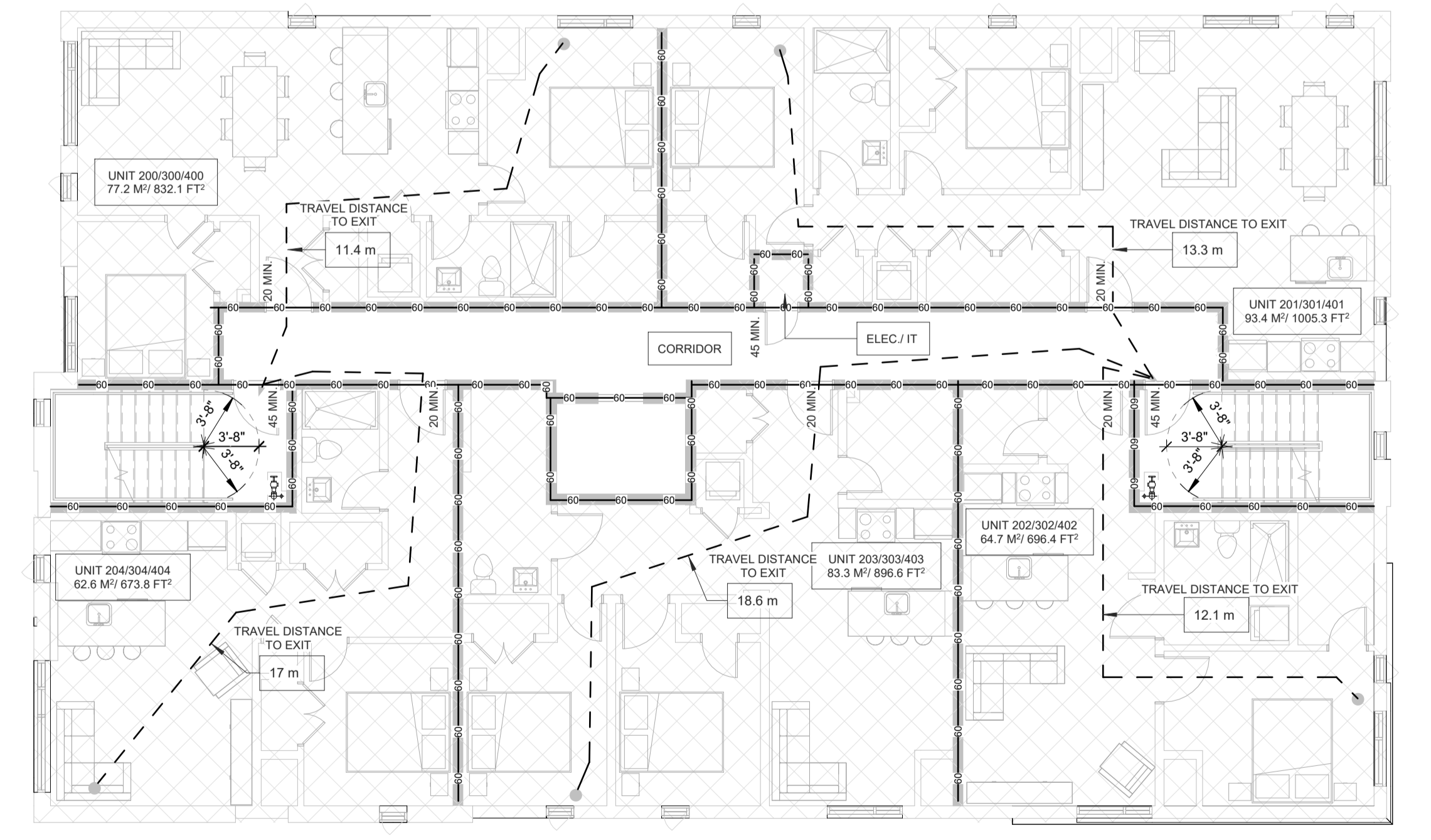
**1**  
T/O Sub-Basement  
SCALE 1/8" = 1'-0"



