

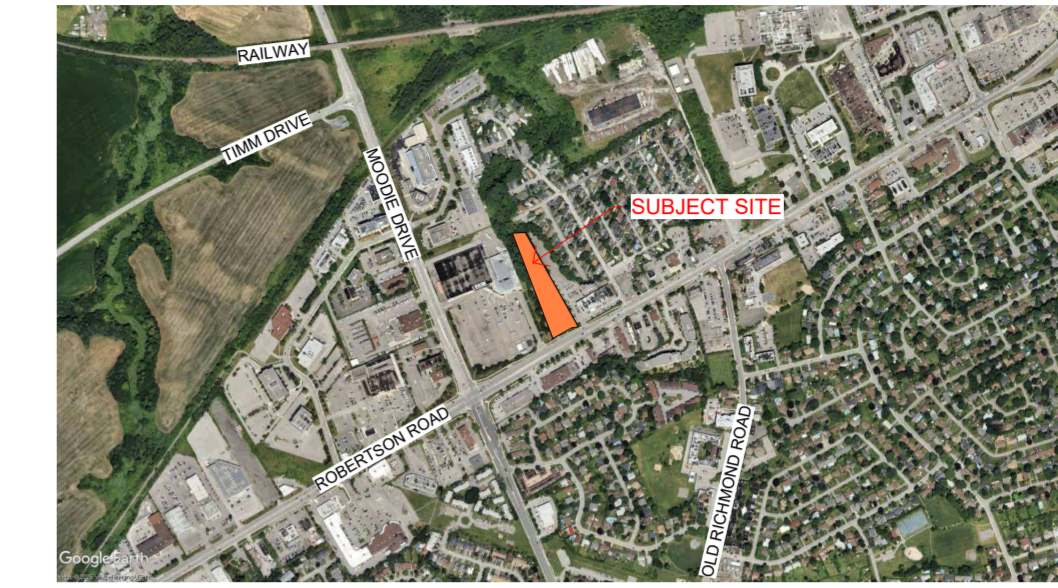
NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

LIST OF DRAWINGS

| CIVIL | |
|---------------|---------------------------------------|
| C000 | NOTES |
| C001 | EXISTING CONDITIONS AND REMOVALS PLAN |
| C100 | SITE SERVICING PLAN |
| C200 | SITE GRADING PLAN |
| C300 | EROSION AND SEDIMENT |
| C400 | PRE-DEVELOPMENT STORM CATCHMENTS |
| C500 | POST-DEVELOPMENT STORM CATCHMENT |
| LANDSCAPE | |
| L-1 | LANDSCAPE PLAN |
| L-2 | SOIL VOLUME AND CANOPY COVER PLAN |
| ARCHITECTURAL | |
| A000 | COVER SHEET |
| A001 | SITE PLAN |
| A001a | SITE PLAN DETAILS |
| A100 | FLOOR PLANS |
| A105 | ROOF PLAN & DETAILS |
| A201 | EXTERIOR ELEVATION I |
| A202 | EXTERIOR ELEVATION II |

KEY PLAN



LIST OF CONSULTANTS

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Contact: Jon McGinn x 273

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Contact: Stephanie Pigott
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MTE Consultants Inc
1016 Sutton Drive, Unit A,
Burlington, Ontario L7L 6B8

Phone: 905.639.2552
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Email: PDiTullio@mte85.com

MECHANICAL & ELECTRICAL

Jain Sustainability Consultants Inc.
7405 East Danbro Crescent
Mississauga, ON. L5N 6P8

Phone: 905.285.9900
Fax: 905.567.5246
Contact: Dinesh Jain
Email: djain@jainconsultants.com

