



 **LAWRENCE**
ARCHITECTS

Russell Development

71 RUSSELL AVE

ISSUED FOR SPA RESPONSE 1

2026.04.17

ARCHITECTURAL



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PLANNING



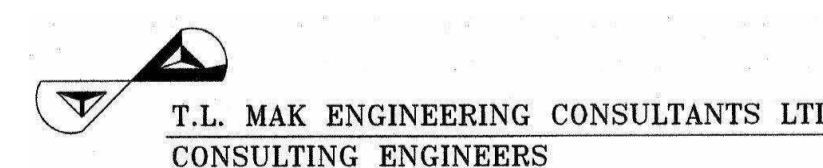
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D+M STRUCTURAL
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1455 YOUVILLE DR.
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3332 CARLING AVE.
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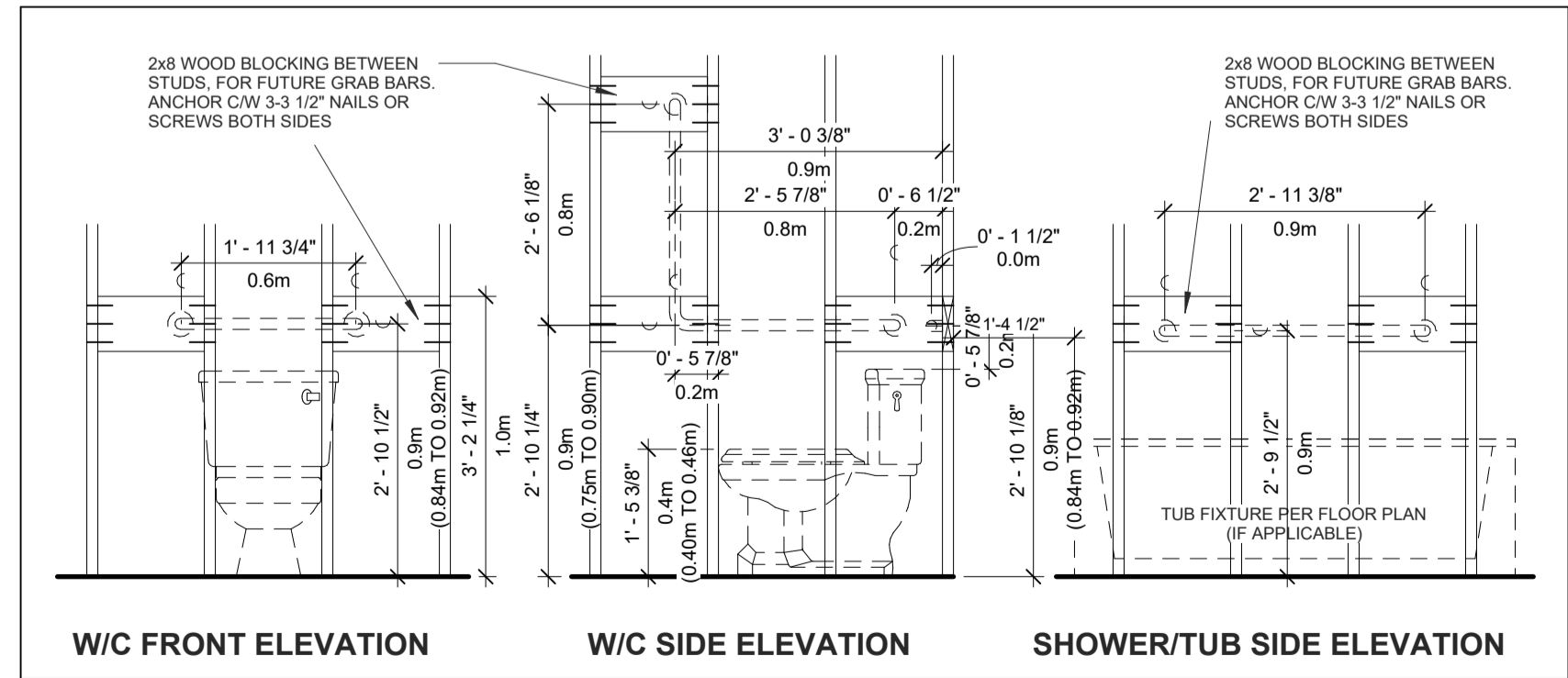
MECHANICAL /
ELECTRICAL



GOODKEY, WEEDMARK &
ASSOCIATES LTD. (GWA)
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OTTAWA, ON K2C 3R8
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EXTERIOR WALL ASSEMBLIES							
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
EW1	INT. EXT.	LOAD-BEARING EXTERIOR WALL - MASONRY VENEER <ul style="list-style-type: none"> 3-1/2" MASONRY VENEER. REFER TO ELEVATIONS FOR TYPE (COLOUR & PROFILE TBD BY OWNER) C/W TIES (INCL. INSULATION SUPPORT) & WEAP HOLES @ 2'-7" O.C. 1" AIR SPACE & MASONRY CAVITY MESH 2" RIGID INSULATION (R-10 CI) VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED. 5/8" EXTERIOR GRADE SHEATHING 2"x6" WOOD STUDS @ 16" O.C. C/W MIN. R-13 BATT INSULATION 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS) 5/8" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P) WOOD FRAMED AND OTHER = R13 + CI R10	--	--
EW2	INT. EXT.	LOAD-BEARING EXTERIOR WALL - MASONRY VENEER <ul style="list-style-type: none"> 3-1/2" STONE. REFER TO ELEVATIONS FOR TYPE (COLOUR & PROFILE TBD BY OWNER) C/W TIES (INCL. INSULATION SUPPORT) & WEAP HOLES @ 2'-7" O.C. 1" AIR SPACE & MASONRY CAVITY MESH 2" RIGID INSULATION (R-10 CI) VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED. 5/8" EXTERIOR GRADE SHEATHING 2"x6" WOOD STUDS @ 16" O.C. C/W MIN. R-13 BATT INSULATION 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS) 5/8" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P) WOOD FRAMED AND OTHER = R13 + CI R10	--	--
EW3	INT. EXT.	LOAD-BEARING EXTERIOR WALL - COMPOSITE PANEL <ul style="list-style-type: none"> COMPOSITE PANEL (COLOUR & PROFILE TBD BY OWNER). INSTALL AS PER MANUFACTURER INSTRUCTIONS. THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER 2" RIGID INSULATION (R-10 CI) C/W 2" HORIZONTAL Z-GIRT VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED. 5/8" EXTERIOR GRADE SHEATHING 2"x6" WOOD STUDS @ 16" O.C. C/W MIN. R-13 BATT INSULATION 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS) 5/8" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P) WOOD FRAMED AND OTHER = R13 + CI R10	--	--
EW4	INT. EXT.	LOAD-BEARING EXTERIOR WALL - HARDIE SIDING (HORIZONTAL) <ul style="list-style-type: none"> HARDIE HORIZONTAL SIDING (COLOUR & PROFILE TBD BY OWNER). INSTALL AS PER MANUFACTURER INSTRUCTIONS. THERMALLY BROKEN FASTENING SYSTEM AS PER MANUFACTURER 2" RIGID INSULATION (R-10 CI) C/W 2" HORIZONTAL Z-GIRT VAPOR PERMEABLE AIR BARRIER OR SELF ADHESIVE WATERPROOFING MEMBRANE (BLUESKIN) - ALL JOINTS SEALED. 5/8" EXTERIOR GRADE SHEATHING 2"x6" WOOD STUDS @ 16" O.C. C/W MIN. R-13 BATT INSULATION 6MIL POLY VAPOR BARRIER (LAP & SEAL ALL JOINTS) 5/8" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P) WOOD FRAMED AND OTHER = R13 + CI R10	--	--

INTERIOR PARTITION ASSEMBLIES							
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
P1a		TYP. NON-RATED PARTITION <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P1b		TYP. NON-RATED PARTITION <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P2a		TYP. NON-RATED INSULATED PARTITION <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. C/W FIBERGLASS BATT INSULATION 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO) PROVIDE SOUND ATTENUATION BATT INSULATION AROUND BEDROOMS, WASHROOMS, LAUNDRY & PLUMBING CHASES
P2b		TYP. NON-RATED INSULATED PARTITION <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. C/W FIBERGLASS BATT INSULATION 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO) PROVIDE SOUND ATTENUATION BATT INSULATION AROUND BEDROOMS, WASHROOMS, LAUNDRY & PLUMBING CHASES
P3a		NON-RATED PARTITION - PLUMBING CHASE <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO) PROVIDE SOUND ATTENUATION BATT INSULATION AROUND BEDROOMS, WASHROOMS, LAUNDRY & PLUMBING CHASES
P3b		NON-RATED PARTITION - PLUMBING CHASE <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO) PROVIDE SOUND ATTENUATION BATT INSULATION AROUND BEDROOMS, WASHROOMS, LAUNDRY & PLUMBING CHASES
P3c		NON-RATED PARTITION - PLUMBING CHASE <ul style="list-style-type: none"> 1/2" GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 16" O.C. 	--	--	--	--	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO) PROVIDE SOUND ATTENUATION BATT INSULATION AROUND BEDROOMS, WASHROOMS, LAUNDRY & PLUMBING CHASES
P4		RATED ELEVATOR WALL <ul style="list-style-type: none"> 5/8" TYPE-X GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 24" O.C. MAX C/W BATT INSULATION 1/2" METAL RESILIENT CHANNELS @ 24" O.C. (2) 5/8" TYPE-X GYPSUM BOARD (TAPED, SANDED, & PAINT) 	1HR	ULC W313	--	55 NDAL 22-0724	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)
P5		RATED INTERIOR PARTITION <ul style="list-style-type: none"> 5/8" TYPE-X GYPSUM BOARD (TAPED, SANDED, & PAINT) 2x4 WOOD STUDS @ 24" O.C. MAX C/W BATT INSULATION 1/2" METAL RESILIENT CHANNELS @ 24" O.C. (2) 5/8" TYPE-X GYPSUM BOARD (TAPED, SANDED, & PAINT) 	1HR	uL U505	--	52-NDAL 19-0111	STUDS & GYPSUM TO EXTEND TO US OF FLOOR/TRUSS OR GYPSUM CEILING (UNO)



Sheet List	
A0.0	COVER SHEET
A0.1	GENERAL NOTES AND SPECS
A1.0	SITE PLAN
A1.1	SITE CONTEXT
A2.0	FOUNDATION PLAN
A2.1	SUB-BASEMENT PLAN
A2.2	BASEMENT FLOOR PLAN
A2.3	GROUND FLOOR PLAN
A2.4	SECOND FLOOR PLAN
A2.5	THIRD FLOOR PLAN
A2.6	FOURTH FLOOR PLAN
A2.7	ROOF PLAN
A2.8	FIRE SAFETY PLANS
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A4.2	ELEVATIONS
A4.3	BUILDING PERSPECTIVE
A5.0	BUILDING SECTIONS
A5.1	BUILDING SECTIONS
A5.2	SECTIONS

FOUNDATION WALL ASSEMBLIES							
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
F1	INT. EXT.	EXTERIOR FOUNDATION WALL <ul style="list-style-type: none"> CEMENT PARPING FOR EXPOSED FDN WALL TO 8" BELOW GRADE. PROVIDE TERMINATION BAR BETWEEN PARPING & DRAINAGE MEMBRANE DIMPLED DRAINAGE MEMBRANE FROM GRADE TO T/O FOOTING BITUMINOUS DAMPROOFING CONCRETE WALL - REFER TO PLANS FOR WALL THICKNESS 	--	--	--	--	FOUNDATION WALLS TO BE CHECKED AS INDICATED ON PLANS. PROVIDE ADDITIONAL REINFORCING AT NON-LATERALLY SUPPORTED WALLS AS INDICATED.
F2	INT. EXT.	EXTERIOR FOUNDATION WALL @ INTERIOR CONDITIONED SPACE <ul style="list-style-type: none"> CEMENT PARPING FOR EXPOSED FDN WALL TO 8" BELOW GRADE. PROVIDE TERMINATION BAR BETWEEN PARPING & DRAINAGE MEMBRANE DIMPLED DRAINAGE MEMBRANE FROM GRADE TO T/O FOOTING BITUMINOUS DAMPROOFING CONCRETE WALL - REFER TO PLANS FOR WALL THICKNESS 1" AIR SPACE 2x3 WOOD STUDS @ 16" O.C. MAX. C/W MIN. R20 CLOSED CELL SPRAY FOAM INSULATION FILLING STUD CAVITY AND AIR SPACE BEYOND 1/2" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P) WALLS BELOW GRADE = R-20	--	FOUNDATION WALLS TO BE CHECKED AS INDICATED ON PLANS. PROVIDE ADDITIONAL REINFORCING AT NON-LATERALLY SUPPORTED WALLS AS INDICATED.

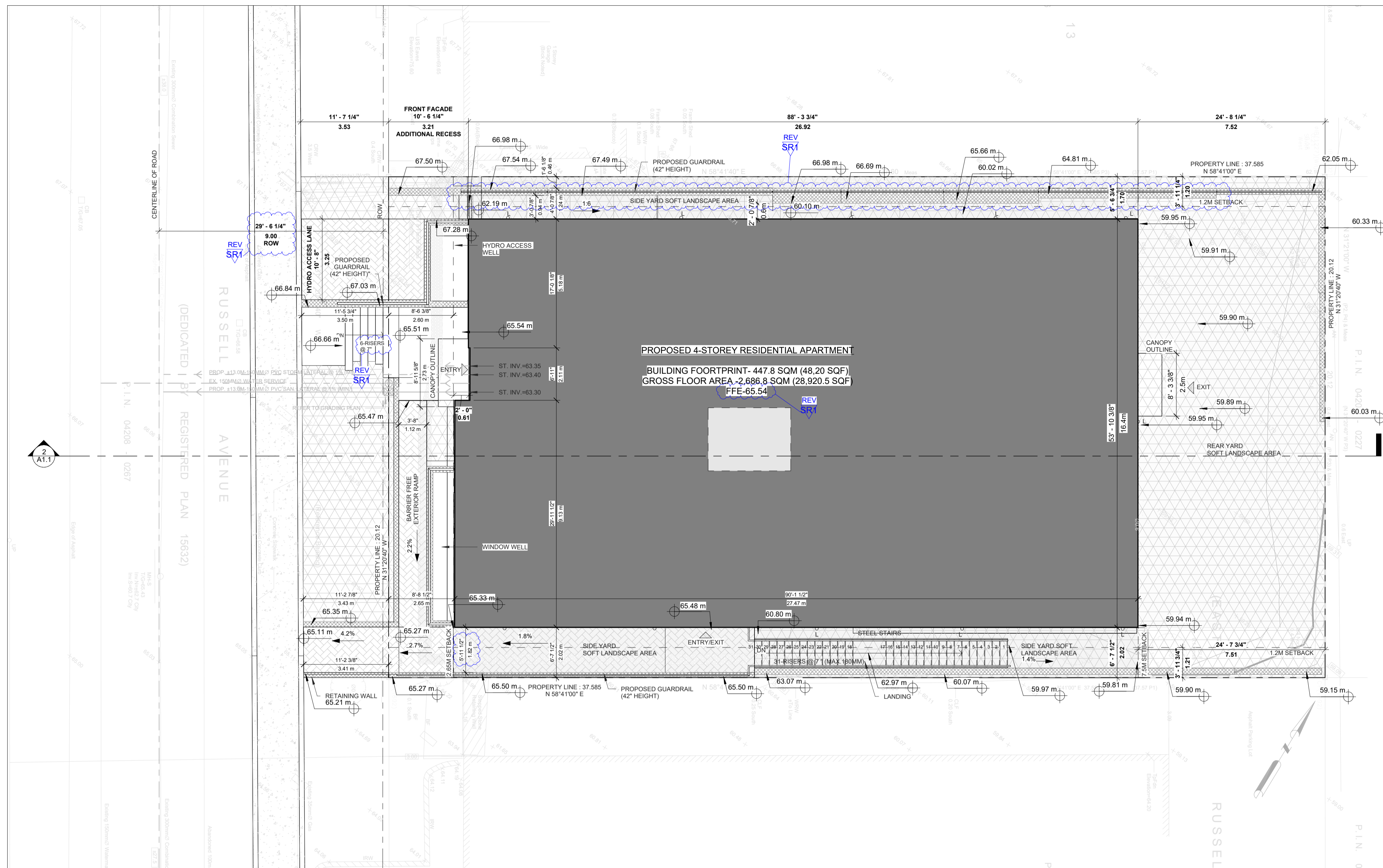
ROOF ASSEMBLIES							
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
R1		FLAT ROOF ASSEMBLY <ul style="list-style-type: none"> 2 PLY MOD BIT ROOFING MEMBRANE (INSTALLATION AS PER MANUFACTURER SPECS.) SLOPED RIGID INSULATION. SLOPE MIN. 2%. DIRECTION AS INDICATED ON PLANS SELF ADHESIVE AIRWEATHER BARRIER - ALL JOINTS SEALED 5/8" EXTERIOR GRADE SHEATHING C/W H-CLIPS T80 JOISTS @ 16" O.C. C/W MIN. R31 CLOSED CELL SPRAY FOAM INSULATION (CONTINUOUS VAPOR BARRIER) 1/3" WOOD STRAPPING @ 16" O.C. MAX. 1/2" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P) ENTIRELY ABOVE DECK = R35 cl	--	ENTIRELY ABOVE DECK = R35 cl

FLOOR ASSEMBLIES							
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
FL1		GARAGE SLAB-ON-GRADE <ul style="list-style-type: none"> FLOOR FINISH (TBD BY OWNER) 4" CONCRETE SLAB ON GRADE - 32MPS C/W WELDED WIRE MESH AT MID DEPTH 6MIL REINFORCED POLY. VAPOUR BARRIER CONTINUOUS R10 INSULATION UNDER SLAB 8" COMPACTED GRANULAR FILL UNDISTURBED SOIL OR COMPACTED FILL, REFER TO GEO-TECHNICAL REPORT 	--	--	SB-10, ZONE 6, TABLE SB 5.5.6-2017 (I-P)	--	SLAB-ON-GRADE FLOORS = R-10 FULL SLAB
FL2		TYP. SECOND AND THIRD FLOOR <ul style="list-style-type: none"> 1 1/2" GYPCRETE TOPPING 5/8" TAG PLYWOOD SUBFLOOR (GLUED & SCREWED) 14" TRENG FLOOR JOISTS (REFER TO MANUFACTURER SHOP DWGS) 1/2" METAL FURRING @ 16" O.C. MAX. 5/8" GYPSUM BOARD 5/8" GYPSUM BOARD (TAPED, SANDED & PAINT) 	--	--	--	--	PROVIDE CLOSED CELL SPRAY FOAM INSULATION @ PERIMETER OF FLOOR ABUTTING EXTERIOR WALL. R-VALUE TO MATCH EXTERIOR WALL ASSEMBLY.