**2**  
T/O Basement  
SCALE 1/8" = 1'-0"



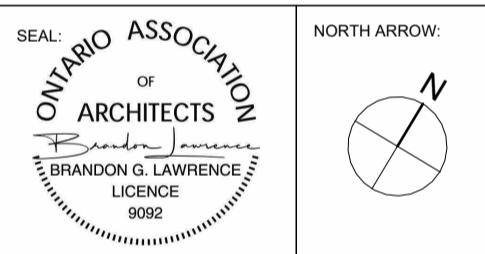
**3**  
T/O Ground Floor  
SCALE 1/8" = 1'-0"



**4**  
T/O Second Floor  
SCALE 1/8" = 1'-0"

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- KEYNOTES-ELEVATION
- STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR- TBD
  - BRICK MASONRY VENEER BY "TRINOX - OSLO", COLOUR- TBD
  - HARDIE PANEL WITH REVEAL, COLOUR- TBD
  - HARDIE SIDING, COLOUR- TBD
  - PREFINISHED ALUMINUM FASCIA CW RAISED 1x3 PROFILE TAB, COLOUR - BLACK
  - WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
  - PREFINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
  - SUSPENDED CANOPY ROOF AREA C/W PREFIN. METAL CAP FLASHING @ EDGE
  - 4" HT. PRE-CAST CONCRETE SILL TO MATCH MASONRY
  - CEMENT PARING FOR EXPOSED FOUNDATION WALLS TO MIN. 8" BELOW GRADE
  - ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
  - ALUMINUM WINDOW - BLACK ANODIZED FINISH



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03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

**LAWRENCE ARCHITECTS**  
 205-18 DEAKIN STREET  
 4TH FLOOR, ONTARIO  
 K2E 8B7  
 T: (613) 738-7770  
 E: INFO@LAWRENCEARC.COM

PROJECT:  
**Russell Development**  
 71 RUSSELL AVE  
 SHEET TITLE:  
**ELEVATIONS**

DRAWN BY:  
**Y.R.**  
 PLOT DATE:  
**28-05-2026 12:08:13**  
 JOB NUMBER:  
**LA-1158-25**

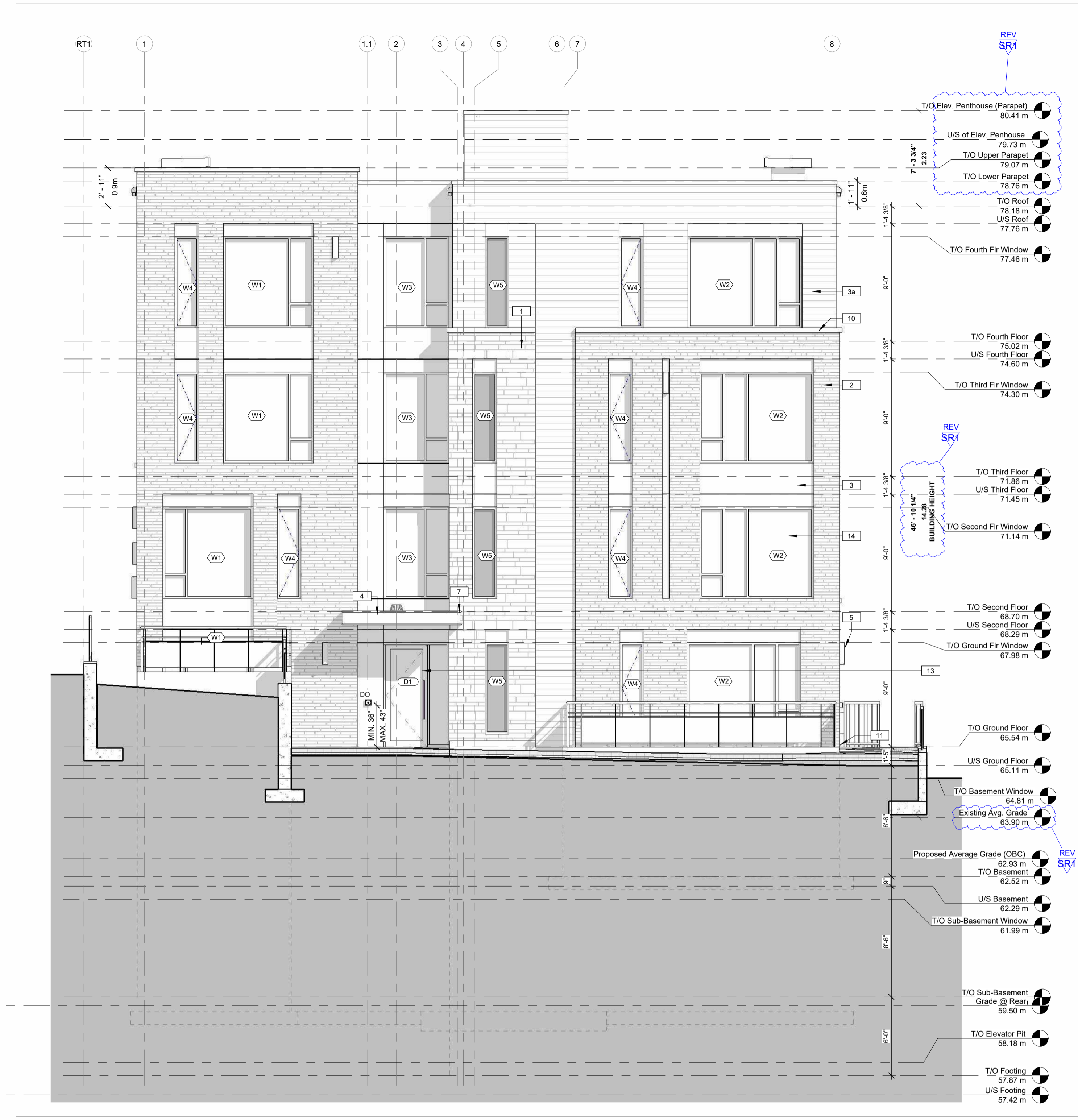
CHECKED BY:  
**B.L.**  
 PROJECT DATE:  
**24-06-2025**  
 SCALE:  
**As Indicated**