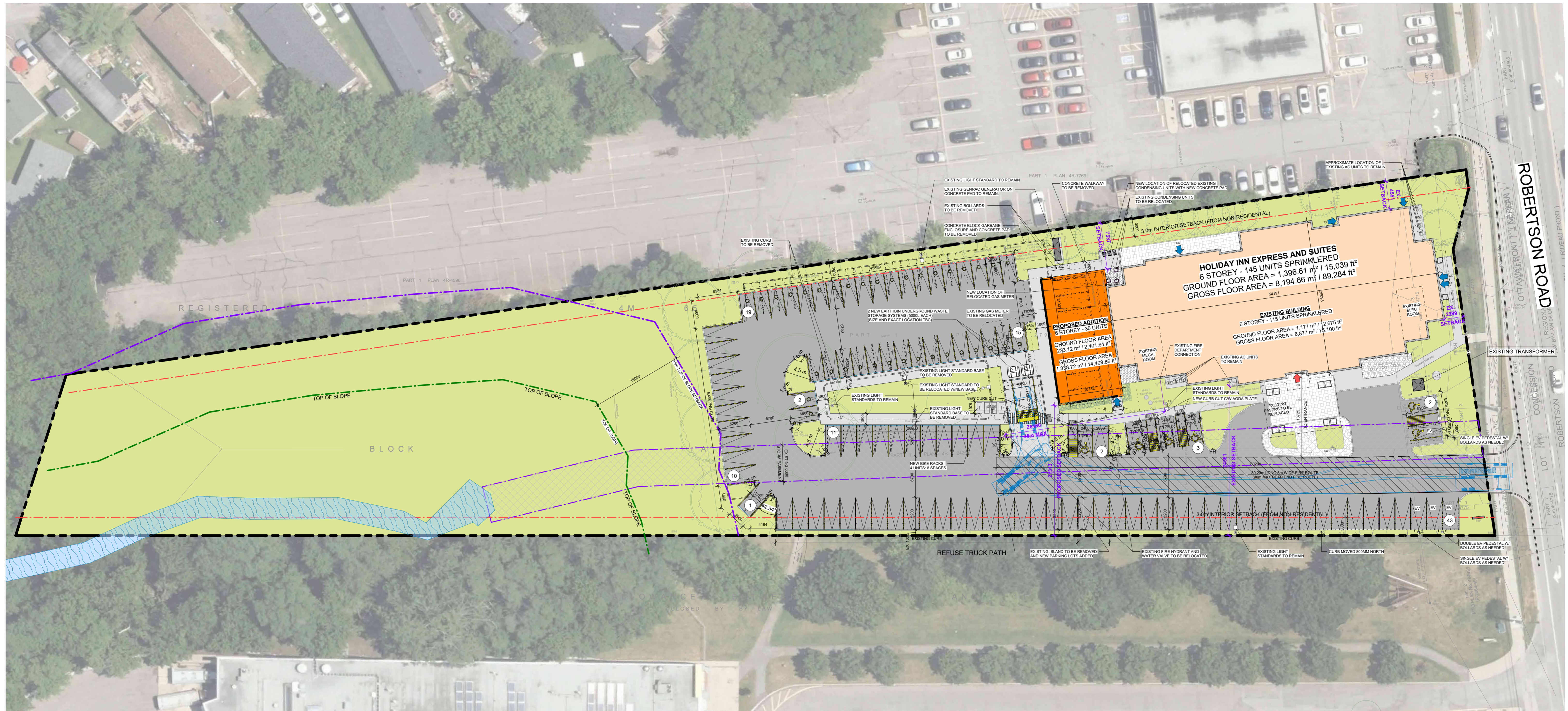
PROJECT NO. 125009

NEPEAN HOLIDAY INN EXPRESS
PROTOTYPE v2.2 - RENO

DATE 2025-12-22

ISSUED FOR SPA

| NO. | ISSUED | DATE |
|-----|-------------------|------------|
| | CLIENT REVIEW | 2025-01-28 |
| | CITY REVIEW | 2025-06-02 |
| | COORDINATION | 2025-06-23 |
| | COORDINATION | 2025-10-03 |
| | BRAND REVIEW 100% | 2025-10-03 |
| | COORDINATION | 2025-11-03 |
| | COORDINATION | 2025-11-08 |
| | COORDINATION | 2025-11-20 |
| | IPA | 2025-12-12 |



1 SITE PLAN
A001
1 : 300

2055 ROBERTSON ROAD, NEPEAN, ON (Ward 8, College)
AM ZONE (ARTERIAL MAIN STREET ZONE)
ZONING BY-LAW 2008-250

ZONE REGULATIONS

| | |
|---------------------|----------------------|
| MIN LOT AREA | NO MINIMUM |
| MIN LOT WIDTH | NO MINIMUM |
| FRONT YARD | NO MINIMUM |
| INTERIOR YARD | 3.0m |
| REAR YARD | NO MINIMUM |
| MAX BUILDING HEIGHT | 30m MAX OR 9 STOREYS |
| MAX FSI | NO MAX |

PARKING REGULATIONS

TYPICAL: 2.6m x 5.2m MINIMUM
ACCESSIBLE TYPE A: 3.4m x 5.2m MINIMUM
ACCESSIBLE TYPE B: 2.4m x 5.2m MINIMUM
DRIVE AISLE: 6.7m MINIMUM

QUANTITY:
OVERALL: 1 PER UNIT
ACCESSIBLE: 134-166 SPACES REQUIRED = 6 ACC. SPACES (3 TYPE A, 3 TYPE B)

LOADING REGULATIONS

SIZE: 3.5m x 7.0m
QUANTITY: 5000-9999m² - 2 SPACES

GENERAL NOTES

PARKING DEPTH TO BE ADJUSTED FROM 6.0m TO 5.2m IN ACCORDANCE TO OTTAWA ZONING BYLAW SECTION 106

DRIVEAISLES TO BE ADJUSTED FROM 6.0m TO 6.7m IN ACCORDANCE TO OTTAWA ZONING BYLAW SECTION 107

PROPOSED CURBS
EXISTING CURBS

EXISTING UNIT SCHEDULE

| Name | Count |
|-----------------------------------|------------|
| EXTG. ACC DOUBLE QUEEN | 5 |
| EXTG. ACC KING | 5 |
| EXTG. ACC KING SUITE | 2 |
| EXTG. DOUBLE QUEEN EXTENDED | 10 |
| EXTG. DOUBLE QUEEN SUITE EXTENDED | 18 |
| EXTG. KING | 30 |
| EXTG. KING JACUZZI | 5 |
| EXTG. KING SHOTGUN SUITE | 30 |
| EXTG. KING SUITE | 10 |
| TOTAL | 115 |

PROPOSED UNIT SCHEDULE

| Name | Count |
|--------------------|-----------|
| ACC DOUBLE QUEEN | 5 |
| DOUBLE QUEEN | 19 |
| DOUBLE QUEEN SUITE | 6 |
| TOTAL | 30 |

SITE STATISTICS

| DESCRIPTION | AREA (SM) | AREA (SF) | PERCENTAGE |
|---------------------------|--------------------------------|-------------------------------|---------------|
| BUILDING FOOTPRINT | | | |
| BUILDING | 1,401.47 m ² | 15,085 ft ² | 13.9% |
| FOOTPRINT | 1,401.47 m ² | 15,085 ft ² | 13.9% |
| HARD LANDSCAPE | | | |
| ASPHALT | 2,840.90 m ² | 30,579 ft ² | 28.1% |
| CURB | 79.51 m ² | 856 ft ² | 0.8% |
| LOOSE STONE | 23.56 m ² | 254 ft ² | 0.2% |
| PAVER | 203.20 m ² | 2,187 ft ² | 2.0% |
| SIDEWALK | 464.67 m ² | 5,004 ft ² | 4.6% |
| SOFT LANDSCAPE | | | |
| LANDSCAPE | 5,081.46 m ² | 54,696 ft ² | 50.3% |
| | 5,081.46 m ² | 54,696 ft ² | 50.3% |
| | 10,094.96 m ² | 108,661 ft ² | 100.0% |
| OVERALL SITE | 10,081.61 m² | 108,517 ft² | 100.0% |

PROPOSED PARKING SCHEDULE

| TYPE | DESCRIPTION | COUNT |
|---------------------|-------------|-------|
| PROPOSED | | |
| ACCESSIBLE - TYPE A | 5.2m X 3.4m | 3 |
| ACCESSIBLE - TYPE B | 5.2m X 2.4m | 3 |
| COMPACT | 4.6m x 2.4m | 36 |
| STANDARD | 5.2m x 2.6m | 66 |
| PROPOSED: 108 | | 108 |