CEILING ASSEMBLIES							
TYPE	CONSTRUCTION	DESCRIPTION	FRR	REF.	R-VALUE (MIN)	STC	NOTES
C1		SUSPENDED RATED GYPSUM CEILING <ul style="list-style-type: none"> SUPPORTING FRAMING MEMBERS / RATED SUSPENDED SYSTEM (2) 5/8" TYPE-X GYPSUM BOARD (TAPED, SANDED & PAINT) 	1HR	NBCC APPENDIX D TABLE D.2.3.4-B	--	--	

GENERAL NOTES		LIST OF ABBREVIATIONS:	
1.	ALL WALLS TO BE CONTINUOUS FROM FLOOR TO US OF FLOOR/TRUSS OR FIRE RATED GYPSUM CEILING UNO.	ACT	ACOUSTIC CEILING TILE
2.	ALL INTERIOR CORRIDORS AND DEMISING WALLS BETWEEN SUITES TO BE TYPE P4 UNO.	AF	ALUMINUM
3.	REPLACE GYPSUM BOARD WITH TILE BACKER IN AL AREAS HAVING CERAMIC TILE WALL FINISH. ENSURE LISTED FIRE RATINGS ARE MAINTAINED.	ARCH	ARCHITECTURAL
4.	INTERIOR STUD WALLS: PROVIDE TWO ROWS OF CONTINUOUS ACOUSTICAL CAULKING AT STUD TOP & BOTTOM PLATE.	ASSY	ASSEMBLY
5.	PIECEMEAL OF GYPSUM BOARD SHEETS IS NOT ACCEPTABLE.	BD	BOARD
6.	JOINTS OF LAYERED GYPSUM BOARD SHOULD BE STAGGERED.	BG	BUILDING GRADE
7.	CAULK AT TOP AND BOTTOM OF WALLS AT EDGE OF GYPSUM BOARD PANELS.	BLDG	BUILDING
8.	PROVIDE CAULKING ROD BACKUP AT ANY GAP OVER 1/4".	CB	CATCH BASIN
9.	ELECTRICAL AND DEVICE BOXES ON OPPOSING FACES OF WALL SHALL BE LOCATED IN SEPARATE STUD CAVITIES.	CC	CENTER TO CENTER
10.	RUN FIBERGLASS BATT/MINERAL WOOL (REFER TO WALL TYPE) INSULATION BEHIND AND AROUND ALL ELECTRICAL BOXES. NO BACK TO BACK ELECTRICAL BOXES.	CD	CONTROL JOINT
11.	BACKING TO BE PROVIDED AT ALL MILLWORK LOCATIONS. COORDINATE ON SITE.	CL	CENTER LINE
12.	SEAL ALL PENETRATIONS THROUGH ACOUSTICAL RATED WALLS (PARTY WALLS) TIGHT WITH A COMBINATION OF JOINT COMPOUND AND ACOUSTICAL CAULK.	CLG	CLEAR
13.	PROVIDE WOOD BLOCKING WITHIN WALL TO PROVIDE ANCHORAGE FOR CABINETS, WASHROOM ACCESSORIES, HAND RAILINGS. ECT. BLOCKING SHALL NOT LINK BOTH SIDES OF A WALL. PLYWOOD MAY BE USED AS BLOCKING ON THE INNER LAYER OF DOUBLE LAYER WALL ASSEMBLIES. 18GA METAL STRIPS IN 6" WIDTH & CONTINUOUS THROUGHOUT LENGTH OF BLOCKING REQUIREMENT MAY ALSO BE USED.	CLR	CLEAR
14.	PROVIDE 3/4" FIRE-RATED TREATED PLYWOOD, GOOD ONE SIDE WITH FIRE RETARDANT PAINT, FOR MOUNTING OF ALL ELECTRICAL PANELS, CABLING, COMMUNICATION BELL, AND SECURITY PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.	COL	COLUMN
15.	THICKEN WALLS AS REQUIRED TO ACCOMMODATE ELECTRICAL PANELS & MECHANICAL ITEMS. CONTRACTOR TO CONFIRM CODE COMPLIANCE WITH ARCHITECT BEFORE SITE WORK BEGINS.	CMC	CONCRETE
16.	FOR ASSEMBLIES REQUIRING TO CONFORM TO A LISTED UL/CUL RATING, MATERIALS WITHIN THE ASSEMBLY SHALL BE EXACTLY AS PER THE TESTED ASSEMBLY. ALL MATERIAL SHALL BE LABELED WITH UL/CUL IDENTIFICATION.	CPT	CARPET
17.	ALL ELECTRICAL SWITCHES ARE TO BE LOCATED BETWEEN 4"-8" FROM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO ACCOMMODATE THE LOCATION OF SWITCHES SHOWN ON ELECTRICAL DRAWINGS AND SUIT THE APPROVED SUITE MOCK-UP.	CR	CARD READER
18.	PROVIDE SCUPPERS AT EDGES OF ROOF WHERE OVER FLOW CONTROL ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH ARCHITECT.	CT	CURTAIN WALL
19.	ALL FIRE DAMPER INSTALLATION TO BE PER MANUFACTURER INSTRUCTIONS - HVAC CONTRACTOR TO COORDINATE ON SITE WITH DRYWALL/FRAMING CONTRACTOR TO ENSURE INSTALLATION INSTRUCTIONS ARE FOLLOWED EXACTLY AND ACCESS DOORS ARE PROVIDED.	CW	COMPLETE WITH
20.	PROVIDE ALL CLOSETS WITH MINIMUM 1 FULL WIDTH SHELF 12" DEEP AND WITH ONE FULL WIDTH HANGER ROD.	DM	DIMENSION
21.	ANY WASHROOM WALLS ADJACENT TO LIVING SPACES/PUBLIC AREAS ARE TO HAVE SOUND ATTENUATING BATT INSULATION - ULC APPROVED IF REQUIRED - IN THE STUD CAVITIES (TO FILL CAVITY).	DO	DOOR
22.	ALL GYPSUM BOARD IS TO EXTEND TO FULL HEIGHT OF PARTITION UNO.	EQ	EQUAL
23.	INTERIOR DOORS TO BE INSTALLED 4" FROM ADJACENT WALL UNO.	ES	EMERGENCY SCUPPER
		EXP	EXPOSED
		EXT	EXTERIOR
		FA	FIRE ALARM
		FD	FLOOR DRAIN
		FEC	FIRE EXTINGUISHER CABINET
		FHC	FIRE HOSE CABINET
		FIN	FINISH
		FL	FLOOR
		FRR	FIRE RESISTANCE RATING
		GL	GLASS/ GLAZING
		GB	GYPSUM BOARD
		GYP	GYPSUM WALLBOARD
		HM	HOLLOW METAL
		HWT	HOT WATER TANK
		INT	INTERIOR
		JO	JOINT
		LTG	LIGHTING
		MAX	MAXIMUM
		MECH	MECHANICAL
		MC	MEDICINE CABINET
		MIN	MINIMUM
		NBC	NATIONAL BUILDING CODE
		NO	NUMBER
		NTS	NOT TO SCALE
		OB	ONTARIO BUILDING CODE
		OC	ON CENTER
		OH	OVERHEAD
		PT	PRESSURE TREATED
		PLAM	PLASTIC LAMINATE
		PSF	PRESSED STEEL FRAME
		PVC	POLY VINYL CHLORIDE
		REF	REFLECTED CEILING PLAN
		RD	ROOF DRAIN
		REIN	REINFORCED
		REQD	REQUIRED
		RWL	RAIN WATER LEADER
		S	SHOWER
		SIM	SIMILAR
		SS	STAINLESS STEEL
		TOP	TOP OF
		TYP	TYPICAL
		UNB	UNDERBIE
		VCT	VINYL COMPOSITION TILE
		VEST	VESTIBULE
		WC	WATER CLOSET

ONTARIO BUILDING CODE MATRIX		OBC Reference			
Item	Code	Part 11	Part 3	Part 9	Part 10
1	Project Type	<input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Part 11	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9
2	Major Occupancy (s)	Group C	3.1.2.	9.10.2.	
3	Building Area (m²)	Existing New Total	1.4.1.2 [A]	1.4.1.2 [A]	
4	Gross Area (m²)	Existing New Total	1.4.1.2 [A]	1.4.1.2 [A]	
5	Number of Stories	Above Grade Below Grade	1.4.1.2 [A] & 3.2.1.1.	1.1.1.2 [A] & 9.10.4.	
6	Height of Building (m)	TBD	3.2.1.0 & 3.2.5.	9.10.20.	
7	Number of Street/ Fire Fighter Access	1	3.2.1.0 & 3.2.4.9.	3.2.4.15. & 3.2.5.12-14.	
8	Building Classification	3.2.2.51 OBC	3.2.2.0 - 93	9.10.2.	
9	Sprinkler System Proposed	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> Not Required	3.2.2.0 - 93	9.10.8.2-4. & 3.2.4.7(4)	
10	Standpipe Required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.8-11.	N/A	
11	Fire Alarm Required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4.	9.10.18.	
12	Water Service/ Supply is adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7.	9.10.3.	
13	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6.	N/A	
14	Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Encapsulated Mass Timber	3.2.2.0 - 93	9.10.6. 3.1.5. & 3.1.4.7.	
15	Actual Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Encapsulated Mass Timber	3.2.2.0 - 93	9.10.6. 3.1.5. & 3.1.4.7.	
16	Heavy Timber Construction	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.1.4.6., 7., & 3.2.2.16.	9.10.4.1.	
17	Mezzanine(s) Area (m²)	N/A	3.2.1.1. (3)-8)	9.10.4.1.	
18	Occupant load based on 1st Floor:	<input checked="" type="checkbox"/> m/person	3.1.17.1.	9.9.1.3.	
19	Occupant load based on ADDL. Floor ():	Occupancy Group Load Persons Occupancy Group Load Persons Occupancy Group Load Persons	3.1.17.1.	9.9.1.3.	
20	Total Occupant Load	Load Persons	3.1.17.1.	9.9.1.3.	
21	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8.	9.8.2. 3.8.	
22	Barrier-free Entrances	1	3.8.1.2	9.10.1.3.	
23	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19	9.10.3.	
24	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)	Listed Design No. or Description (SB-2)	3.2.2.0 - 93 3.2.1.2. 3.2.1.4. 3.2.2.15. 3.2.2.1.	9.10.11.
25	Floors	-	-	-	
26	Roof	-	-	-	
27	Mezzanine	-	-	-	
28	Exits	-	-		



1 Site Plan
A1.0 SCALE 1:100



2 LOCATION PLAN
A1.0 SCALE 1" = 80'-0"

NOTE#	NOTE
(E)AS	EXISTING ASPHALT SURFACE - REFER TO SURVEY
(E)BU	EXISTING BUSHES - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE CURB - REFER TO SURVEY
(E)CSW	EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
(E)OHV	EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY
(E)RW	EXISTING RETAINING WALL - REFER TO SURVEY
(E)T	EXISTING TREE - REFER TO SURVEY
(E)TR	EXISTING TREE TO BE REMOVED - REFER TO SURVEY
B	BOLLARD, 8MM X 125MM DIA. X 1050MM PAINTED GALVANIZED STEEL BOLLARD C/W WELDED CAP AND 8MM X 150MM BASE PLATE WITH 4 BOLT HOLES; SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 16MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION.
BPFS	PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 1500MM ABOVE GRADE AND NOT MORE THAN 2000MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE/ FOURSONNETTE ACCESSIBLE".
BR	BIKE RACK - REFER TO LANDSCAPE
CC	CONCRETE CURB - REFER TO CIVIL
CP	CONCRETE PAD - REFER TO CIVIL
CSW	CONCRETE SIDEWALK - REFER TO CIVIL
CY	CANOPY C/W RECESSED POT LIGHTS - REFER TO ELEC.
GM	GAS METER - REFER TO SITE SERVICING
PMT	PAD MOUNT TRANSFORMER - REFER TO CIVIL
PP	PAINTED PARKING LINES, TYP. - REFER TO CIVIL
RSL	ROOF STORM LINE - REFER TO CIVIL
RW	RETAINING WALL - REFER TO CIVIL
SL	SANITARY LINE - REFER TO CIVIL
STL	STORM LINE - REFER TO CIVIL
TWSI	TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE. - REFER TO CIVIL
WTS	WATER SERVICE - REFER TO CIVIL
WTSL	WEAVING TILE STORM LINE - REFER TO CIVIL

ZONING PROVISIONS (R4UD(480))	
	NEW OVERHEAD DOOR
	NEW DOOR ENTRANCE
	BICYCLE PARKING SPACE(1.8Mx0.6M)
	NO PARKING LINES
	NEW SIGN, REFER TO SIGN LEGEND
	FIRE ROUTE SIGN
	STREET LIGHT
	DESIGNATED ACCESSIBLE PARKING SPACE AS PER ADA
	BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWG'S
	PROPERTY LINE
	MINIMUM SETBACKS (ZONING)
	FENCE

PROJECT LEGAL DESCRIPTION
PIN 04208-0265 LOT 14 REGISTERED PLAN 58319
EAST SIDE OF RUSSELL AVENUE
CITY OF OTTAWA
 FARLEY, SMITH & DENIS SURVEYING LTD.
 FILE NO. 591-17
 DATE: JANUARY, 2018

PROJECT ZONING REVIEW / STATISTICS
 MUNICIPALITY: CITY OF OTTAWA
 MUNICIPAL ADDRESS: 71 RUSSELL AVE, OTTAWA, ON K1N 7X2
 REGISTERED OWNER: JERSEY DEVELOPMENTS INC.
 LOT AREA: 756.32 sqm (LOT AREA TAKEN FROM GEO-OTTAWA PARCEL INFORMATION)
 ZONING ANALYSIS: OTTAWA ZONE: R4UD LOW-RISE APARTMENT DWELLING (OR MORE UNITS)
 PROPOSED USE: 4 STOREY APARTMENT BUILDING (28 RESIDENTIAL UNITS)

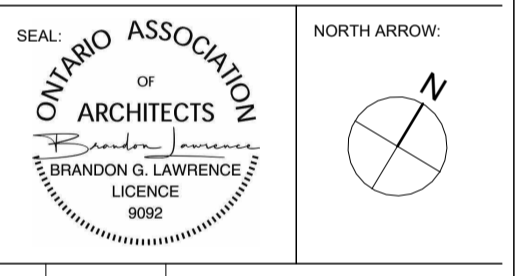
JERSEY DEVELOPMENTS INC.
 NOTES:
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 3) DO NOT SCALE DRAWINGS.
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	447.8 M ²	4,820 FT ²
GROSS FLOOR AREA:		
BASEMENT	447.8 M ²	4,820 FT ²
SUB-BASEMENT	447.8 M ²	4,820 FT ²
GROUND FLOOR	447.8 M ²	4,820 FT ²
SECOND FLOOR	447.8 M ²	4,820 FT ²
THIRD FLOOR	447.8 M ²	4,820 FT ²
FOURTH FLOOR	447.8 M ²	4,820 FT ²
TOTAL	2,686.8 M ²	28,920 FT ²