**1 EAST ELEVATION (REAR)**  
 SCALE 3/16" = 1'-0"



**4 EAST ELEVATION CALCS**  
 SCALE 1:200



**2 WEST ELEVATIONS (FRONT)**  
 SCALE 3/16" = 1'-0"



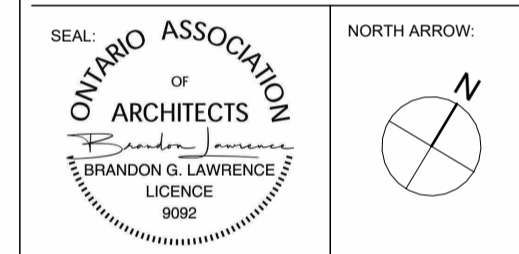
**3 WEST ELEVATIONS CALCS**  
 SCALE 1:200



CLIENT NAME:  
**JERSEY DEVELOPMENTS INC.**

NOTES:  
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 3) DO NOT SCALE DRAWINGS.  
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

- KEYNOTES-ELEVATION
- STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR- TBD
  - BRICK MASONRY VENEER BY "RINOX - OSLO", COLOUR- TBD
  - HARDIE PANEL WITH REVEAL, COLOUR- TBD
  - HARDIE SIDING, COLOUR- TBD
  - PRE-FINISHED ALUMINUM FASCIA C/W RAISED 1x3 PROFILE TAB, COLOUR - BLACK
  - WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
  - PRE-FINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
  - SUSPENDED CANOPY ROOF AREA C/W PREFIN. METAL CAP FLASHING @ EDGE
  - 4" HT. PRE-CAST CONCRETE SILL TO MATCH MASONRY
  - CEMENT PARPING FOR EXPOSED FOUNDATION WALLS TO MIN. 8" BELOW GRADE
  - ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
  - ALUMINUM WINDOW - BLACK ANODIZED FINISH