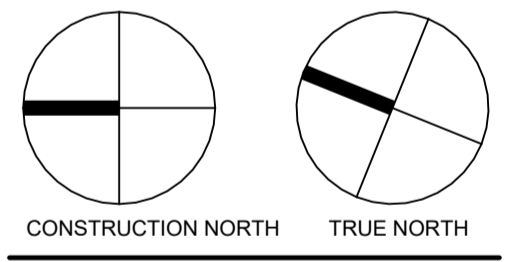
REQUIRED PARKING
1 PER UNIT x 145 UNITS = 145 PARKING SPACES REQUIRED
6 SPACES TO BE ACCESSIBLE (INCLUDED IN TOTAL)

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CLIENT: Owner



NEPEAN HOLIDAY INN EXPRESS RENOVATION

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

SHEET NAME

SITE PLAN

START DATE: JANUARY 2025
DRAWN BY: MW/HK
CHECKED BY: LC
SCALE: 1 : 300
PROJECT NO.: 125009

DRAWING A001

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FIRE ROUTES - BY-LAW No. 2002-039

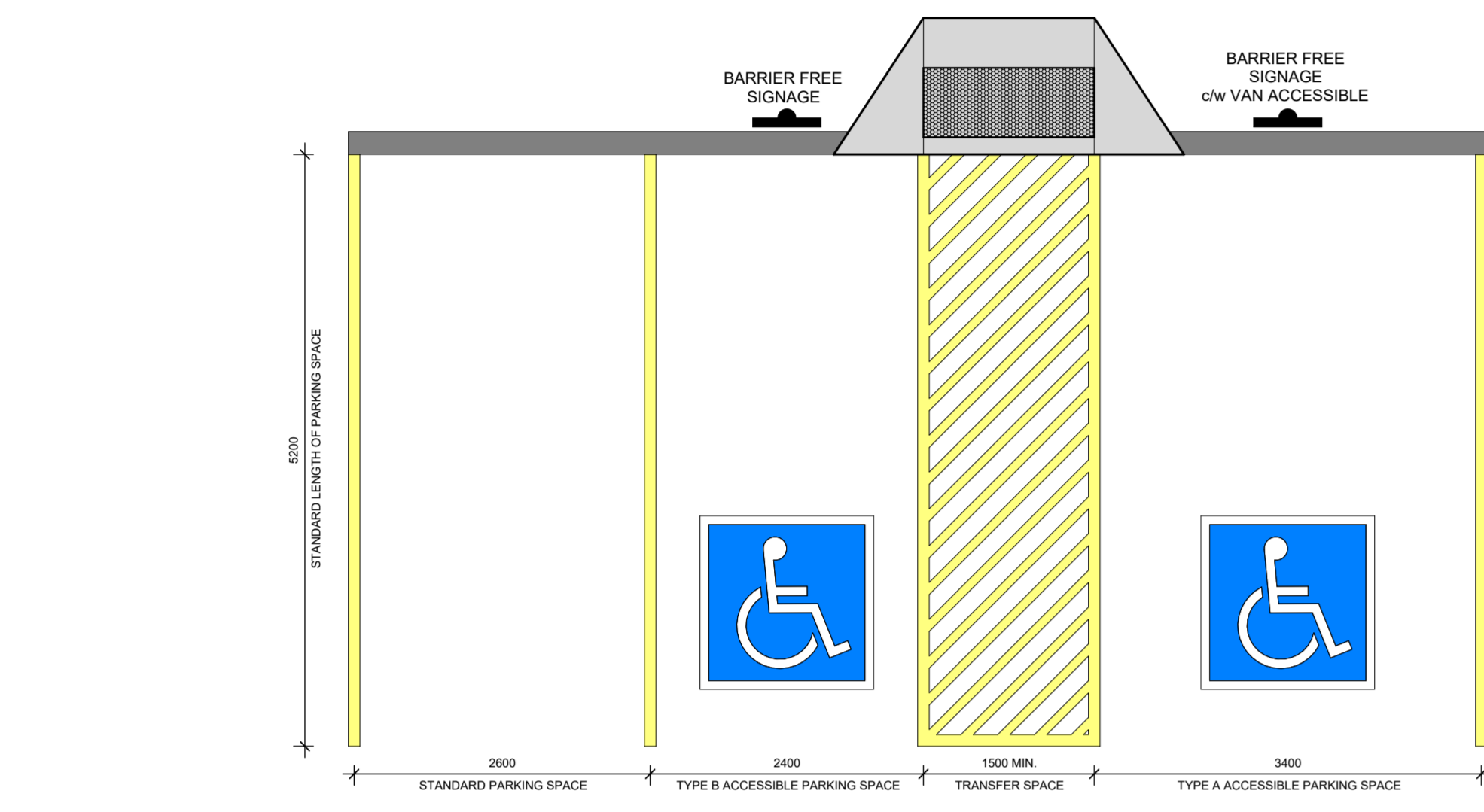
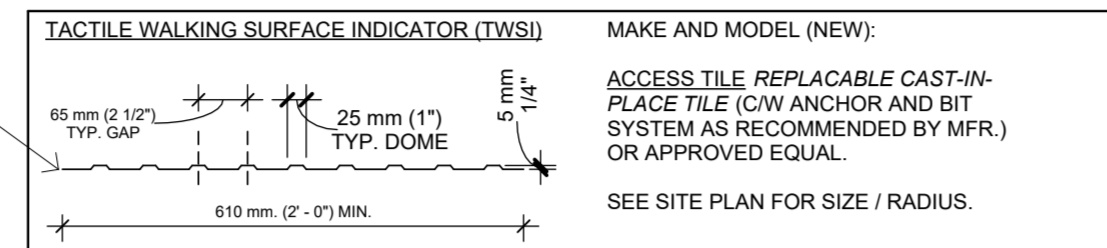
1. Landmark specifically required signs for an approval of a fire route in accordance with the Fire Protection and Prevention Act or the Fire Code, the Building Code Act or the Ontario Building Code or other applicable laws and regulations under the Planning Act, the following requirements shall apply to signs for fire routes:
2. A sign-posting parking on the route shall:
3. be not less than 4.5m in height and not less than 30 centimetres in width.
4. have the message and message that the sign is to convey, where applicable, in both French and English.
5. include:
6. the French Language message "ITINÉRAIRE DES POMPIERS" and the English Language message "FIRE ROUTE";
7. the International Symbol of Access (ISA) (wheelchair symbol);
8. the International Symbol of Access (ISA) (wheelchair symbol) and the text "ACCESSIBLE PARKING" (in French and English).
9. be placed on a vertical surface of a minimum height of 4.5m; the English Language message "FIRE ROUTE" and the French Language message "ITINÉRAIRE DES POMPIERS" shall be placed on the same surface.
10. be placed on a vertical surface of a minimum height of 4.5m; the English Language message "FIRE ROUTE" and the French Language message "ITINÉRAIRE DES POMPIERS" shall be placed on the same surface.
11. be placed on a vertical surface of a minimum height of 4.5m; the English Language message "FIRE ROUTE" and the French Language message "ITINÉRAIRE DES POMPIERS" shall be placed on the same surface.
12. be placed on a vertical surface of a minimum height of 4.5m; the English Language message "FIRE ROUTE" and the French Language message "ITINÉRAIRE DES POMPIERS" shall be placed on the same surface.