ZONING PROVISIONS (R4UD(480))	SECTION	REQUIRED	PROVIDED
MIN. LOT WIDTH	S162, TABLE 162A	15M	20.12M
MIN. LOT AREA	S162, TABLE 162A	450M ²	756.5M ²
MAX. BUILDING HEIGHT	S162, TABLE 162A	14.5M	14.28M
MIN. FRONT YARD SETBACK	S144(1)(A); S162, TABLE 162A	1.4 SO (D) MIN. 1.5 APPLIES	2.65M
MIN. REAR YARD SETBACK TABLE 144A(III)	S143(3)(A)	11.27M (30% OF LOT DEPTH)	7.52M (20.02% OF LOT DEPTH)
MIN. REAR YARD AREA	S143(3)(A)	189.12M ² (25% OF LOT AREA)	151.67M ² (20.04% OF LOT AREA)
MIN. INTERIOR YARD SETBACK	S162, TABLE 162A	1.5M	2.02M, 1.7M
MIN. AREA OF SOFT LANDSCAPING IN REAR YARD	S161(15)(B)(i)	AREA=450M ² ; 50% OF REAR YARD AREA	100%
	S161(15)(B)(ii)	MIN. AGGREGATE AREA OF 25M ² ; W/ ONE DIMENSION <= 2M	
MIN. LANDSCAPED AREA	S161(8)	226.95M ² (30% OF LOT AREA)	281.0M ² (37.1% OF LOT AREA)
MIN. AGGREGATE FRONT YARD SOFT LANDSCAPED AREA	S161, TABLE 161	10.46M ² (20% FOR LOT WITH FYS 1.5M-3M)	25.48M ² (56.9% OF FRONT YARD AREA)
MIN. FENESTRATION REQUIREMENT	S161(15)(G)	FRONT FACADE : 25% WINDOWS=52.5M ²	29.45%+61.73M ²
MIN. FRONT FACADE ADDITIONAL RECESS	S161(15)(H)	0.6M (MIN. 20% OF FRONT FACADE)	0.61M (28.3M ² -13.4%) 0.56 (63M ² -29.9%)
MIN. PARKING SPACE	S106(1)	2.6m (WIDTH) X 5.2m (LENGTH) MAX. WIDTH<3.1M	N/A
UNIT BREAKDOWN	S161(16)	25% 2 BEDROOM UNITS TOTAL UNITS: 28 MIN. 2-BEDROOM UNITS: 7	43% PROVIDED TOTAL 2-BEDROOM UNITS: 12
MAX. DRIVEWAY WIDTH	S139, TABLE 139(3)(ii)	3M. NO DOUBLE DRIVEWAY PERMITTED	N/A
DRIVEWAY SEPARATION FROM INTERIOR LOT LINE	S139, TABLE 139(3)(ii)	0.15M (LANDSCAPED / DECORATIVE BRICK)	N/A
MIN. BICYCLE PARKING	S111, TABLE 111(A)(B)	14 (0.5 PER DWELLING UNIT)	32
MIN. NUMBER OF PARKING SPACES (RESIDENT)	S110	S101(3)(A) PARKING ONLY REQUIRED FOR UNITS >= 12: 16 UNITS @ 0.5 SPACES PER DU = 8 SPACES	0 SPACES
MIN. NUMBER OF PARKING SPACES (VISITOR)	S102	S 102(2) 0 SPACES <= 12 SPACES TABLE 102, 0.1 SPACES PER DU @ 16 UNITS = 1.6 (2 SPACES)	0 SPACES
ENCROACHMENTS: CANOPIES (LOW-RISE, MULTIPLE RESIDENTIAL)	S65(4)(B)(i)	A DISTANCE OF 1/2 THE DEPTH OF THE FRONT, REAR OR CORNER SIDE YARD, BUT NOT CLOSER THAN 0.6 M TO THE LOT LINE	FRONT - 1.2M REAR - 1.0M
ENCROACHMENTS: CANOPIES (LOW-RISE, MULTIPLE RESIDENTIAL)	S65(4)(B)(ii)	1.8 M INTO AN INTERIOR SIDE YARD, BUT NOT CLOSER THAN 0.6 M TO A SIDE LOT LINE	N/A
ENCROACHMENTS: OPEN STAIRWAYS	S65(5)(B)	WHERE AT OR BELOW THE FLOOR LEVEL OF THE FIRST FLOOR: 1. IN THE CASE OF THE INTERIOR SIDE YARD OR REAR YARD: NO LIMIT, AND 2. IN THE CASE OF THE FRONT YARD OR CORNER SIDE YARD: NO CLOSER THAN 0.6M TO A LOT LINE, AND	2.3M / 7'-9" BEYOND FRONT PROPERTY LINE
ENCROACHMENTS: OPEN STAIRWAYS	S65(4)(B)(ii)	OTHER CASES: IN THE CASE OF ANY YARD: 1.5 M, BUT NOT CLOSER THAN 1.8M TO A LOT LINE, EXCEPT THAT SWITCHBACK STAIRS AND LANDINGS MAY PROJECT 2.2M INTO THE REAR YARD WHERE THESE ARE INTENDED TO PROVIDE A MEANS OF EGRESS FOR DWELLING UNITS LOCATED ON THE SECOND AND HIGHER STOREYS.	0.3M / 1'-1" EXTERIOR FACE OF STAIR TO PROPERTY LINE

BUILDING FLOOR STATISTICS-APARTMENT TYPES (TOTAL)				
FLOOR LEVEL	SUITE COUNT	SUITE TYPES	TWO BEDROOM	TWO BED + OFFICE/PANTRY
SUB-BASEMENT	3	ONE BEDROOM	2	1
BASEMENT	5	ONE BEDROOM	4	1
GROUND FLOOR	5	ONE BEDROOM	4	1
SECOND FLOOR	5	ONE BEDROOM	2	3
THIRD FLOOR	5	ONE BEDROOM	2	3
FOURTH FLOOR	5	ONE BEDROOM	2	3
TOTAL	28	ONE BEDROOM	16	10
SUITE MIX	100%	16/28=57.14%	12/28=42.86%	

BUILDING FLOOR STATISTICS-APARTMENT TYPES (BARRIER FREE UNITS - OBC 2024 3.8.2.1(7))				
FLOOR LEVEL	SUITE COUNT (B.F. ONLY)	SUITE TYPES	TWO BEDROOM	TWO BED + OFFICE/PANTRY
SUB-BASEMENT	1	ONE BEDROOM	1	N/A
BASEMENT	1	ONE BEDROOM	1	N/A
GROUND FLOOR	1	ONE BEDROOM	1	N/A
SECOND FLOOR	2	ONE BEDROOM	N/A	1
THIRD FLOOR	2	ONE BEDROOM	N/A	1
FOURTH FLOOR	2	ONE BEDROOM	N/A	1
TOTAL	9	ONE BEDROOM	3	3
SUITE MIX	100%	33.33%	33.33%	33.33%

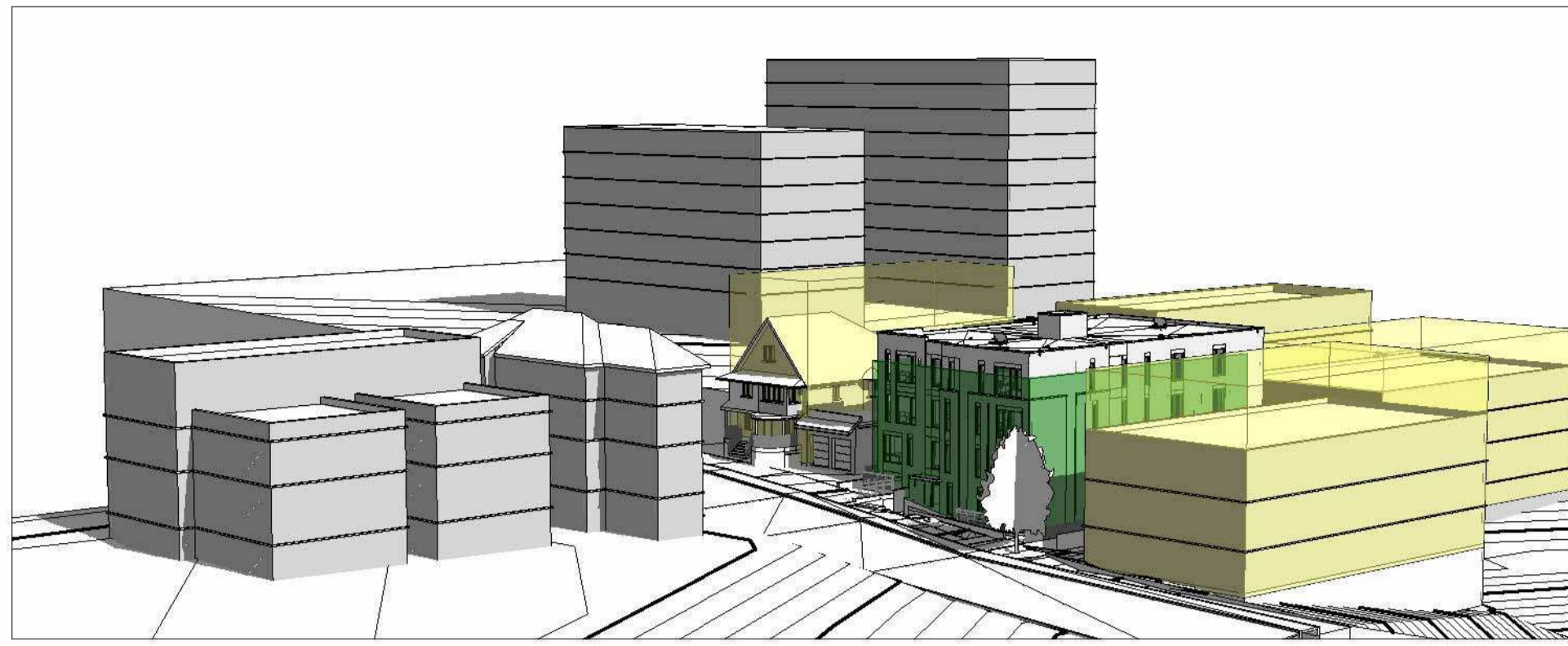


No.	DATE	REVISION
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02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

LAWRENCE ARCHITECTS
 205-18 DEAKIN STREET
 OTTAWA, ONTARIO
 K2E 8B7
 T: (613) 738-7770
 E: INFO@LAWRENCEARC.COM

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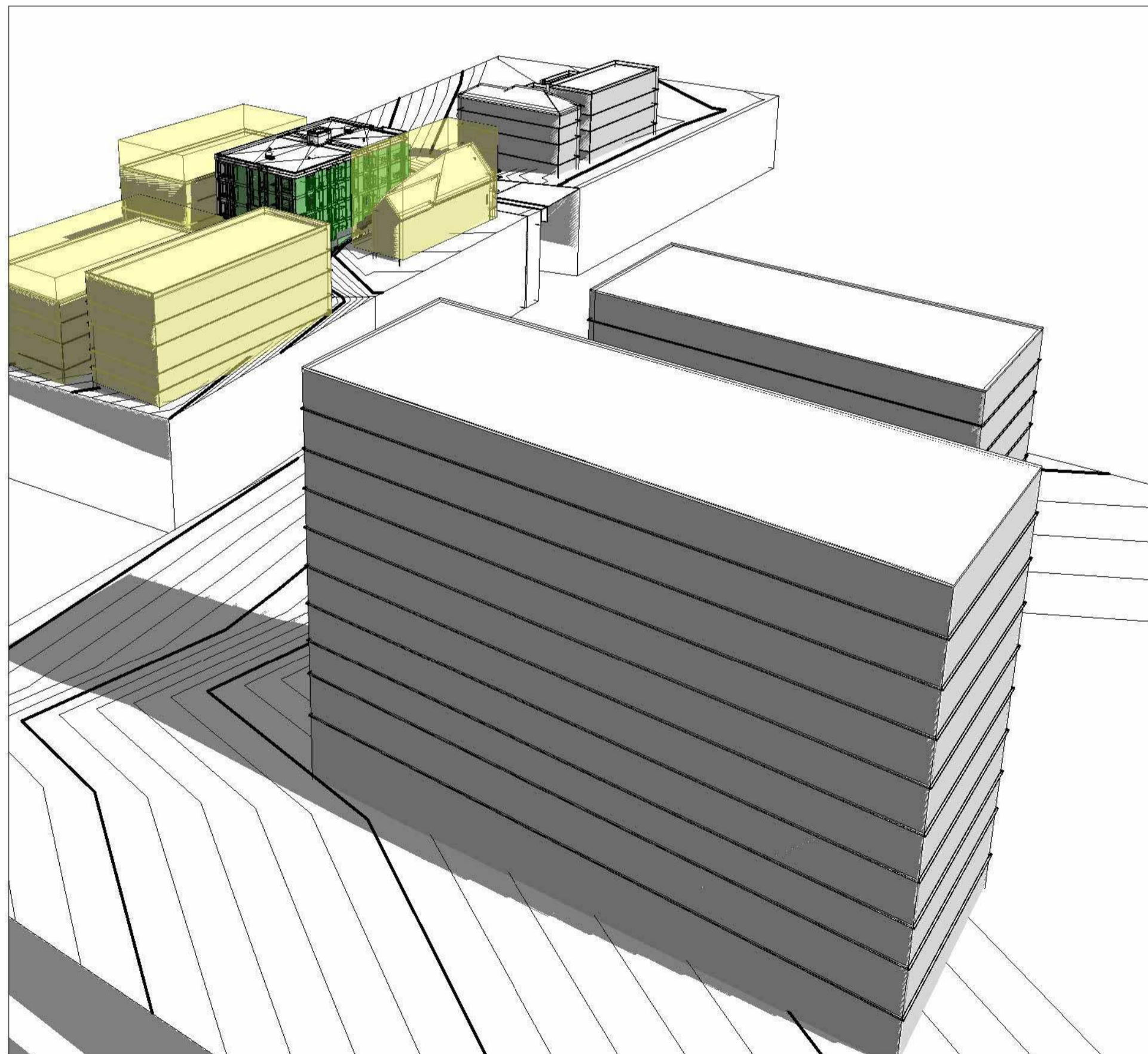
PROJECT:
Russell Development
71 RUSSELL AVE
SHEET TITLE:
SITE PLAN
DRAWN BY:
Y.R.
FLAT DATE:
17-04-2026 14:41:34
JOB NUMBER:
LA-1158-25
CHECKED BY:
B.L.
PROJECT DATE:
24-06-2025
SCALE:
As Indicated



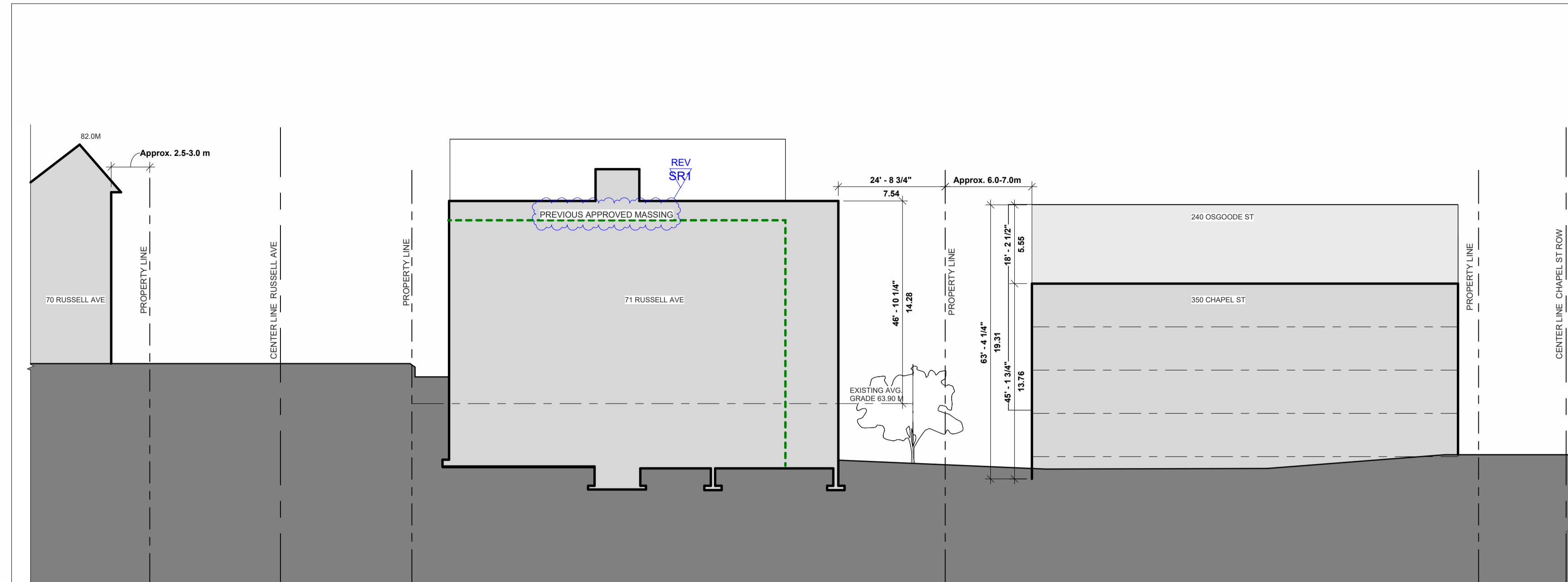
1 Context 1
A1.1 SCALE



5 Context 2
A1.1 SCALE



4 Context 3
A1.1 SCALE



2 SITE SECTION
A1.1 SCALE 1" = 20'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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LEGEND

- PLANNED CONTEXT
- APPROVED MASSING (PREV.)