No.	DATE	REVISION
13	2028.05.28	ISSUED FOR SPA RESPONSE 2 (SR2)
12	2028.05.26	ISSUED FOR COORDINATION
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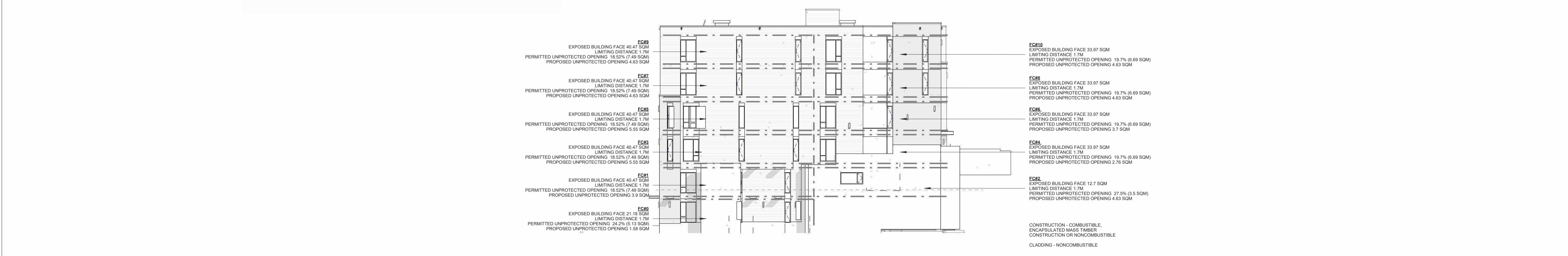
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PROJECT:  
**Russell Development**  
 71 RUSSELL AVE  
 SHEET TITLE:  
**ELEVATIONS**

DRAWN BY:  
**Y.R.**  
 PLOT DATE:  
**28-05-2026 12:08:21**  
 JOB NUMBER:  
**LA-1158-25**

CHECKED BY:  
**B.L.**  
 PROJECT DATE:  
**24-06-2025**  
 SCALE:  
**As Indicated**

**1**  
**A4.1** NORTH ELEVATION (LEFT SIDE)  
 SCALE 3/16" = 1'-0"



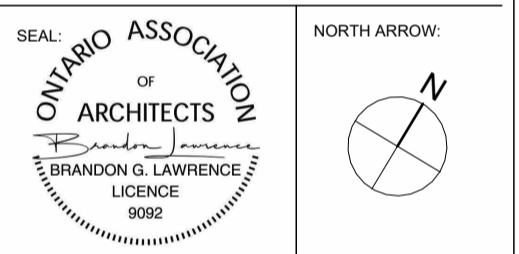
**2**  
**A4.1** NORTH ELEVATION Calcs  
 SCALE 1:200



CLIENT NAME:  
**JERSEY DEVELOPMENTS INC.**

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- KEYNOTES-ELEVATION
- 1 STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR- TBD
  - 2 BRICK MASONRY VENEER BY "TRINOX - OSLO", COLOUR- TBD
  - 3 HARDIE PANEL WITH REVEAL, COLOUR- TBD
  - 3a HARDIE SIDING, COLOUR- TBD
  - 4 PREFINISHED ALUMINUM FASCIA CW RAISED 1/3 PROFILE T&B, COLOUR - BLACK
  - 5 WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
  - 6 PREFINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
  - 7 SUSPENDED CANOPY ROOF AREA CW PREFIN. METAL CAP FLASHING @ EDGE TO MATCH MASONRY
  - 10 4" HT. PRE-CAST CONCRETE SILL TO MATCH MASONRY
  - 11 CEMENT PARING FOR EXPOSED FOUNDATION WALLS TO MIN. 8" BELOW GRADE
  - 13 ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
  - 14 ALUMINUM WINDOW - BLACK ANODIZED FINISH



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01	2025.11.13	ISSUED FOR REVIEW

**1**  
**A4.2** SOUTH ELEVATION (RIGHT SIDE)  
SCALE 3/16" = 1'-0"



CONSTRUCTION - COMBUSTIBLE,  
ENCASED MASS TIMBER  
CONSTRUCTION OR NONCOMBUSTIBLE  
CLADDING - NONCOMBUSTIBLE

**2**  
**A4.2** SOUTH ELEVATION Calcs  
SCALE 1:200

**LAWRENCE ARCHITECTS**  
205-18 DEAKIN STREET  
407 HWY. ONTARIO  
K2E 8B7  
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PROJECT:  
**Russell Development**

71 RUSSELL AVE  
SHEET TITLE:  
**ELEVATIONS**

DRAWN BY:  
**Y.R.**

CHECKED BY:  
**B.L.**

PROJECT DATE:  
**28-05-2026 12:08:26**

PROJECT DATE:  
**24-06-2025**

JOB NUMBER:  
**LA-1158-25**

SCALE:  
**As Indicated**



1 FRONT PERSPECTIVE 1  
A4.3 SCALE



3 FRONT PERSPECTIVE 2  
A4.3 SCALE



2 REAR PERSPECTIVE 1  
A4.3 SCALE



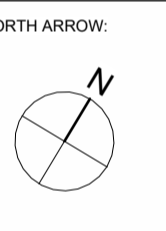
4 REAR PERSPECTIVE 2  
A4.3 SCALE

CLIENT NAME:

JERSEY DEVELOPMENTS INC.