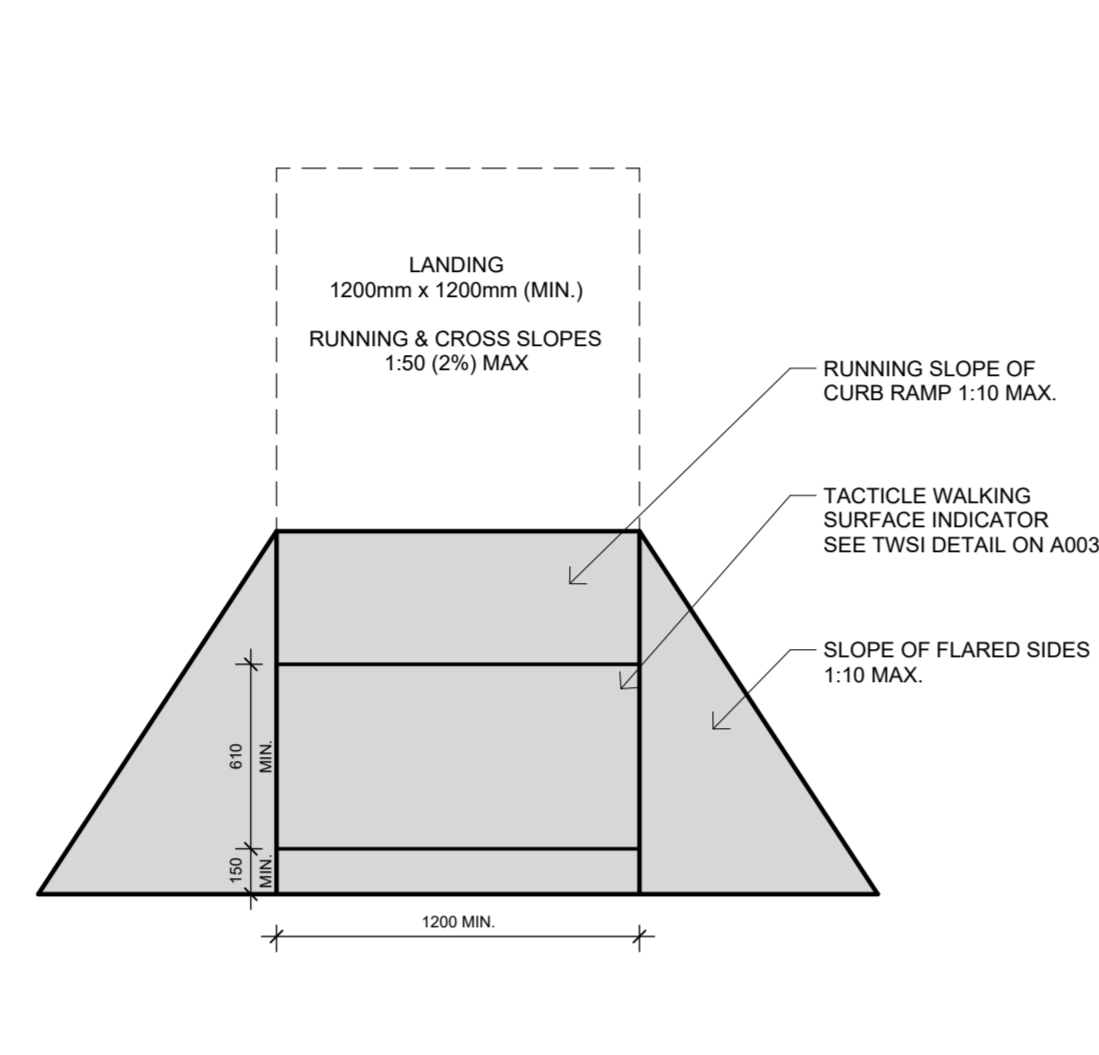
FIRE ROUTE SIGN DETAIL
1:100

CURB CUT WITH TWSI PLATE DETAIL Copy 1
1:10

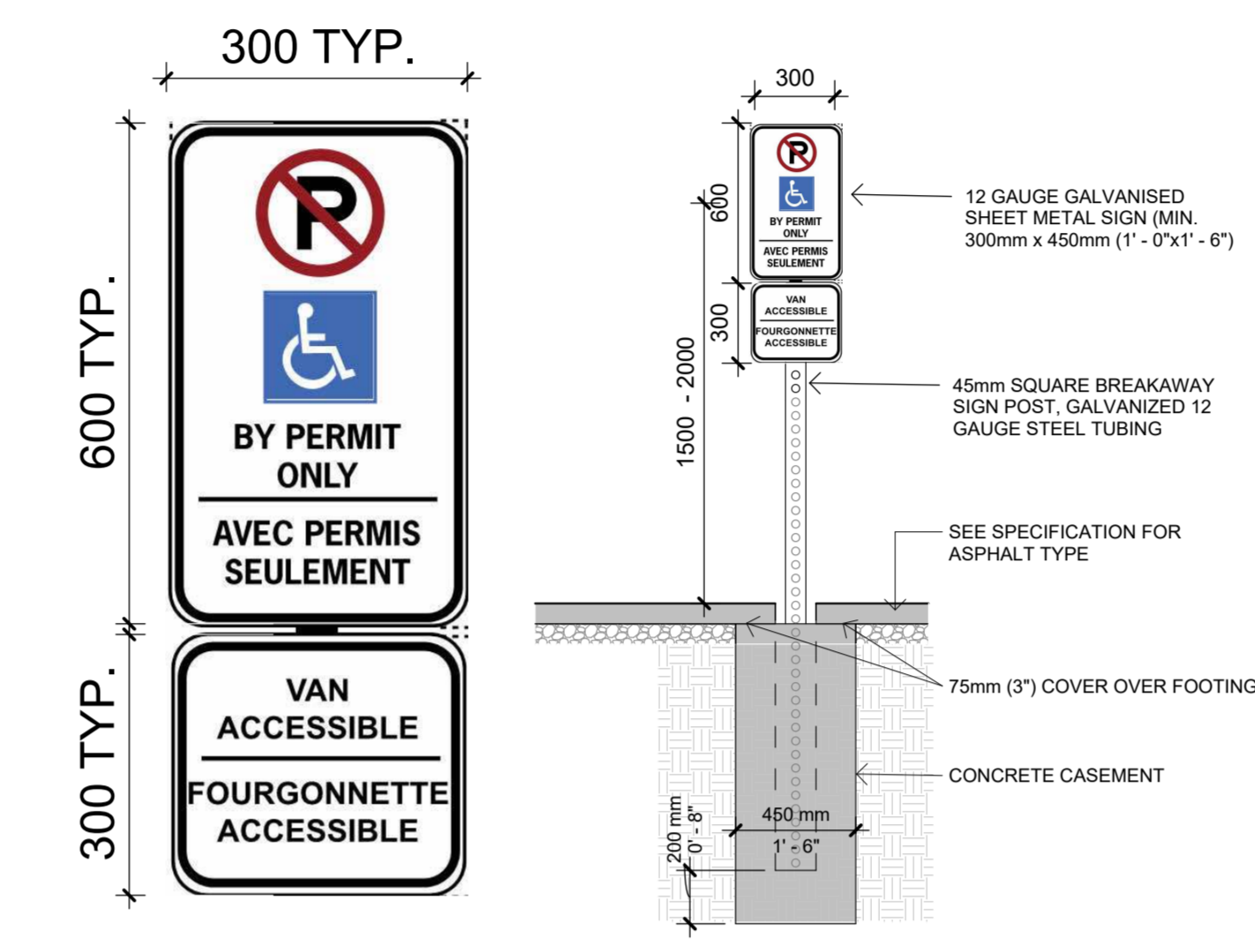
MAKE AND MODEL (RENO):
ACCESS TILE SURFACE APPLIED TILE.
C/W BONDING & FASTENERS AS
RECOMMENDED BY MFR, OR
APPROVED EQUAL.
SEE SITE PLAN FOR SIZE / RADIUS.