REV SR1

SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
BRANDON G. LAWRENCE
LICENSE 9092

NORTH ARROW

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03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

LAWRENCE ARCHITECTS

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PROJECT:
Russell Development

71 RUSSELL AVE

SHEET TITLE:
SITE CONTEXT

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PLOT DATE:
17-04-2026 14:42:01

PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:
As Indicated

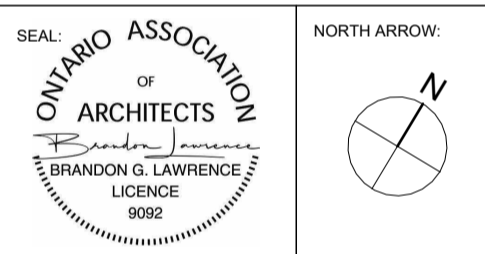
A1.1

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WALL HATCH LEGEND

- REFER TO SHEET A0.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- REFER TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

[Hatch Pattern]	INSULATED WALL
[Hatch Pattern]	NON-INSULATED WALL
[Hatch Pattern]	ENGINEERED SHEAR WALL
[Hatch Pattern]	LOADBEARING WALL



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01	2025.11.13	ISSUED FOR REVIEW



205-16 DEAKIN STREET
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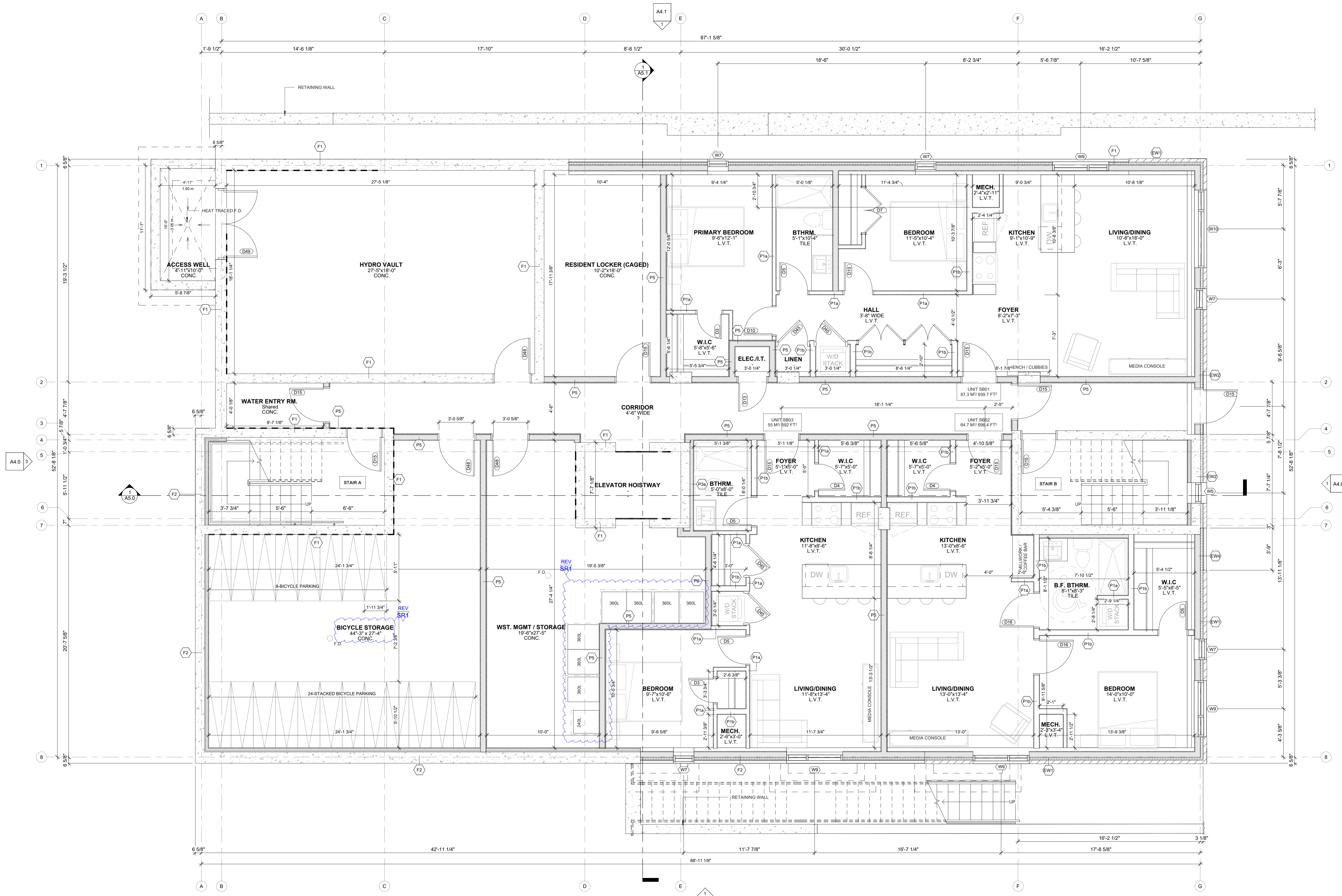
PROJECT:
Russell Development

T1 RUSSELL AVE
SHEET TITLE:
SUB-BASEMENT PLAN

DRAWN BY: Y.R.	CHECKED BY: B.L.
PL07 DATE: 17-04-2026 14:42:06	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: As Indicated

A2.1

APPLICATION # D07-12-26-0014



1
A2.1 Sub-Basement Plan
SCALE: 1/4" = 1'-0"

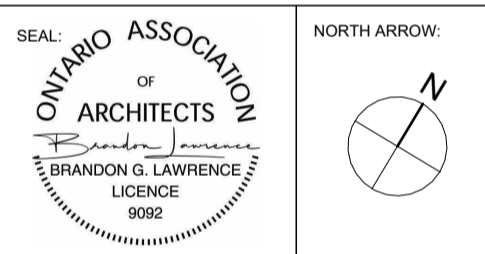
- NOTES:
1. DRAWING TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWING S100 BY OTHER CONSULTANT
 2. REFER TO DWG. A7 & S1.0 FOR CONSTRUCTION NOTES
 3. FRAMER TO VERIFY ALL BEAM LENGTHS ON-SITE AGAINST AS-BUILT CONDITIONS PRIOR TO FABRICATION
 4. PROVIDE SOUND ATTENUATION BATT INSULATION IN STUD CAVITY FOR SOUNDPROOFING AROUND WALLS IN ALL MECHANICAL, UTILITY, BATHROOMS, AND SUMP ROOM
 5. PROVIDE ACOUSTICAL SEALANT @ TOP & BOTTOM OF WOOD PLATES
 6. FOR CONCRETE FOOTINGS SEE PLANSCHEDULE
 7. FOUNDATION WALLS TO BE MIN. 10" CW 10M @ 16" VEF + DWLS 10M @ 16" HEF + 1-10M HEF ADDL AT TOP. HOOK HORIZONTAL AT CORNERS CW 4-15M VERTS ADDL. PROVIDE CLASS 5 LAPS. FC 25MPa CLASS F-2 - TYP.

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PROJECT:
Russell Development

71 RUSSELL AVE
SHEET TITLE:
BASEMENT FLOOR PLAN

DRAWN BY:
Y.R.

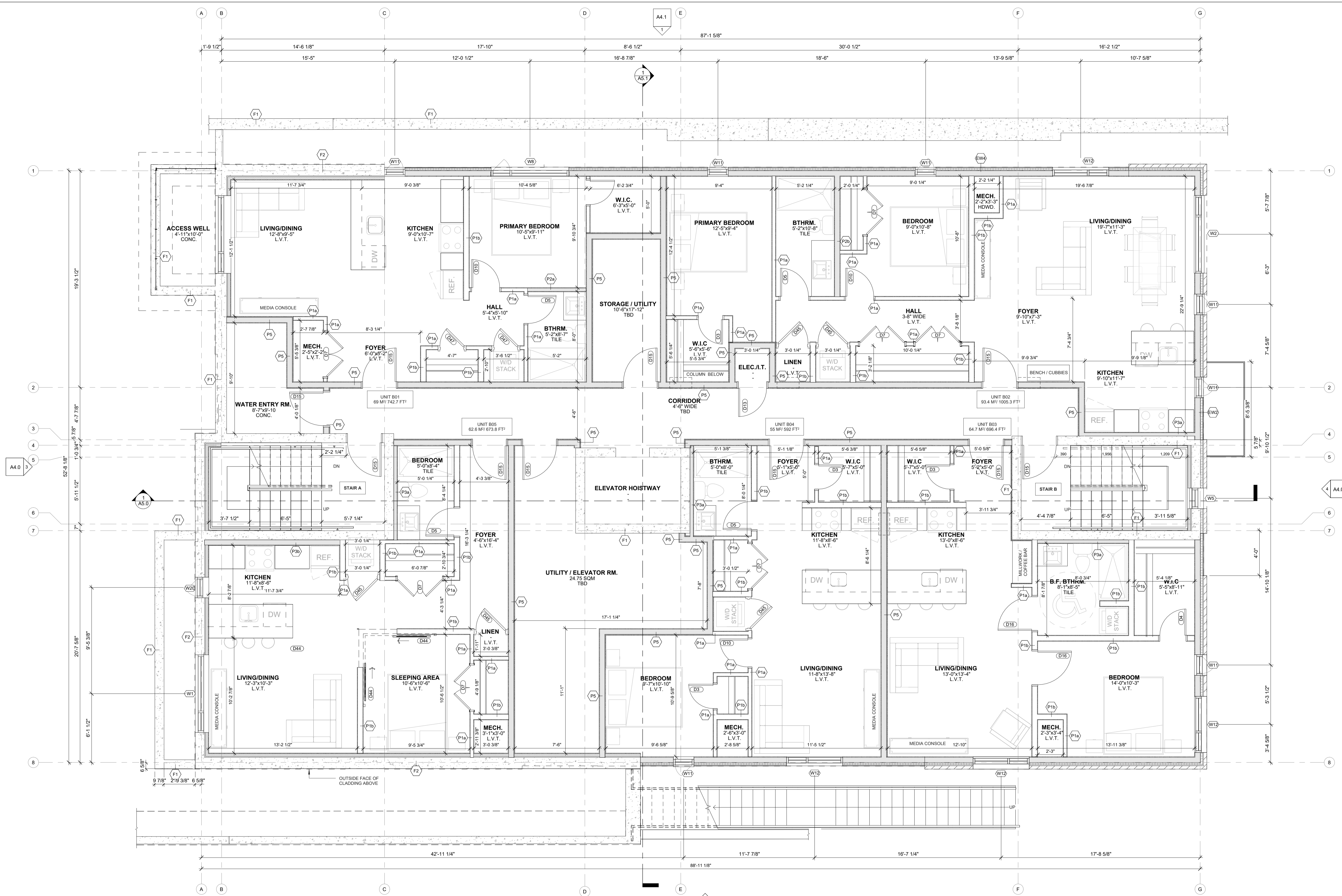
CHECKED BY:
B.L.

PLOT DATE:
17-04-2026 14:42:10

PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:
As Indicated



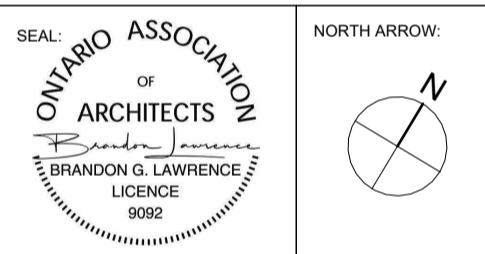
1
A2.2 Basement Plan
SCALE: 1/4" = 1'-0"

- NOTES:
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- REFER TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

INSULATED WALL
 NON-INSULATED WALL
 ENGINEERED SHEAR WALL
 LOADBEARING WALL



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LAWRENCE ARCHITECTS

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PROJECT:
Russell Development

71 RUSSELL AVE
SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY:
Y.R.

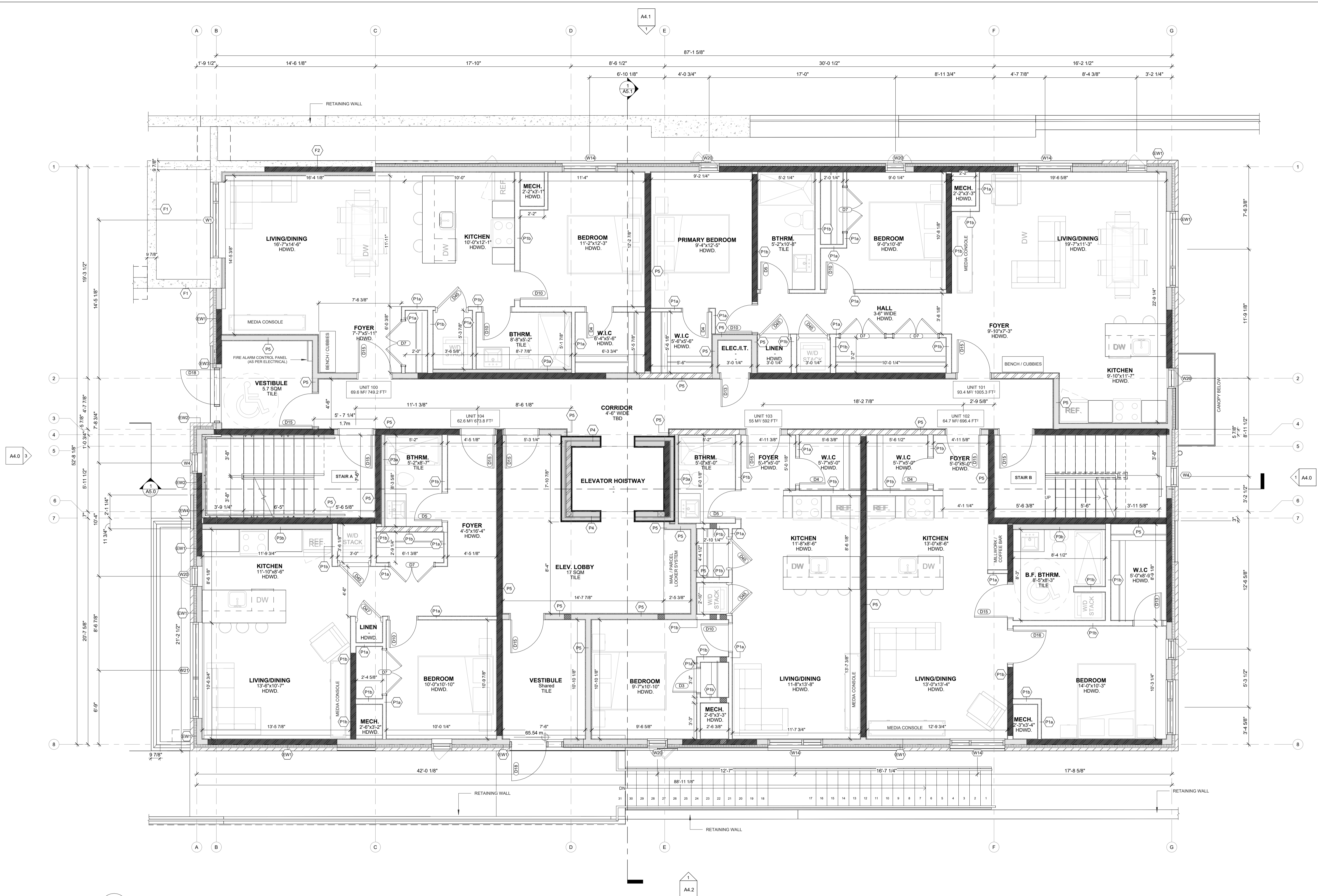
CHECKED BY:
B.L.

PLOT DATE:
17-04-2026 14:42:15

PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:
As Indicated



1
A2.3 Ground Floor Plan
SCALE: 1/4" = 1'-0"

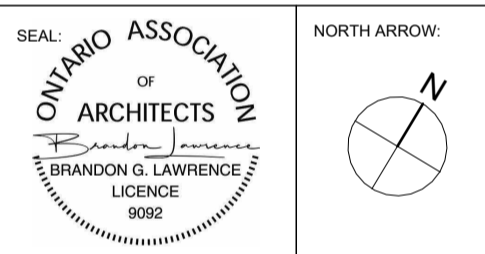
A4.2

- NOTES:
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 - 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

WALL HATCH LEGEND

- REFER TO SHEET A4.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- REFER TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

INSULATED WALL
 NON-INSULATED WALL
 ENGINEERED SHEAR WALL
 LOAD BEARING WALL



No.	DATE	REVISION
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08	2026.02.09	ISSUED FOR SPC SUBMISSION
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04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

LAWRENCE ARCHITECTS

205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 8B7

T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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PROJECT:
Russell Development

71 RUSSELL AVE
SHEET TITLE:
SECOND FLOOR PLAN

DRAWN BY:
Y.R.