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12	2026.05.26	ISSUED FOR COORDINATION
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01	2025.11.13	ISSUED FOR REVIEW

**LAWRENCE ARCHITECTS**

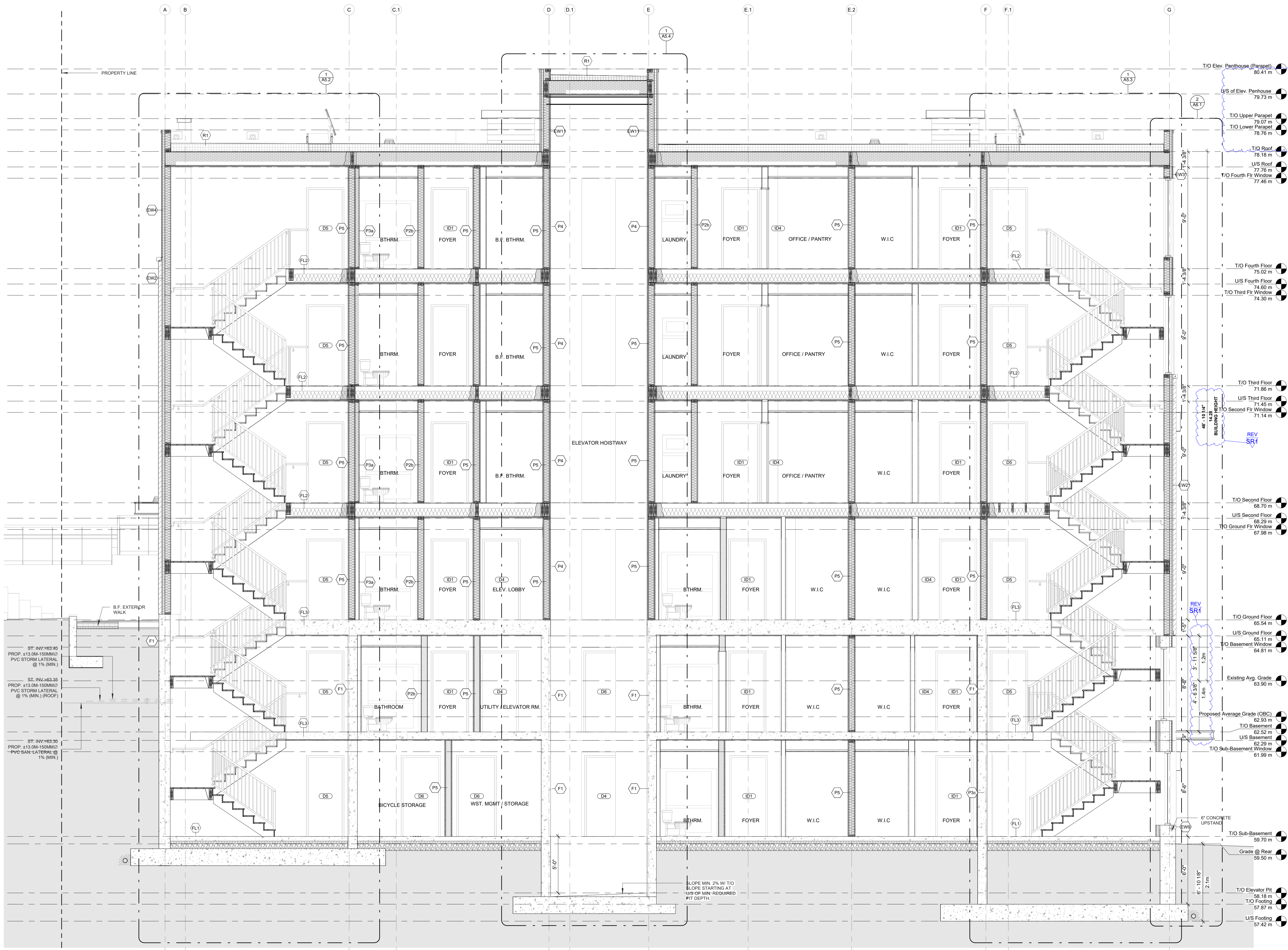
205-18 DEAKIN STREET  
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PROJECT:  
**Russell Development**  
71 RUSSELL AVE  
SHEET TITLE:  
**BUILDING PERSPECTIVE**