STANDARD PARKING DIMENSIONS
1:50

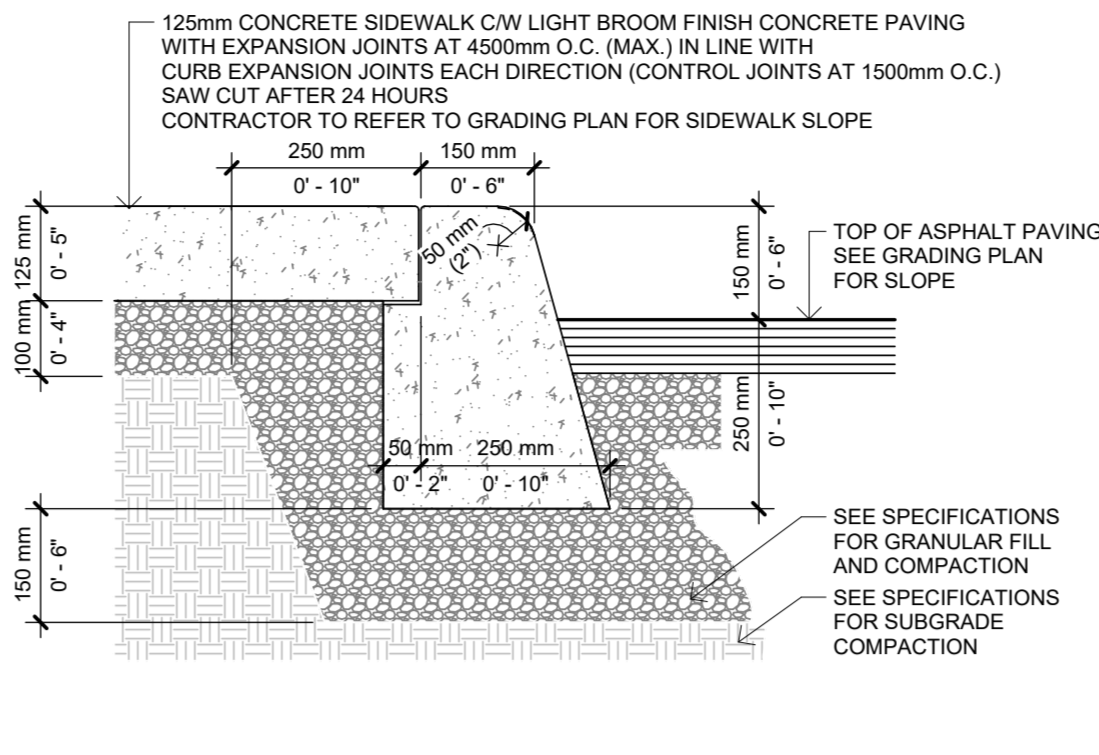


TYPICAL DEPRESSED CURB DETAIL
1:25

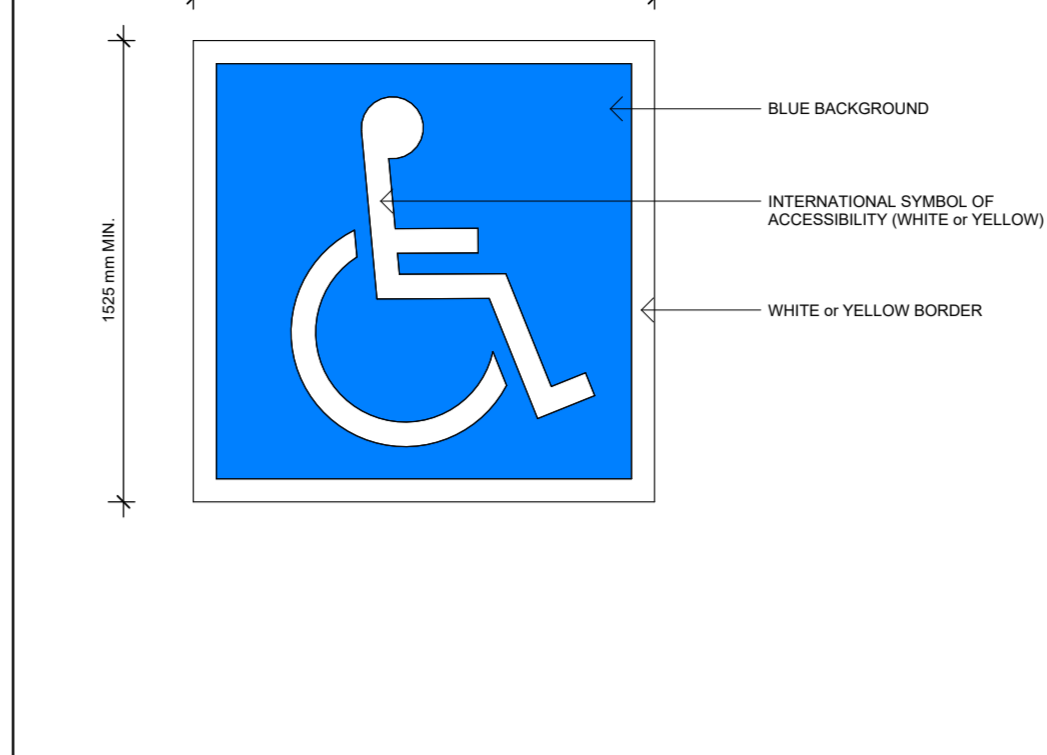


ACCESSIBLE PARKING SIGNAGE (ENLARGED)
1:25

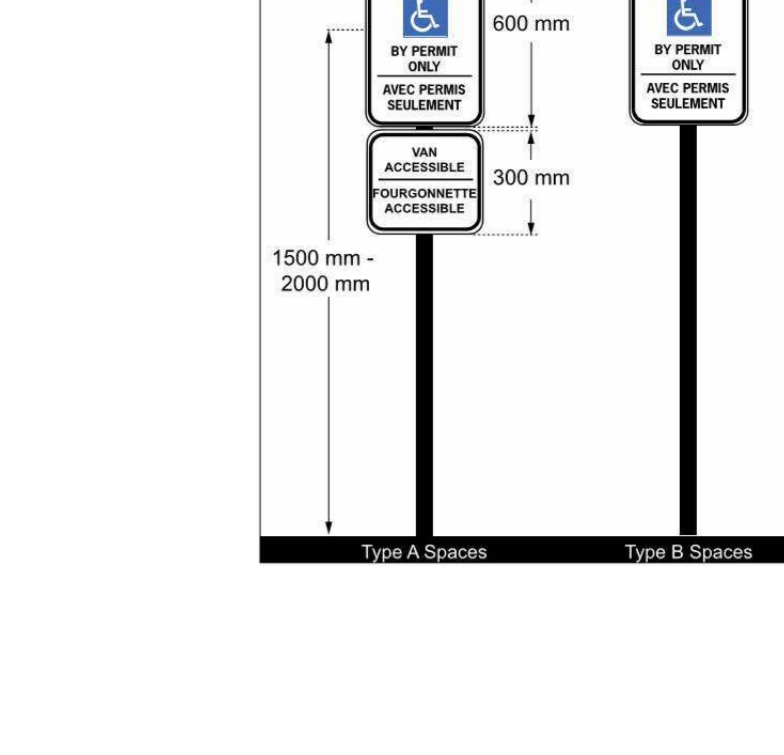
TYPICAL CONCRETE CURB
1:10



TYPICAL ACCESSIBLE PAVEMENT MARKINGS
1:25



ACCESSIBLE PARKING SIGNAGE
1:25



| NO. | ISSUED | DATE |
|-----|--------|------------|
| | | 2025-12-22 |

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CLIENT
Owner

SEAL

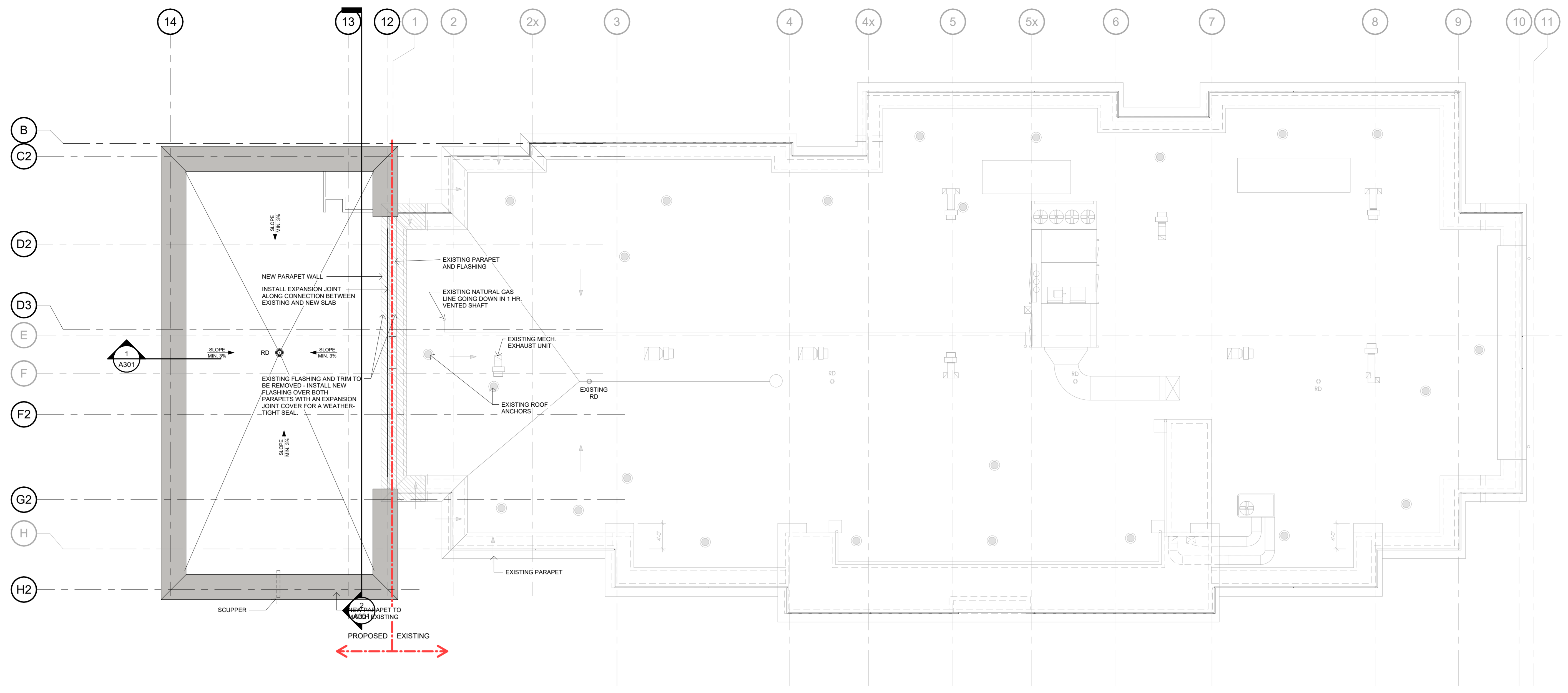
CONSTRUCTION NORTH TRUE NORTH
PROJECT
NEPEAN HOLIDAY INN EXPRESS RENO
2055 ROBERTSON ROAD,
NEPEAN, ON K2H 5Y9

SHEET NAME
SITE PLAN DETAILS
START DATE
JANUARY 2025
DRAWN BY
MW
CHECKED BY
AM
SCALE
As indicated
PROJECT NO.
125009
DRAWING

A001a

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| NO. | ISSUED | DATE |
|-----|-------------------|------------|
| 1 | COORDINATION | 2025-09-23 |