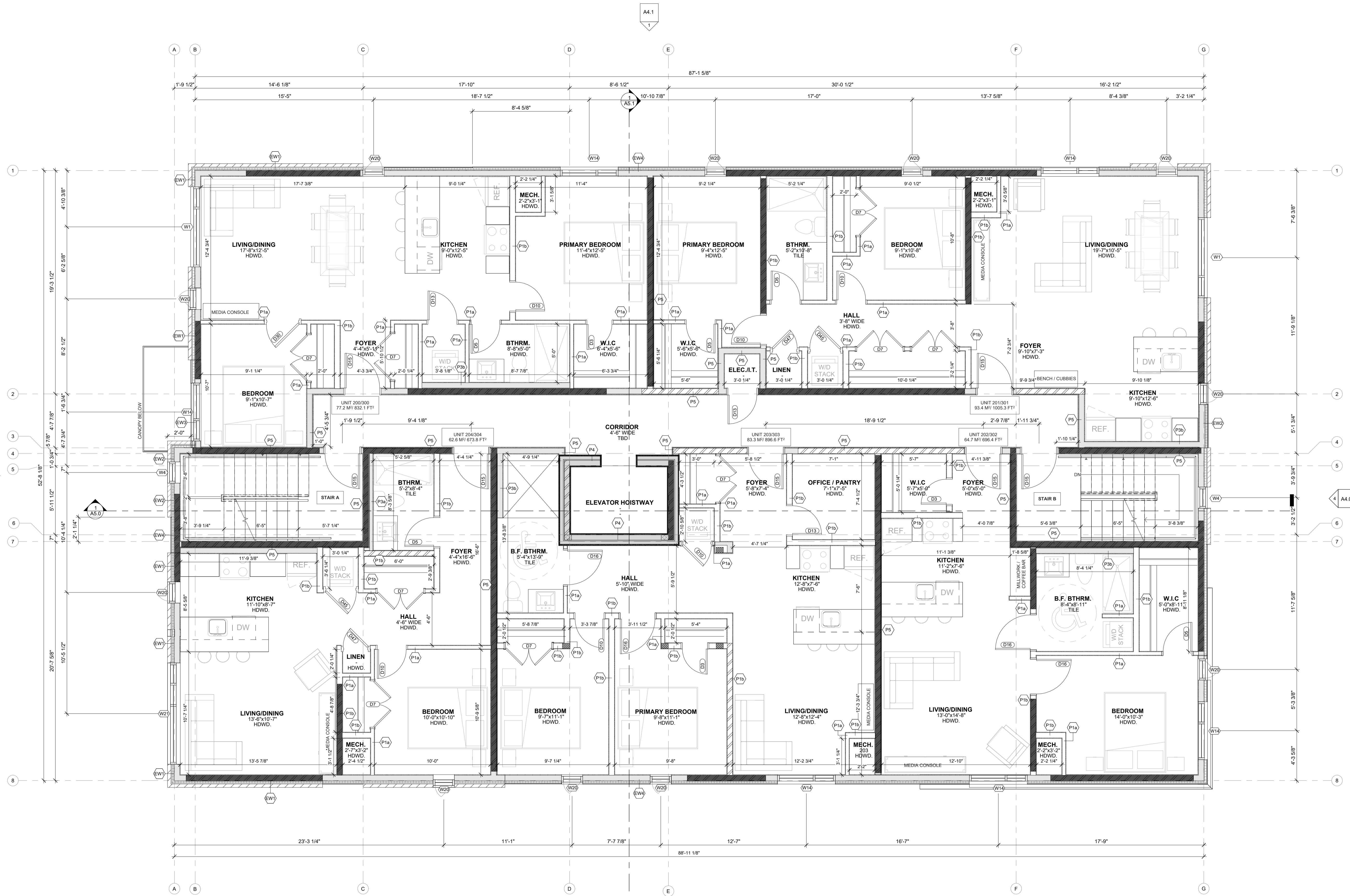
PROJECT DATE:
17-04-2026 14:42:20

JOB NUMBER:
LA-1158-25

CHECKED BY:
B.L.

PROJECT DATE:
24-06-2025

SCALE:
As Indicated

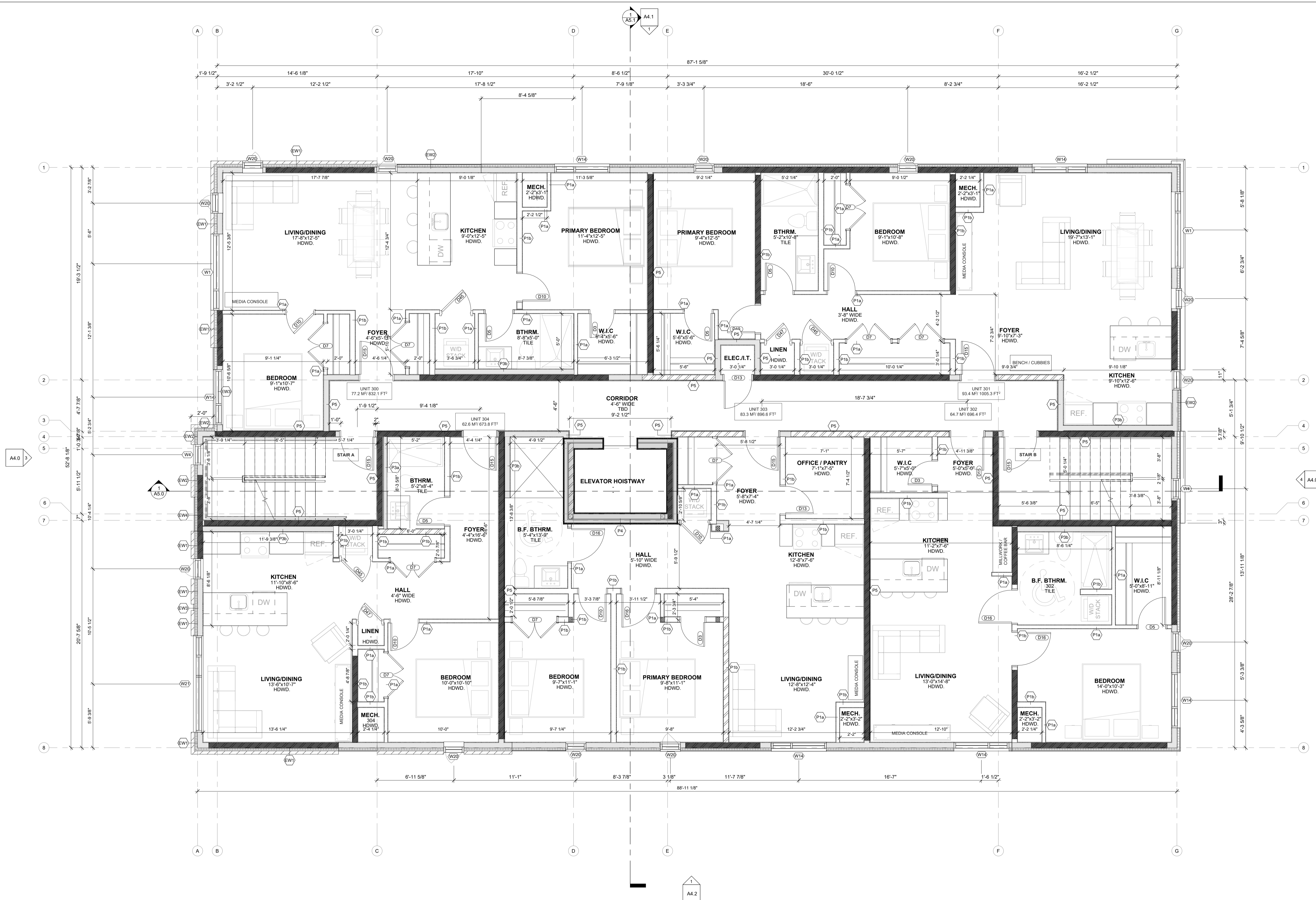


1
A2.4 Second Floor Plan
SCALE: 1/4" = 1'-0"

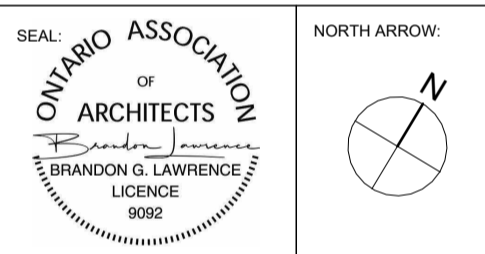
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- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING



1
A2.5 Third Floor Plan
SCALE 1/4" = 1'-0"



NORTH ARROW

No.	DATE	REVISION
09	2026.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
08	2026.02.09	ISSUED FOR SPC SUBMISSION
07	2026.01.29	ISSUED FOR COORDINATION
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05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW

LAWRENCE ARCHITECTS

205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 8B7

T: (613) 736-7770
E: INFO@LAWRENCEARC.COM

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PROJECT:
Russell Development

71 RUSSELL AVE
SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PROJECT DATE:
17-04-2026 14:42:24

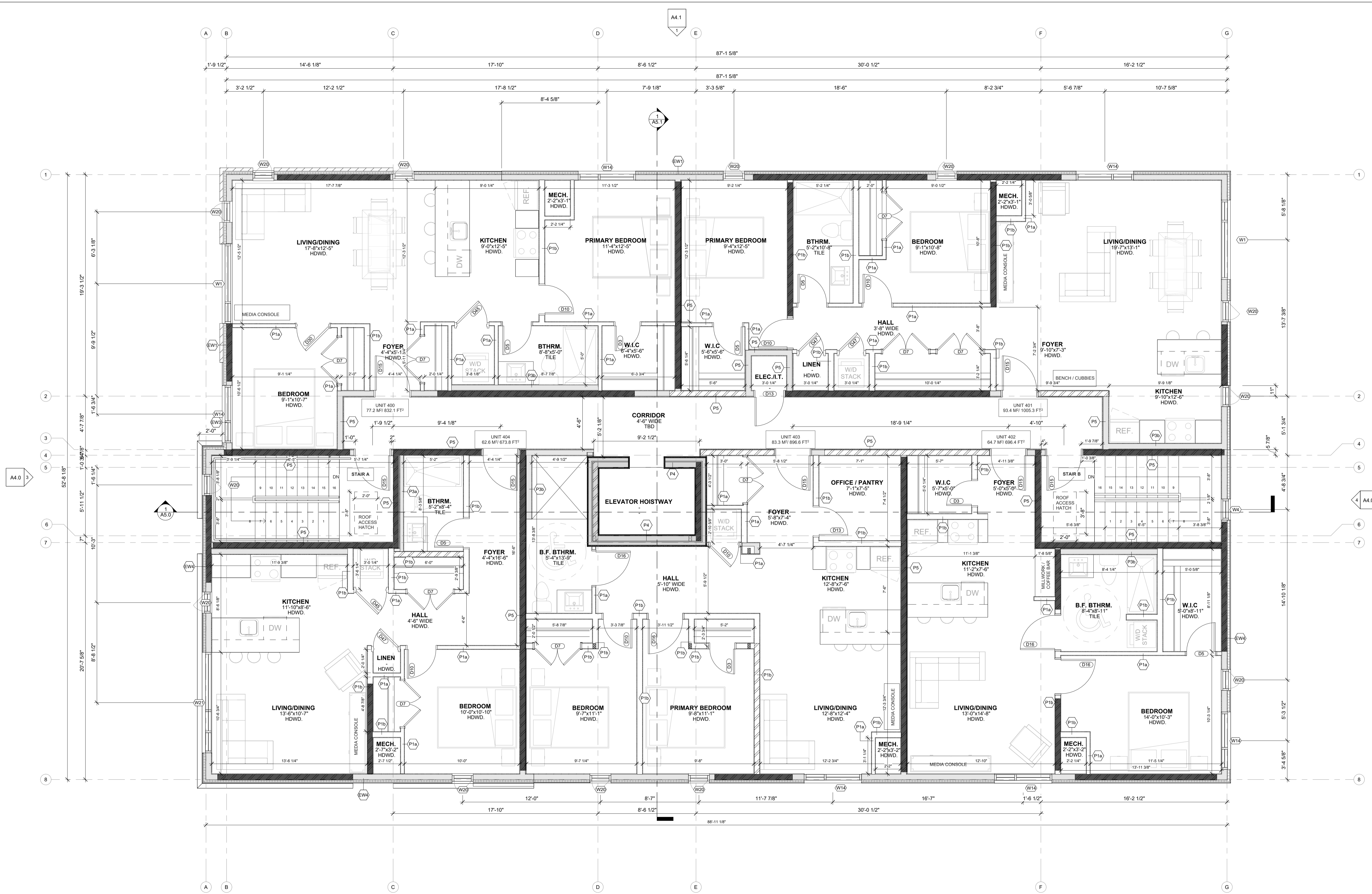
SCALE:
As Indicated

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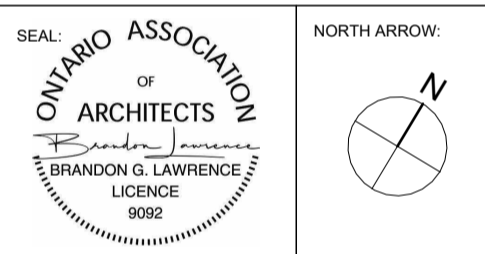
WALL HATCH LEGEND

- REF. TO SHEET A4.1 FOR DETAILED ASSEMBLY DESCRIPTIONS
- REF. TO SHEET A2.8 FOR FIRE RATED ASSEMBLY LOCATIONS
- ENGINEERED SHEAR WALL HATCHES INCL. SHEATHING THICKNESS, TYPICAL
- ALL EXTERIOR WALLS ARE LOAD BEARING

	INSULATED WALL
	NON-INSULATED WALL
	ENGINEERED SHEAR WALL
	LOADBEARING WALL



1
A2.6 Fourth Floor Plan
SCALE: 1/4" = 1'-0"



No.	DATE	REVISION
09	2026.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
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05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW



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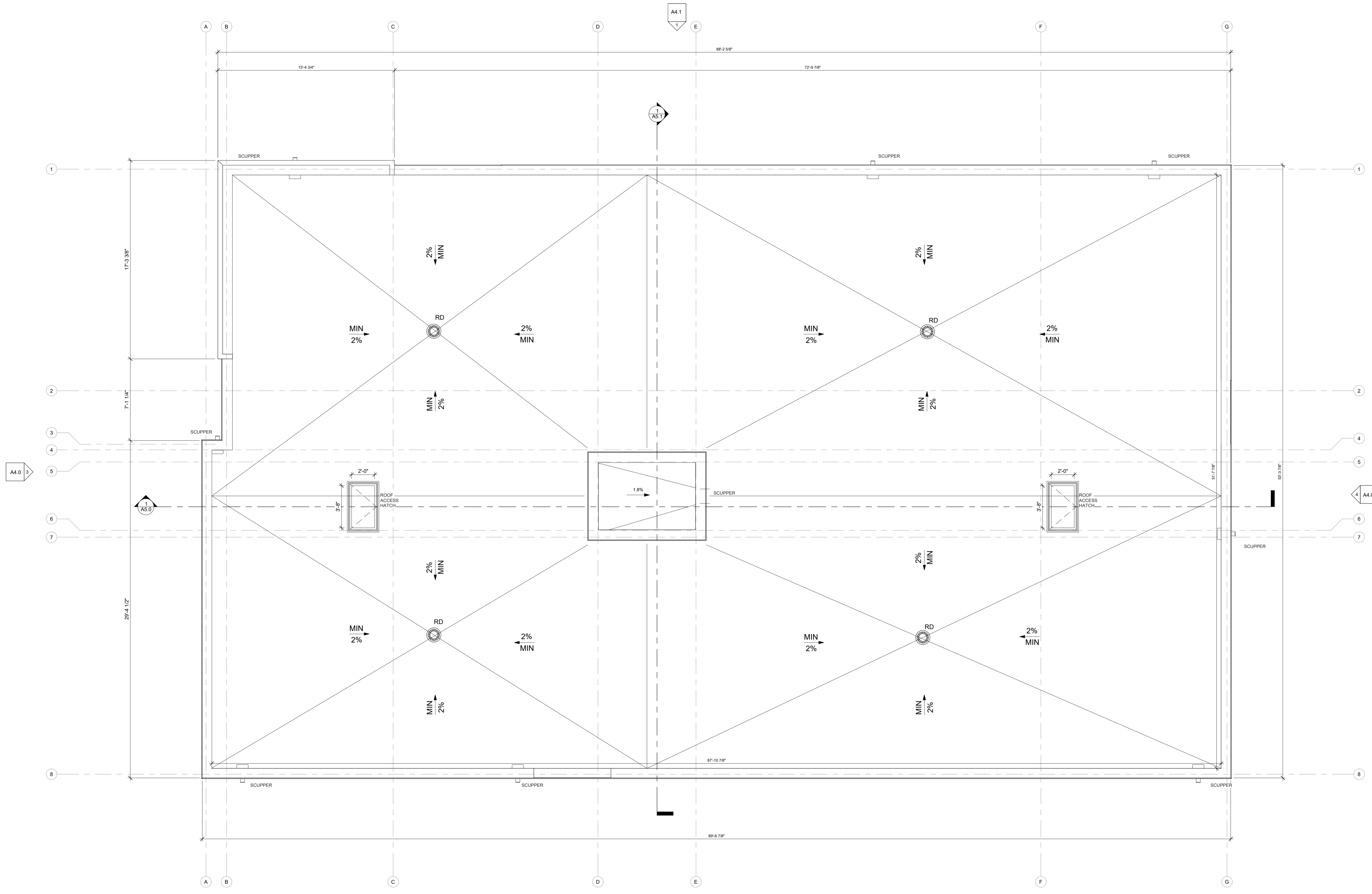
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PROJECT:
Russell Development
71 RUSSELL AVE
SHEET TITLE:
FOURTH FLOOR PLAN