DRAWN BY: Y.R. CHECKED BY: B.L.  
PLOT DATE: 28-05-2026 12:08:38 PROJECT DATE: 24-06-2025  
JOB NUMBER: LA-1158-25 SCALE:

**A4.3**



ST. INV. = 83.30  
PROP. ±13.0M-150MM @ 1% (MIN.)  
PVC STORM LATERAL @ 1% (MIN.)

ST. INV. = 83.35  
PROP. ±13.0M-150MM @ 1% (MIN.) (ROOF)  
PVC STORM LATERAL @ 1% (MIN.)

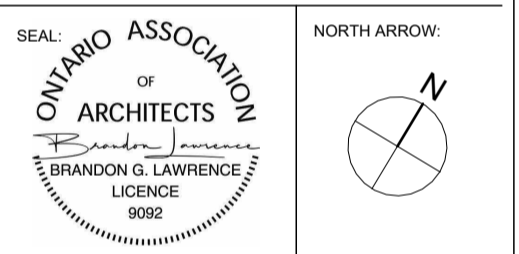
ST. INV. = 83.30  
PROP. ±13.0M-150MM @ 1% (MIN.)  
PVC SAN-LATERAL @ 1% (MIN.)

- T/O Elev. Penthouse (Parapet) 80.41 m
- U/S of Elev. Penthouse 79.73 m
- T/O Upper Parapet 79.07 m
- T/O Lower Parapet 78.76 m
- T/O Roof 76.18 m
- U/S Roof 77.76 m
- T/O Fourth Fl. Window 77.46 m
- T/O Fourth Floor 75.02 m
- U/S Fourth Floor 74.60 m
- T/O Third Fl. Window 74.30 m
- T/O Third Floor 71.86 m
- U/S Third Floor 71.45 m
- T/O Second Fl. Window 71.14 m
- T/O Second Floor 68.70 m
- U/S Second Floor 68.29 m
- T/O Ground Fl. Window 67.98 m
- T/O Ground Floor 65.54 m
- U/S Ground Floor 65.11 m
- T/O Basement Window 64.81 m
- Existing Avg. Grade 63.90 m
- Proposed Average Grade (OBC) 62.93 m
- T/O Basement 62.52 m
- U/S Basement 62.29 m
- T/O Sub-Basement Window 61.99 m
- 8" CONCRETE UPSTAND
- T/O Sub-Basement 59.70 m
- Grade @ Rear 59.50 m
- T/O Elevator Pit 58.18 m
- T/O Footing 57.87 m
- U/S Footing 57.42 m

CLIENT NAME:  
**JERSEY DEVELOPMENTS INC.**

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**LAWRENCE ARCHITECTS**

205-18 DEAKIN STREET  
OTTAWA, ONTARIO  
K2E 8B7

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PROJECT:  
**Russell Development**