| 2 | BRAND REVIEW 100% | 2025-10-01 |
| 3 | COORDINATION | 2025-10-01 |
| 4 | COORDINATION | 2025-11-03 |
| 5 | COORDINATION | 2025-11-17 |
| 6 | SPA | 2025-12-22 |



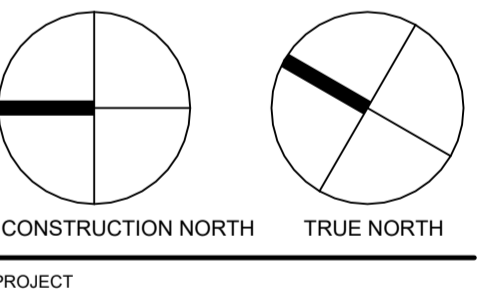
1 ROOF DEMO AND PROPOSED PLAN
A105 1 : 100

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CLIENT
Owner



NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO

2055 ROBERTSON ROAD,
NEPEAN, ON K2H 5Y9

ROOF PLAN & DETAILS

START DATE: JANUARY 2025
DRAWN BY: MW/HK
CHECKED BY: LC
SCALE: 1 : 100
PROJECT NO.: 125009

DRAWING
A105

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| NO. | ISSUED | DATE |
|-----|-------------------|------------|
| 1 | CLIENT REVIEW | 2025-01-28 |
| 2 | COORDINATION | 2025-06-23 |
| 3 | BRAND REVIEW | 2025-07-02 |
| 5 | BRAND REVIEW 100% | 2025-10-01 |
| 4 | COORDINATION | 2025-10-01 |
| 6 | COORDINATION | 2025-11-03 |
| 7 | COORDINATION | 2025-11-17 |