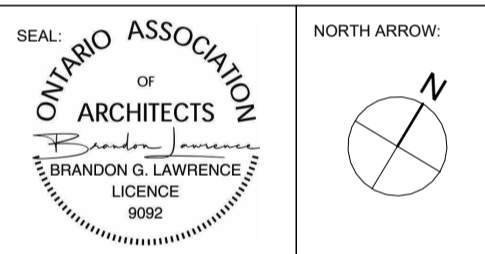
DRAWN BY:	CHECKED BY:
Y.R.	B.L.
PLOT DATE:	PROJECT DATE:
17-04-2026 14:42:29	24-06-2025
JOB NUMBER:	SCALE:
LA-1158-25	As Indicated

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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1
A2.7 Roof Plan
 SCALE: 1/4" = 1'-0"



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LAWRENCE ARCHITECTS

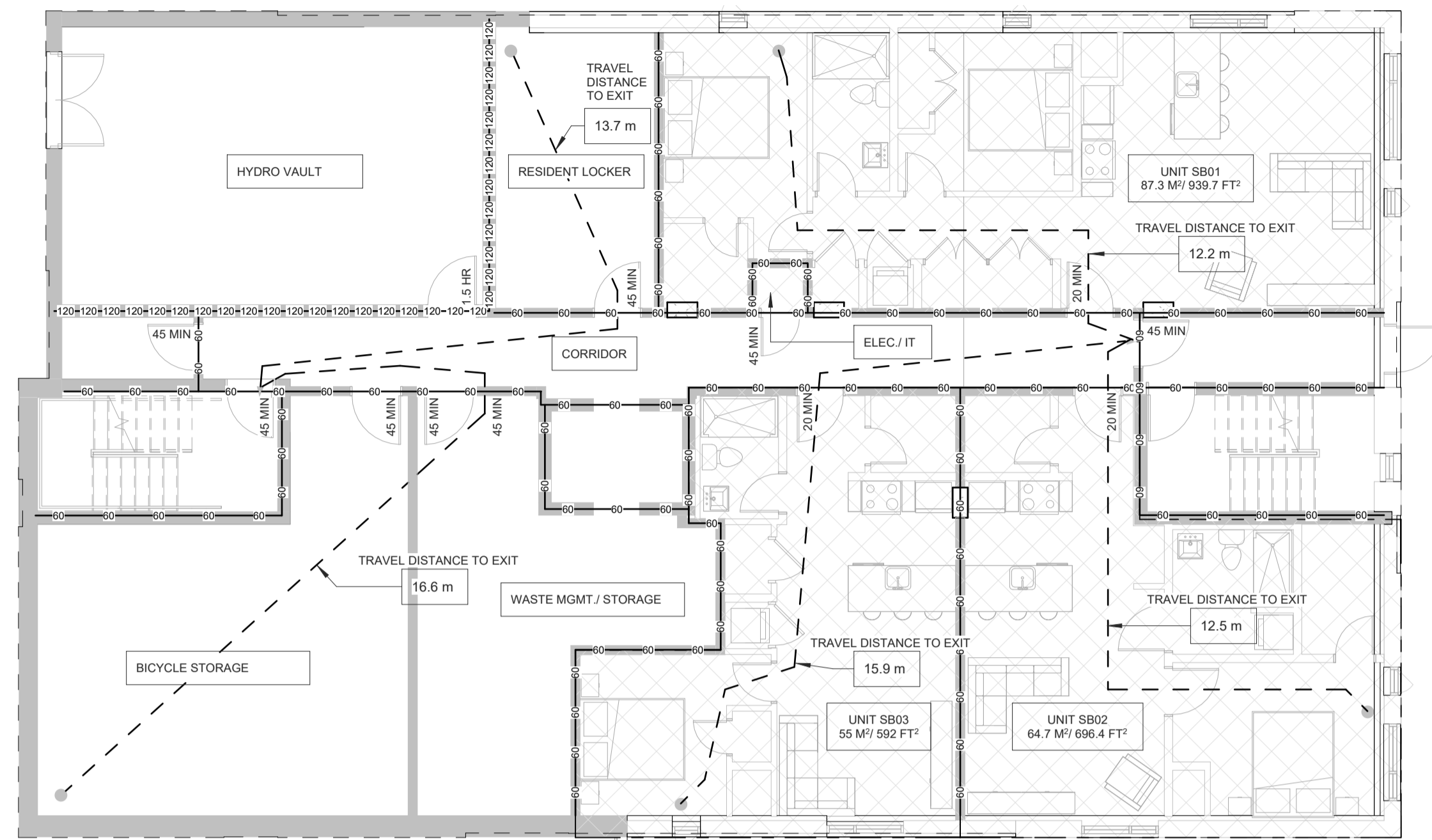
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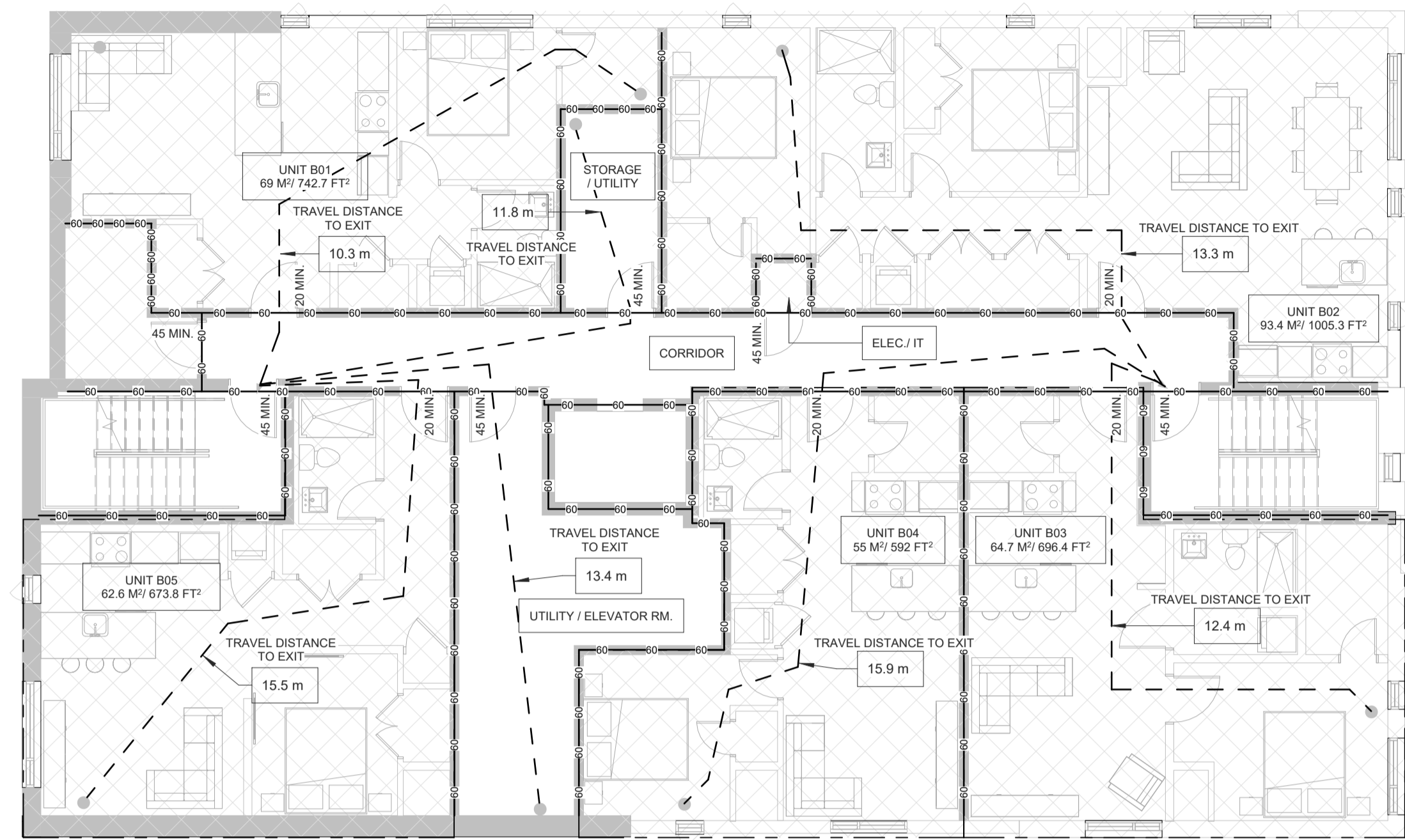
PROJECT:
Russell Development
 71 RUSSELL AVE
 SHEET TITLE:
ROOF PLAN

DRAWN BY:
Y.R.
 CHECKED BY:
B.L.
 PLOT DATE:
17-04-2026 14:42:30
 PROJECT DATE:
24-06-2025
 JOB NUMBER:
LA-1158-25
 SCALE:
1/4" = 1'-0"

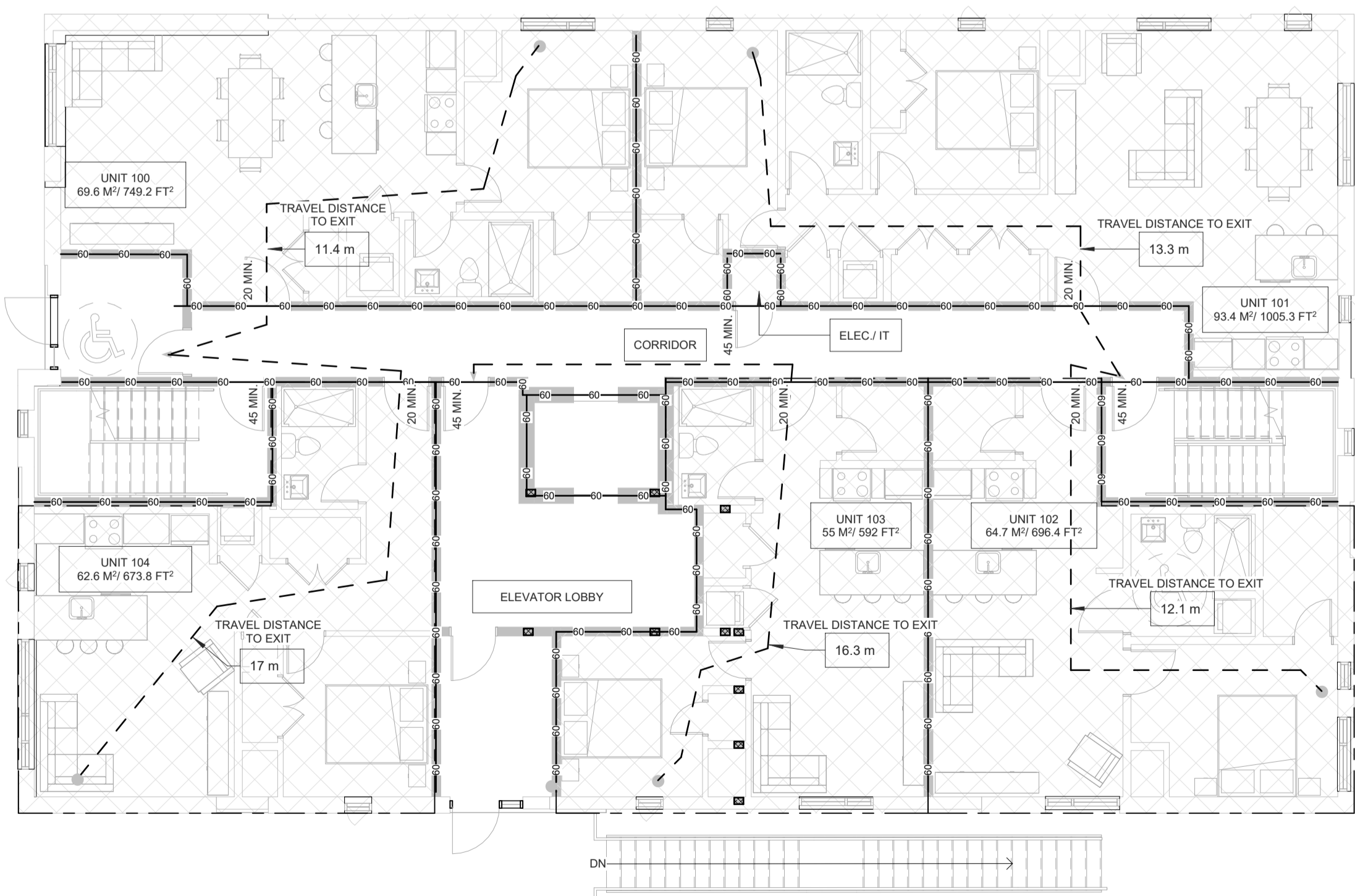
A2.7



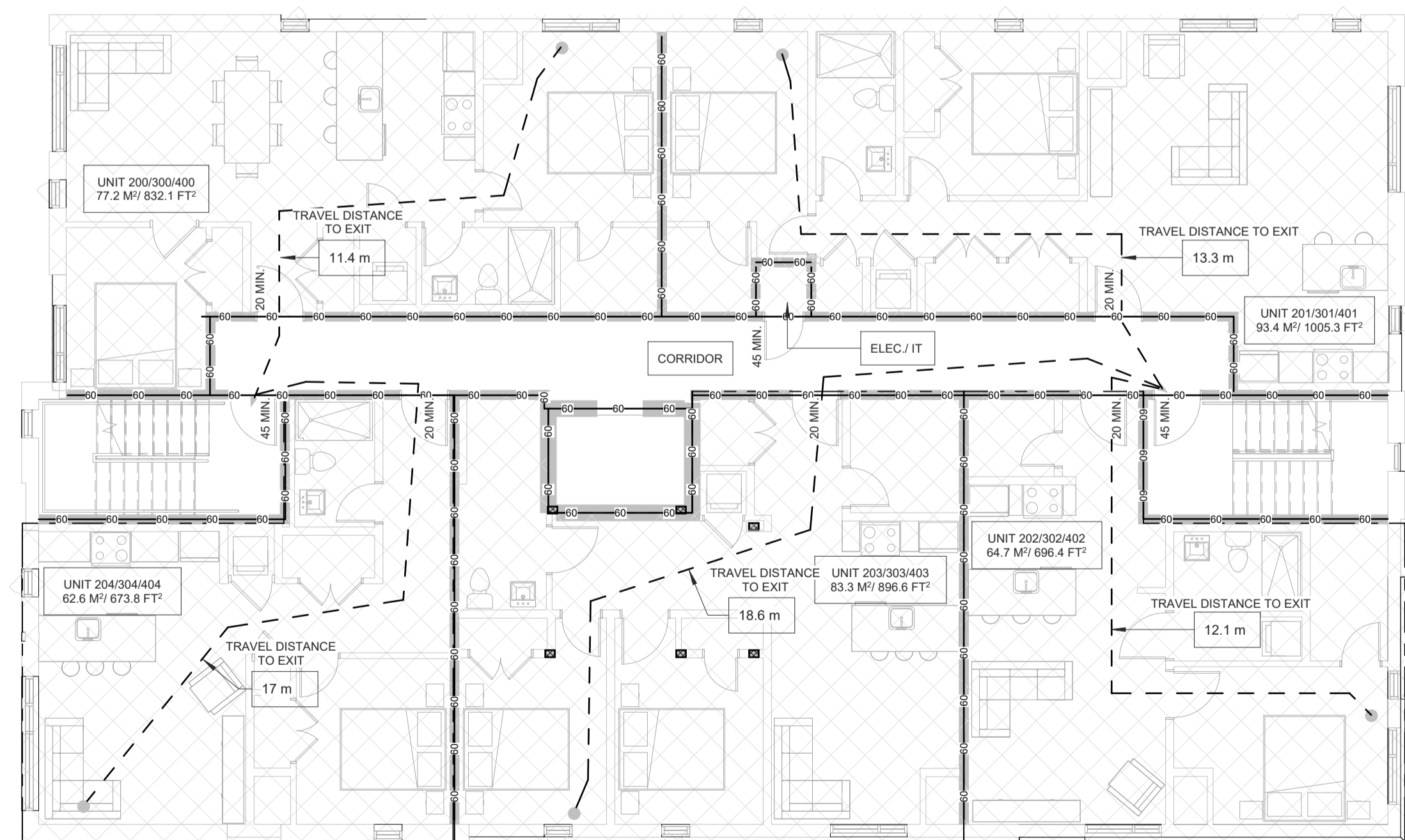
1 T/O Sub-Basement
A2.8 SCALE 1/8" = 1'-0"



2 T/O Basement
A2.8 SCALE 1/8" = 1'-0"



3 T/O Ground Floor
A2.8 SCALE 1/8" = 1'-0"



4 T/O Second Floor
A2.8 SCALE 1/8" = 1'-0"

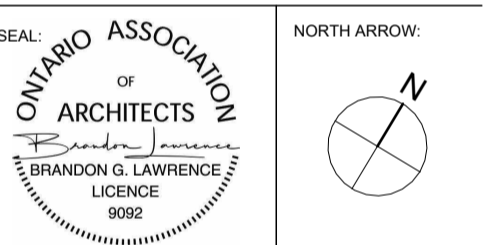
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FRR LEGEND

—FS—FS—	FIRE SEPERATION (0HR FRR)
—60—60—	1HR FRR
—120—120—	2HR FRR
---	TRAVEL DISTANCE
FHC	FIRE HOSE CABINET
FE	FIRE EXTINGUISHER

NOTE: WALLS ABOVE DOORS TO MATCH WALL ASSEMBLY ADJACENT TO DOOR UNLESS NOTED OTHERWISE.