71 RUSSELL AVE  
SHEET TITLE:  
**BUILDING SECTIONS**

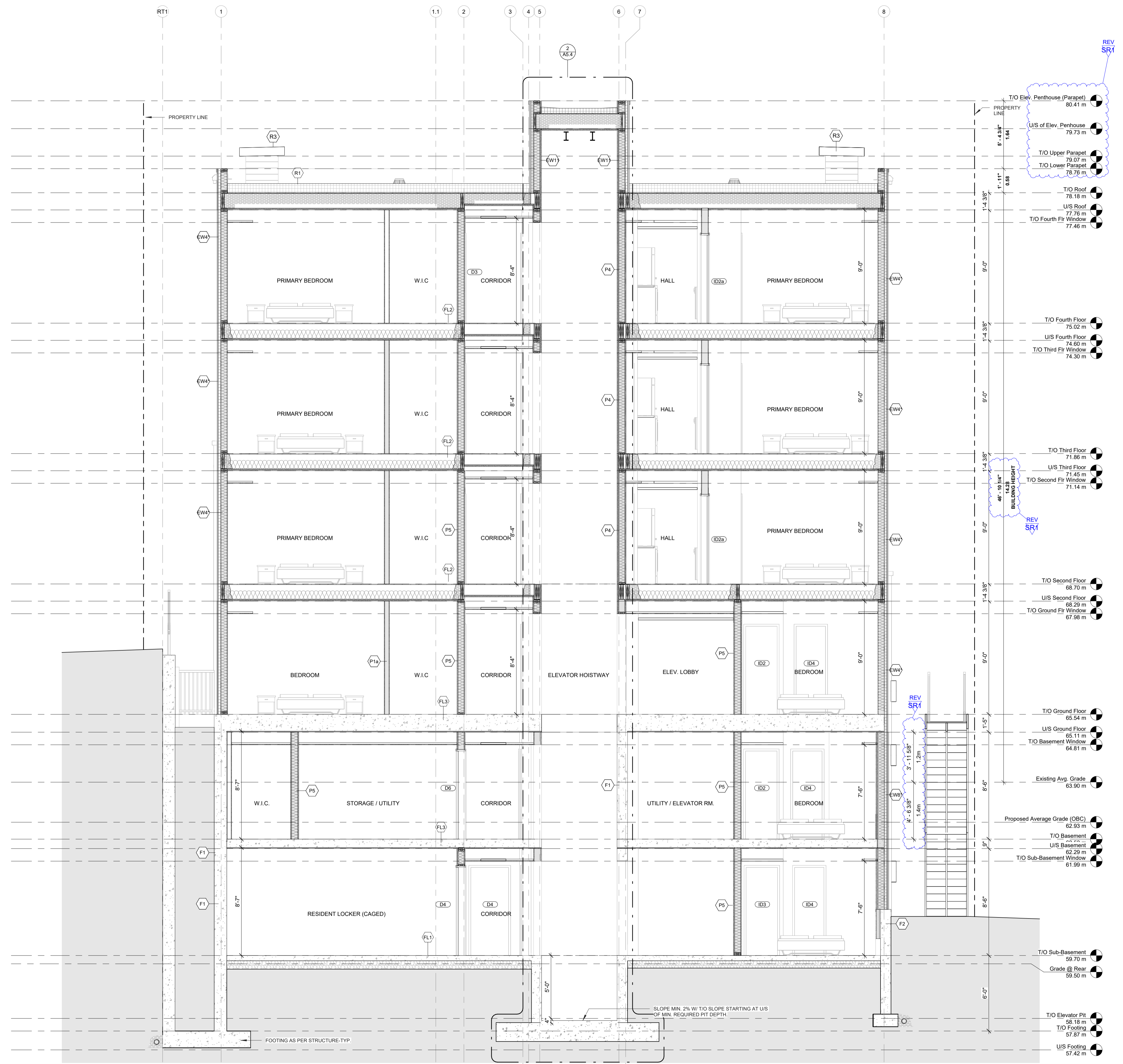
DRAWN BY:  
Y.R.

CHECKED BY:  
B.L.

PROJECT DATE:  
**24-06-2025**

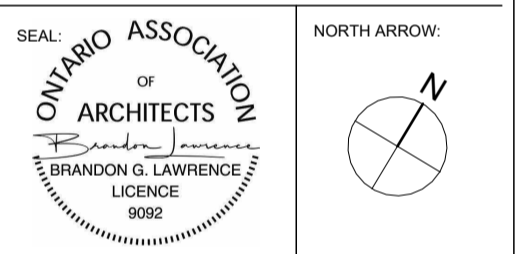
SCALE:  
**1/4" = 1'-0"**

**1 BUILDING SECTION (LONG.)**  
SCALE: 1/4" = 1'-0"



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PROJECT:  
**Russell Development**

71 RUSSELL AVE  
 SHEET TITLE:  
**BUILDING SECTIONS**

DRAWN BY:  
**Y.R.**

CHECKED BY:  
**B.L.**

PROJECT DATE:  
**24-06-2025**

SCALE:  
**1/4" = 1'-0"**

**1**  
**A5.1** BUILDING SECTION (SHORT)  
 SCALE: 1/4" = 1'-0"

**A5.1**  
 PLAN # 19441