| 8 | SFA | 2025-12-12 |

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CLIENT: **Owner**



PROJECT: **NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

EXTERIOR ELEVATION II

START DATE: **JANUARY 2025**
DRAWN BY: **MW/HK**
CHECKED BY: **LC**
SCALE: **1 : 100**
PROJECT NO.: **125009**

A202

FINISH LEGEND - ADDITION

- A1 EIFS LIGHT GRAY
Divt - Colour: Sandblast HEIK-09-10228
- A2 EIFS WARM BROWN
Divt - Colour: Sandblast HEIK-10-10228
- A3 EIFS DARK GRAY
Divt - Colour: Sandblast HEIK-11-10228
- A4 EIFS GRAY
Divt - Colour: Sandblast HEIK-12-10228
- A5 NEW STONE TO MATCH EXISTING
Divt - Colour: Sandblast HEIK-12-10228
- A6 EIFS TRIM GRAY
Divt - Colour: Sandblast HEIK-12-10228
- A7 NEW EXTERIOR DOOR: COLOUR TO MATCH ADJACENT WALL. SEE DOOR SCHEDULE FOR SPECIFICATIONS.
- GLAZING WITH BIRD FRIENDLY FRITTING PER OTTAWA BIRD-SAFE DESIGN GUIDELINES. FRIT TO BE WHITE AND FOLLOW BELOW DETAILED SPECS.