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PROJECT:
Russell Development
71 RUSSELL AVE
SHEET TITLE:
FIRE SAFETY PLANS

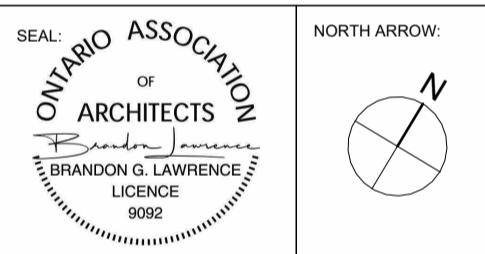
DRAWN BY: Y.R.	CHECKED BY: B.L.
PLOT DATE: 17-04-2026 14:42:33	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: As Indicated

A2.8

APPLICATION # D07-12-26-0014

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KEYNOTES-ELEVATION	
1	STONE MASONRY VENEER BY "MERRIS-CRAFT" - FRESCYO, COLOUR- TBD
2	BRICK MASONRY VENEER BY "TRINOX" - OSLO, COLOUR- TBD
3	HARDIE PANEL WITH REVEAL, COLOUR- TBD
3a	HARDIE SIDING, COLOUR- TBD
4	PRE-FINISHED ALUMINUM FASCIA C/W RAISED 1x3 PROFILE TAB, COLOUR - BLACK
5	WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
6	PRE-FINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
7	SUSPENDED CANOPY ROOF AREA C/W PRE-FIN METAL CAP FLASHING @ EDGE
10	4" HT. PRE-CAST CONCRETE SILL TO MATCH MASONRY
11	CEMENT FARGING FOR EXPOSED FOUNDATION WALLS TO MIN. 8" BELOW GRADE
13	ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
14	ALUMINUM WINDOW - BLACK ANODIZED FINISH



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LAWRENCE ARCHITECTS
 205-16 DEAKIN STREET
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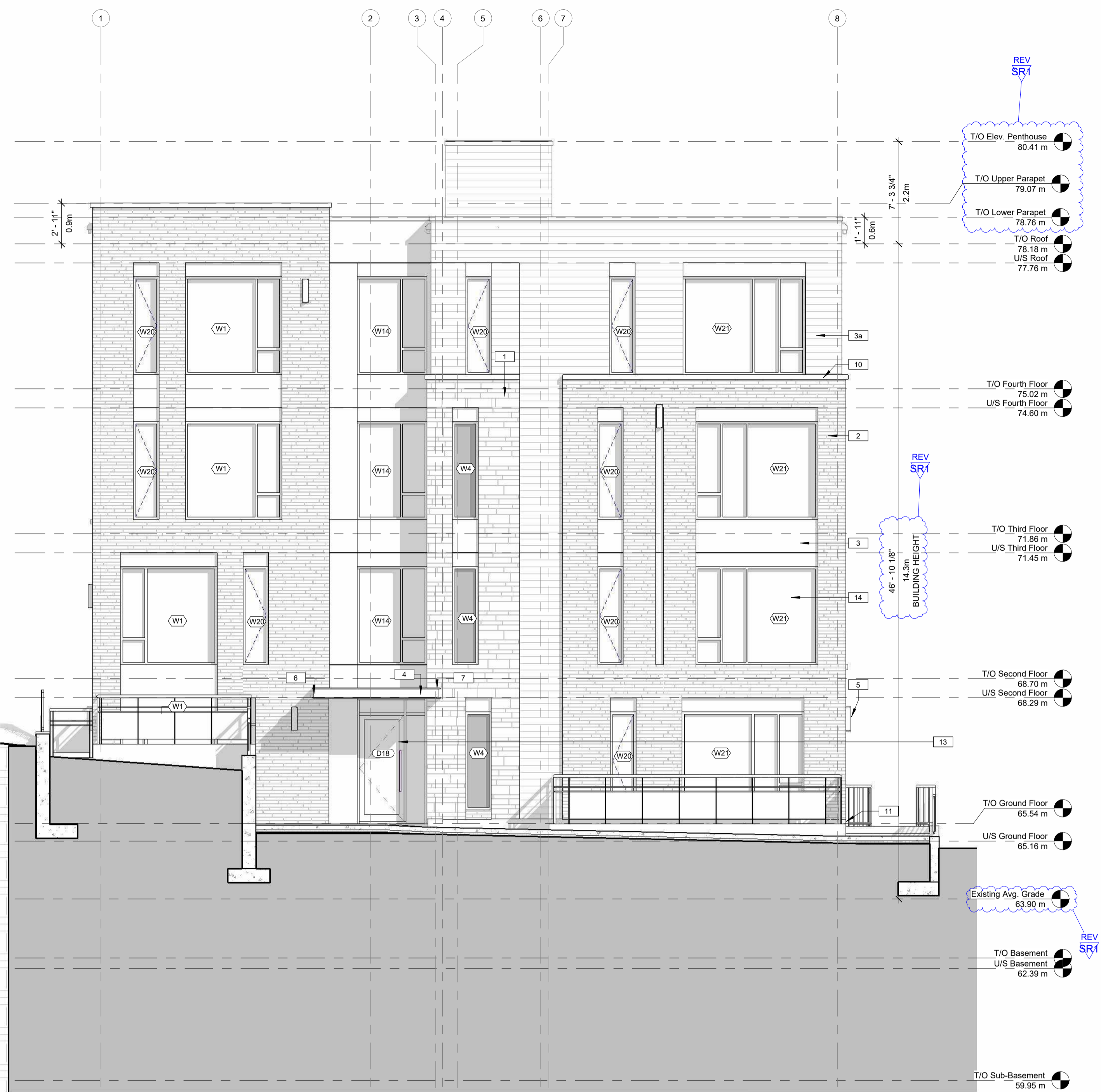
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PROJECT:
Russell Development

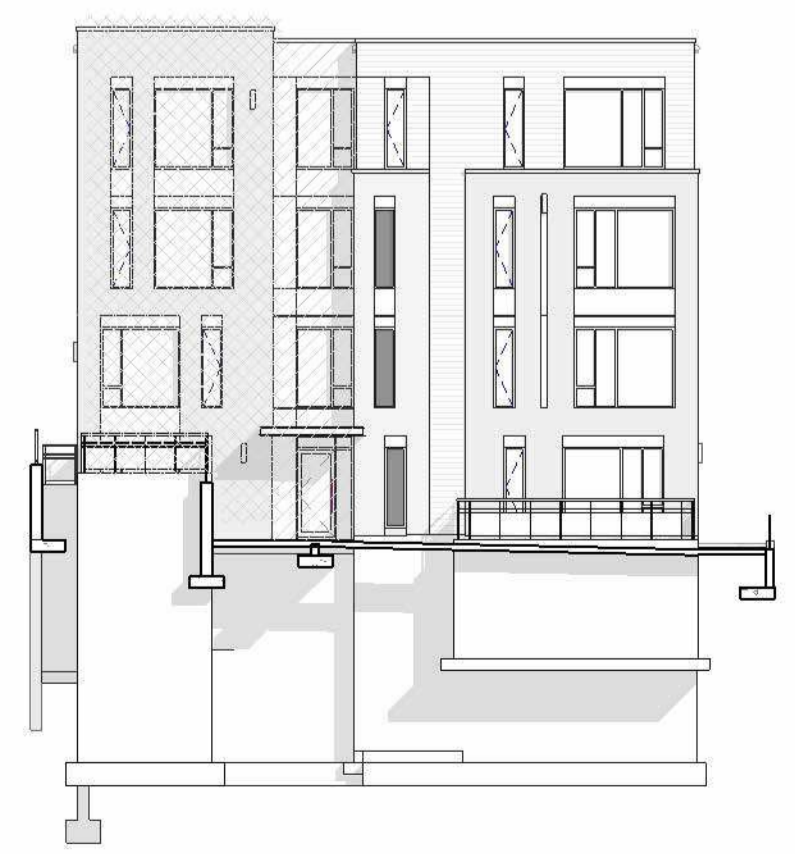
71 RUSSELL AVE
 SHEET TITLE:
ELEVATIONS

DRAWN BY: Y.R.	CHECKED BY: B.L.
PLOT DATE: 17-04-2026 14:42:44	PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25	SCALE: As Indicated

A4.0



2 WEST ELEVATIONS (FRONT)
 SCALE 3/16" = 1'-0"



3 WEST ELEVATIONS Calcs
 SCALE 1:200

LIMITING DISTANCE CALCS
 EBF - 300 SQM
 LIMITING DISTANCE - 7.5M
 MAX. LPO AREA - 14% (222SQM)
 PROPOSED- 65 SQM

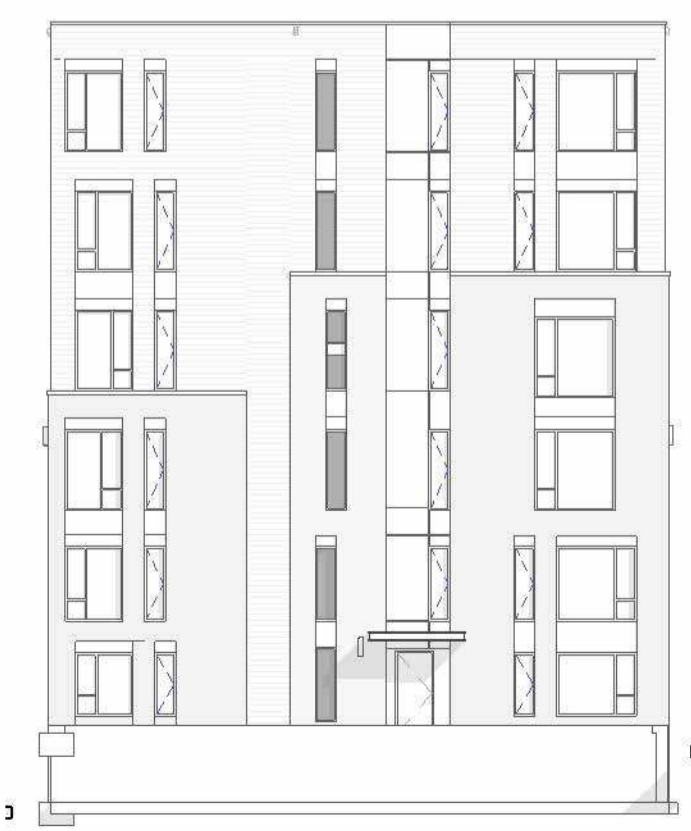
CONSTRUCTION - COMBUSTIBLE,
 ENCAPSULATED MASS TIMBER
 CONSTRUCTION OR NONCOMBUSTIBLE

CLADDING - NONCOMBUSTIBLE

FRONT FACADE ADDITIONAL RECESS AREA @0.61M, 28.3ft-13.4%
 FRONT FACADE ADDITIONAL RECESS AREA @0.56M, 63ft-29.9%



1 EAST ELEVATION (REAR)
 SCALE 3/16" = 1'-0"



4 EAST ELEVATION CALCS
 SCALE 1:200

LIMITING DISTANCE CALCS
 EBF - 300 SQM
 LIMITING DISTANCE - 7.5M
 MAX. LPO AREA - 14% (222SQM)
 PROPOSED- 65 SQM

CONSTRUCTION - COMBUSTIBLE,
 ENCAPSULATED MASS TIMBER
 CONSTRUCTION OR NONCOMBUSTIBLE

CLADDING - NONCOMBUSTIBLE



- REV SR1
- T/O Elev. Penthouse 80.41 m
- T/O Upper Parapet 79.07 m
- T/O Lower Parapet 78.76 m
- T/O Roof 78.18 m
- U/S Roof 77.76 m
- T/O Fourth Floor 75.02 m
- U/S Fourth Floor 74.60 m
- T/O Third Floor 71.86 m
- U/S Third Floor 71.45 m
- T/O Second Floor 68.70 m
- U/S Second Floor 68.29 m
- T/O Ground Floor 65.54 m
- U/S Ground Floor 65.16 m
- Existing Avg. Grade 63.90 m
- T/O Basement 62.39 m
- U/S Basement 62.39 m
- T/O Sub-Basement 59.95 m
- T/O Footing 58.12 m

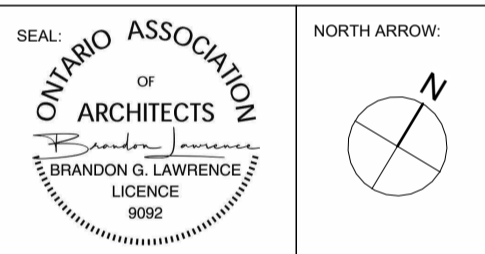
CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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KEYNOTES-ELEVATION

1	STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR: TBD
2	BRICK MASONRY VENEER BY "TRINOX - OSLO", COLOUR: TBD
3	HARDIE PANEL WITH REVEAL, COLOUR: TBD
3a	HARDIE SIDING, COLOUR: TBD
4	PRE-FINISHED ALUMINUM FASCIA CW RAISED 1x3 PROFILE T&B, COLOUR - BLACK
5	WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
6	PRE-FINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
7	SUSPENDED CANOPY ROOF AREA CW PRE-FIN. METAL CAS FLASHING @ EDGE
10	4" HT. PRE-CAST CONCRETE SILL TO MATCH MASONRY
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13	ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
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LAWRENCE ARCHITECTS

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T: (613) 739-7770
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PROJECT:
Russell Development

71 RUSSELL AVE

SHEET TITLE:
ELEVATIONS

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

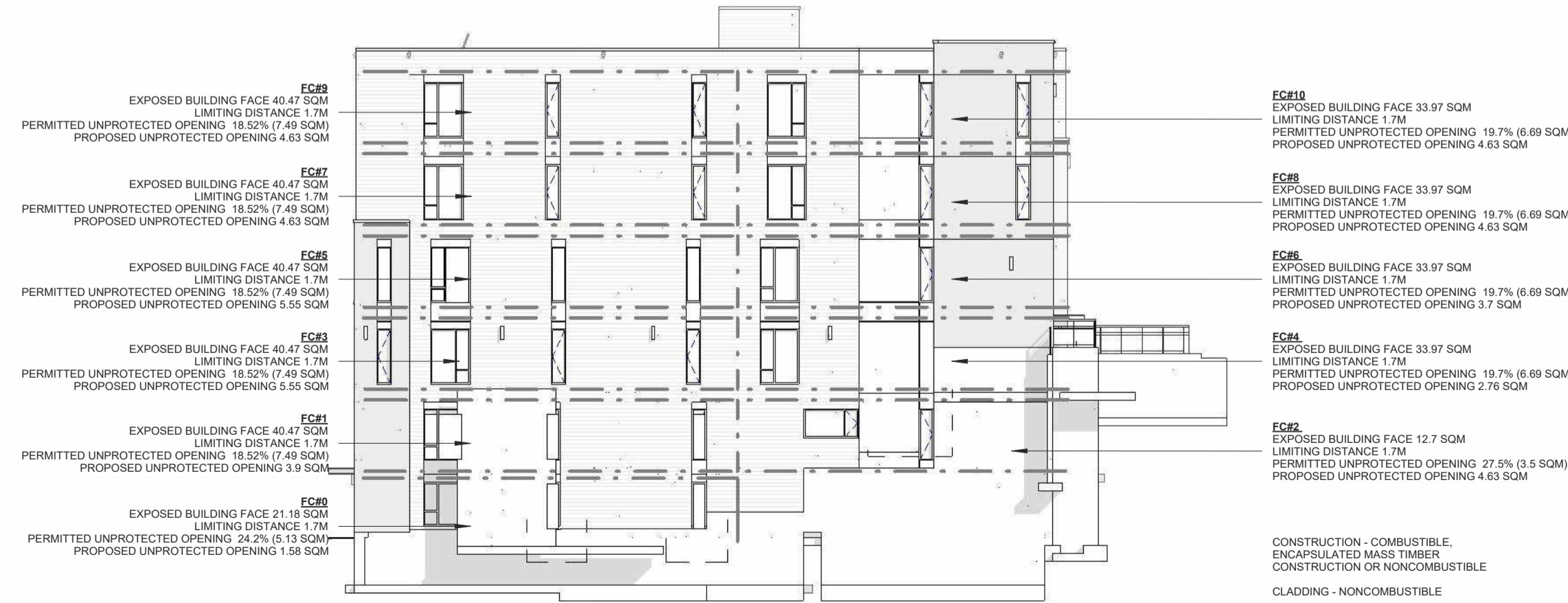
PLOT DATE:
17-04-2026 14:42:52

PROJECT DATE:
24-06-2025

JOB NUMBER:
LA-1158-25

SCALE:
As Indicated

1 NORTH ELEVATION (LEFT SIDE)
SCALE 3/16" = 1'-0"



2 NORTH ELEVATION Calcs
SCALE 1:200

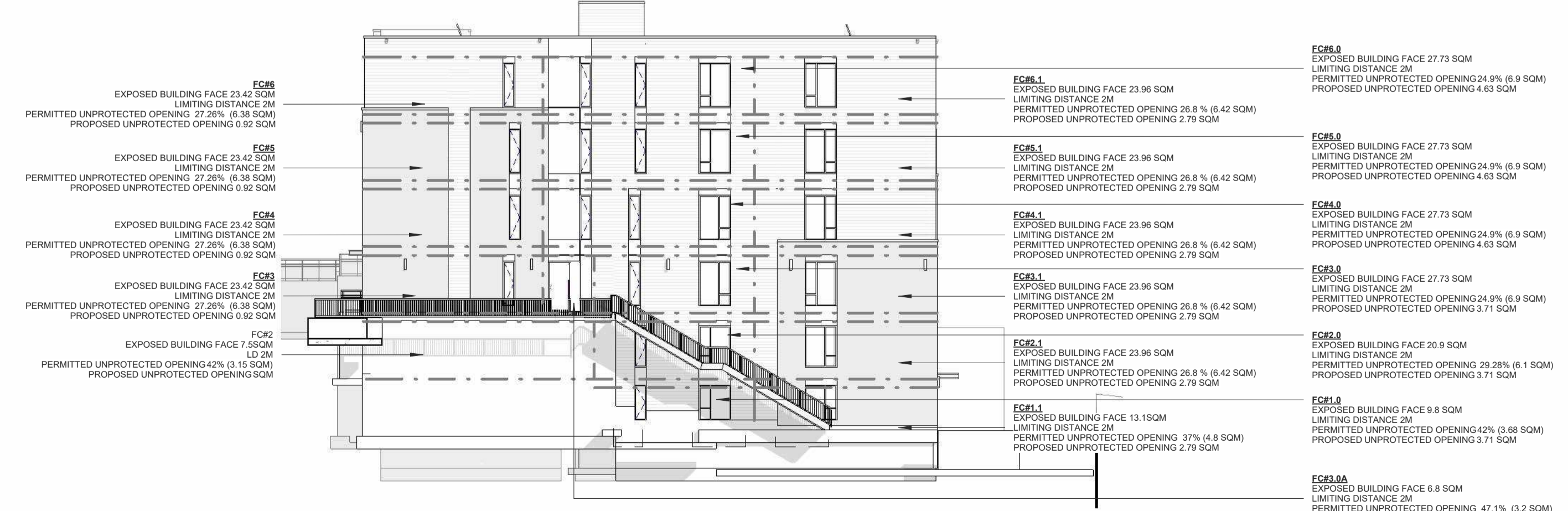
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KEYNOTES-ELEVATION

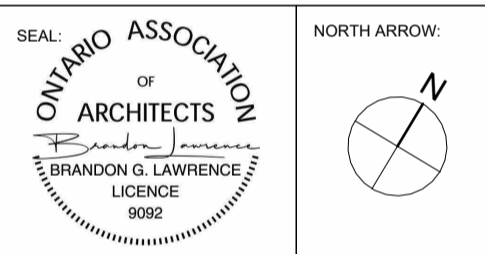
1	STONE MASONRY VENEER BY "ARRISCRAFT - FRESCO", COLOUR- TBD
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3	HARDIE PANEL WITH REVEAL, COLOUR- TBD
3a	HARDIE SIDING, COLOUR- TBD
4	PREFINISHED ALUMINUM FASCIA CW RAISED 1/3 PROFILE TAB, COLOUR - BLACK
5	WALL MOUNTED LIGHT SCONCE - REFER TO ELECTRICAL PLANS
6	PRE-FINISHED METAL DRAINAGE SCUPPERS FOR CANOPY ROOF AREAS W/ MIN. 4" PROJECTION
7	SUSPENDED CANOPY ROOF AREA CW PREFIN. METAL CAP FLASHING @ EDGE
10	4" HT. PRE-CAST CONCRETE SILL TO MATCH MASONRY
11	CEMENT PARAPET FOR EXPOSED FOUNDATION WALLS TO MIN. 8" BELOW GRADE
13	ALUMINUM CURTAIN WALL - BLACK ANODIZED FINISH
14	ALUMINUM WINDOW - BLACK ANODIZED FINISH



1
A4.2 SOUTH ELEVATION (RIGHT SIDE)
SCALE: 3/16" = 1'-0"



2
A4.2 SOUTH ELEVATION Calcs
SCALE: 1:200



No.	DATE	REVISION
09	2026.04.17	ISSUED FOR SPA RESPONSE 1 (SR1)
08	2026.02.09	ISSUED FOR SPC SUBMISSION
07	2026.01.29	ISSUED FOR COORDINATION
06	2025.12.23	ISSUED FOR COORDINATION
05	2025.12.11	ISSUED FOR COORDINATION
04	2025.12.08	ISSUED FOR COORDINATION
03	2025.12.05	ISSUED FOR COORDINATION
02	2025.11.27	ISSUED FOR COORDINATION
01	2025.11.13	ISSUED FOR REVIEW



205-18 DEAKIN STREET
OTTAWA, ONTARIO
K2E 8B7
T: (613) 739-7770
E: INFO@LAWRENCEARC.COM

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PROJECT:
Russell Development
71 RUSSELL AVE
SHEET TITLE:
ELEVATIONS

DRAWN BY:
Y.R.
PLOT DATE:
17-04-2026 14:42:57
JOB NUMBER:
LA-1158-25

CHECKED BY:
B.L.
PROJECT DATE:
24-06-2025
SCALE:
As Indicated



1 FRONT PERSPECTIVE 1
A4.3 SCALE



3 FRONT PERSPECTIVE 2
A4.3 SCALE



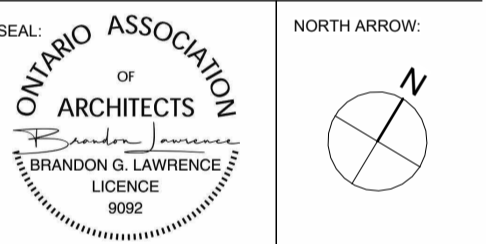
2 REAR PERSPECTIVE 1
A4.3 SCALE



4 REAR PERSPECTIVE 2
A4.3 SCALE

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



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01	2025.11.13	ISSUED FOR REVIEW

LAWRENCE ARCHITECTS

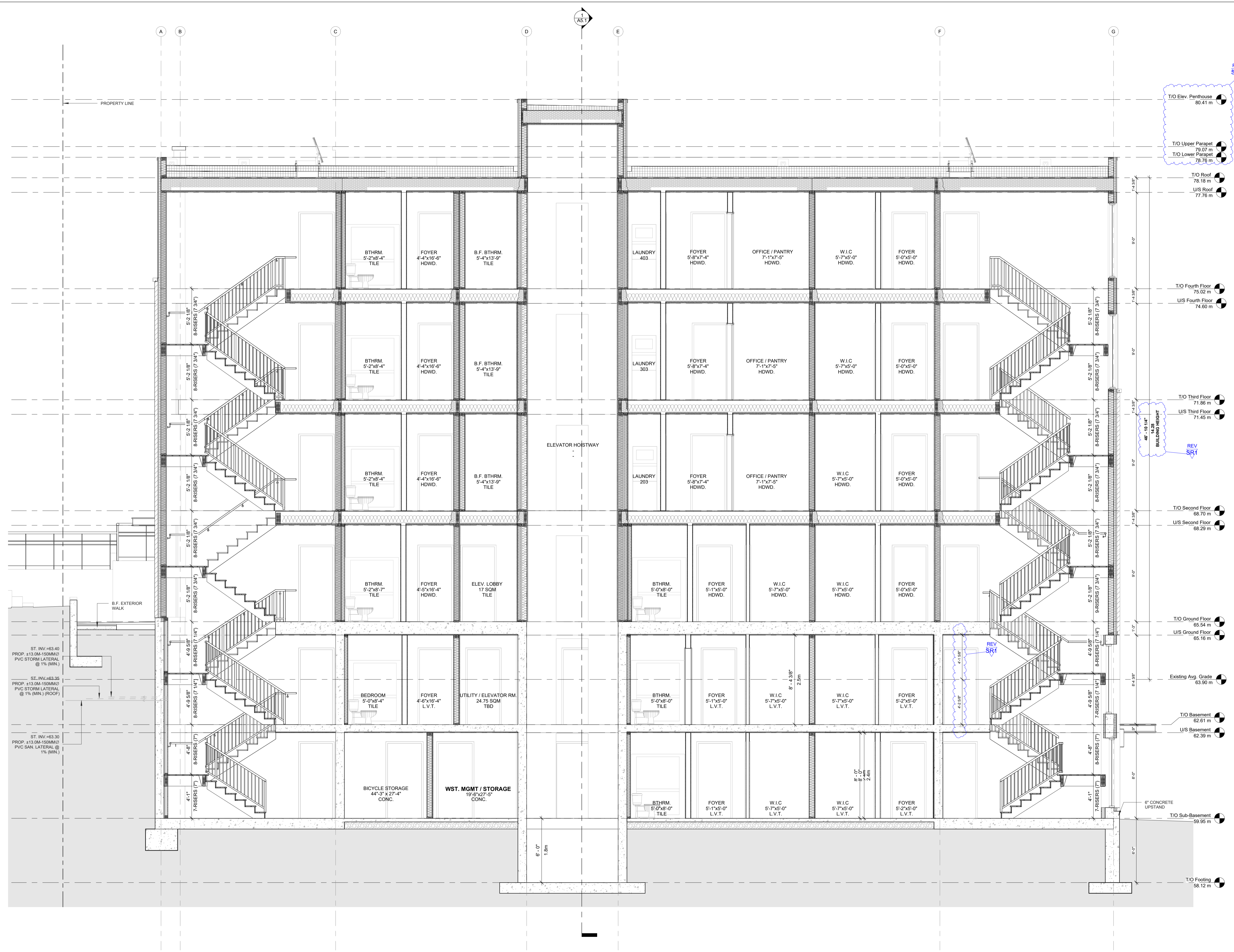
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PROJECT:
Russell Development
71 RUSSELL AVE
SHEET TITLE:
BUILDING PERSPECTIVE

DRAWN BY: Y.R. CHECKED BY: B.L.
PLOT DATE: 17-04-2026 14:43:16 PROJECT DATE: 24-06-2025
JOB NUMBER: LA-1158-25 SCALE:

A4.3



1
A5.0 BUILDING SECTION (LONG.)
SCALE 1/4" = 1'-0"

CLIENT NAME:
JERSEY DEVELOPMENTS INC.

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T/O Elev. Penthouse
80.41 m

T/O Upper Parapet
79.07 m

T/O Lower Parapet
78.76 m

T/O Roof
78.18 m

U/S Roof
77.76 m

T/O Fourth Floor
75.02 m

U/S Fourth Floor
74.60 m

T/O Third Floor
71.86 m

U/S Third Floor
71.45 m

T/O Second Floor
68.70 m

U/S Second Floor
68.29 m

T/O Ground Floor
65.54 m

U/S Ground Floor
65.16 m

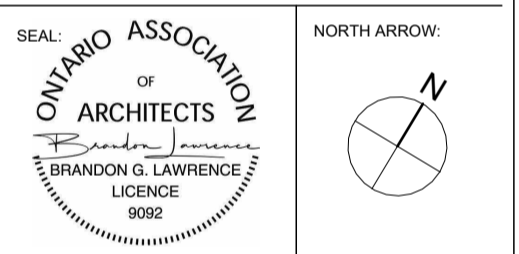
Existing Avg. Grade
63.90 m

T/O Basement
62.61 m

U/S Basement
62.39 m

T/O Sub-Basement
59.95 m

T/O Footing
58.12 m



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LAWRENCE ARCHITECTS

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PROJECT:
Russell Development

71 RUSSELL AVE
SHEET TITLE:
BUILDING SECTIONS

DRAWN BY:
Y.R.

CHECKED BY:
B.L.

PROJECT DATE:
17-04-2026 14:43:19

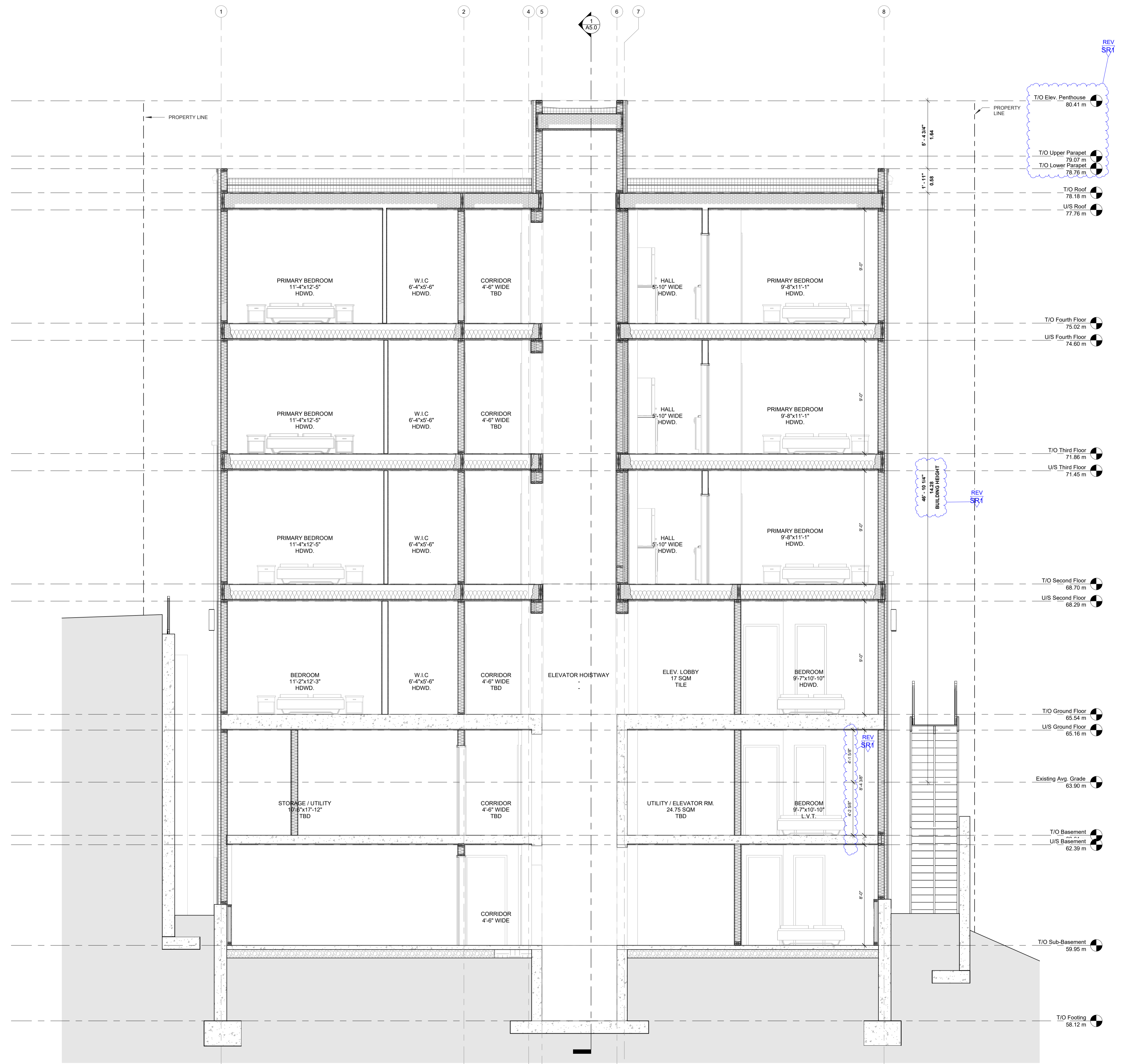
SCALE:
1/4" = 1'-0"

A5.0

PLAN # 19441

APPLICATION # D07-12-26-0014

NOTES:
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T/O Elev. Penthouse 80.41 m
 T/O Upper Parapet 79.07 m
 T/O Lower Parapet 78.76 m
 T/O Roof 78.18 m
 U/S Roof 77.76 m

T/O Fourth Floor 75.02 m
 U/S Fourth Floor 74.60 m

T/O Third Floor 71.86 m
 U/S Third Floor 71.45 m

T/O Second Floor 68.70 m
 U/S Second Floor 68.29 m

T/O Ground Floor 65.54 m
 U/S Ground Floor 65.16 m

Existing Avg. Grade 63.90 m

T/O Basement 62.39 m
 U/S Basement 62.39 m

T/O Sub-Basement 59.95 m

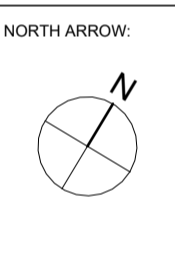
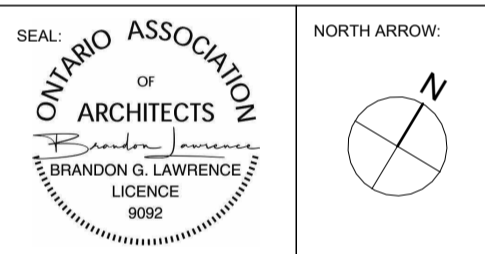
T/O Footing 58.12 m

46'-10 1/2" BUILDING HEIGHT
 REV SR1

REV SR1

1
 A5.0

1 BUILDING SECTION (SHORT)
 SCALE 1/4" = 1'-0"



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 71 RUSSELL AVE
 SHEET TITLE:
BUILDING SECTIONS

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Y.R.
 CHECKED BY:
B.L.
 PLOT DATE:
17-04-2026 14:43:22
 PROJECT DATE:
24-06-2025
 JOB NUMBER:
LA-1158-25
 SCALE:
1/4" = 1'-0"