ELEVATION KEY NOTES - RENOVATION

- 1 EXISTING FACADE TO BE PAINTED: LIGHT GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 2 EXISTING FACADE TO BE PAINTED: DARK GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 3 EXISTING FACADE TO BE PAINTED: GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 4 EXISTING FACADE TO BE PAINTED: WARM BROWN / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 5 EXISTING CANOPY TO BE PAINTED: BLACK TO MATCH ALLICORBOND PLUS CLASSIC COLLECTION - GRAPHITE MICA PVD# 2 GLOSS 25-35
- 6 EXISTING STONE TO REMAIN AS IS
- 7 PAINT EXISTING EIFS TRIMS TO MATCH ADJACENT WALL FINISHES, AS NOTED ON ELEVATIONS.
- 8 EXISTING GLAZING AND MULLIONS TO REMAIN AS IS
- 9 EXISTING SPANDREL AND MULLIONS TO REMAIN AS IS
- 10 PAINT EXISTING VTAC COVERS / MECHANICAL GRILLS TO MATCH ADJACENT WALL COLOUR
- 11 PAINT EXISTING DOOR TO MATCH ADJACENT WALL COLOUR
- 12 EXISTING SIGNAGE TO REMAIN AS IS
- 13 NEW WINDOW AND LOUVRE TO MATCH EXISTING DESIGN & COLOUR WITH BIRD-SAFE TREATMENT
- 14 NEW GLASS EXTERIOR DOOR: COLOUR TO MATCH EXISTING DOORS/FRAMES. SEE DOOR SCHEDULE FOR DESIGN & SPECIFICATIONS.
- 15 PREFINISHED ALUMINUM DOOR & FRAME TO REMAIN AS IS
- 16 REPLACE EXISTING COLUMN DECORATIVE LIGHTS WITH NEW BRONZE 3000K LED LIGHT 60" HIGH
- 17 EXISTING LIGHTING FIXTURE (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED.
- 18 EXISTING MECHANICAL LOUVER (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED AND RELOCATED AS REQUIRED. REFER TO MECHANICAL DRAWINGS FOR REPORTING AND FINAL LOCATION.
- 19 EXISTING DOORS AND WINDOWS (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED FOR NEW ADDITION, TYP.

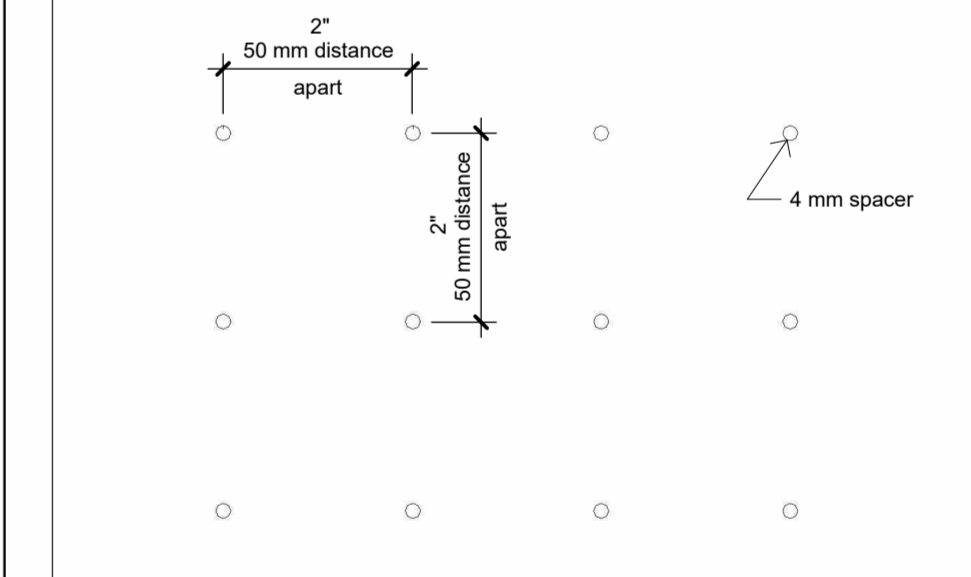
BIRD-SAFE GLAZING NOTE:

FOR THE NEW ADDITION PART OF THE BUILDING, ALL VISION GLAZING WITHIN THE FIRST 16 ft FROM FINISHED GRADE (OR TO THE HEIGHT OF ADJACENT MATURE TREE CANOPY, WHICHEVER IS GREATER) SHALL INCLUDE BIRD-SAFE TREATMENT (FRITTED GLASS) IN ACCORDANCE WITH THE CITY OF OTTAWA BIRD-SAFE DESIGN GUIDELINES.

TREATMENT TO CONSIST OF HIGH-CONTRAST, 4 MM DIAMETER DOTS, SPACED AT MAXIMUM 50 MM X 50 MM, APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS. PATTERN SHALL COVER A MINIMUM OF 90% OF EACH GLAZED AREA.

SPECIFICATIONS FOR EFFECTIVE VISUAL MARKERS:

- HIGH COLOUR CONTRAST TO THE GLASS SURFACE
- MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS
- ANY PATTERN OF VISUAL MARKER IS ACCEPTABLE (I.E. LINES, DOTS, ETC.) AS LONG AS A MAXIMUM SPACING OF 50 mm BY 50 mm IS USED (SEE FIGURE BELOW)
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 mm DIAMETER, OR 2 mm WIDE BY 8 mm LONG FOR LINEAR ELEMENTS.



GENERAL NOTE:

THE BUILDING CONSISTS OF TWO PARTS: THE NEW ADDITION AND THE EXISTING PIP BUILDING. EACH WILL PROCEED THROUGH ITS OWN SEPARATE BUILDING PERMIT AND REGULATORY APPROVAL PROCESS.



2 PROPOSED SOUTH ELEVATION
A202
1 : 100



1 PROPOSED EAST ELEVATION
A202
1 : 100

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