



**Holiday Inn – 2055 Robertson Road, Ottawa, ON**

**Client:**

Manga Hotels (Nepean) LP.

**Project Number:**

OTT-25002871-A0

**Application Stage:**

Site Plan Control

EXP Services Inc.

100-2650 Queensview Drive

Ottawa, ON K2B 8H6

**Date Submitted:**

November 20, 2025

## Holiday Inn – 2055 Robertson Road, Ottawa, ON

**Type of Document:**

Stormwater Management & Site Servicing Report

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**Date Submitted:**

November 20, 2025

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# 1 Introduction

EXP Services Inc. (EXP) was retained by Manga Hotels (Nepean) LP. to provide site grading, servicing and Stormwater Management report for the proposed six (6) storey, thirty (30) unit addition to the existing six (6) storey, hundred and fifteen (115) units hotel building located at 2055 Robertson Road in the City of Ottawa.

The property is approximately 1 hectare in area. Out of which approx., 0.6ha is developed and remainder of the site is undeveloped and will remain as-is as part of the proposed work. The site is bound by Robertson Road along the southeast property line, by commercial properties on the northeast and southwest property lines and by a residential subdivision on the northwest property line. Refer to **Figure A1** in **Appendix A** for the site location.

This Stormwater Management & Site Servicing Report will address the Servicing requirements for the proposed development including the domestic and fire water, sanitary and storm servicing. The report will also cover the storm water management requirements and proposed methods to meet those requirements.

# 2 Existing Conditions

The subject property is currently occupied by a (6) six storey, (115) one-hundred and fifteen unit hotel and its associated parking facilities. The existing parking extends to a top of slope setback beyond which a densely treed slope drains to the Stillwater Creek. The proposed works will remain within the slope setback with the portion of the property to the northeast remaining as is. The topography of the site generally slopes from the Robertson Road Right of Way towards the slope and watercourse at the northeast portion of the site.

Existing services or infrastructure within the property:

o Storm:

- Existing 2135mmØ CSP in easement to Stillwater Creek
- Existing 200mmØ & 375mmØ pipe connecting two existing catchbasins in the north parking discharging to the existing collection manhole at the northwest corner of the existing building
- Existing 200mmØ connecting one existing catchbasin in the south parking discharging to the existing collection manhole at the northwest corner of the existing building
- Existing Stormceptor connected to collection manhole at the northwest corner of the existing building & discharging to the 2135mmØ CSP in easement to Stillwater Creek
- Existing 525mmØ Concrete storm pipe in easement parallel to Robertson Road

o Sanitary

- Existing Sanitary sump pit at southeast corner of building with sanitary forcemain discharging to existing MHSA15956 on south side of Richmond Road.

o Water

- Existing 150mmØ watermain
- Existing private Hydrant (356020HP091) near northwest corner of building

Existing infrastructure within the Robertson Road right of way:

- Storm:
  - 450mmØ Corrugated steel pipe
- Sanitary
  - 250mmØ concrete
- Water
  - 203mmØ cast iron
- Other
  - Gas
  - Bell
  - Overhead hydro

### 3 References

Various documents were referred to in preparing the current report including:

Sewer Design Guidelines, Second Edition, Document SDG002, October 2012, City of Ottawa (Guidelines) including:

- Technical Bulletin ISDTB-2012-4 (20 June 2012)
- Technical Bulletin ISDTB-2014-01 (05 February 2014)
- Technical Bulletin PIEDTB-2016-01 (September 6, 2016)
- Technical Bulletin ISDTB-2018-01 (21 March 2018)
- Technical Bulletin ISDTB-2018-04 (27 June 2018)
- Technical Bulletin ISDTB-2019-02 (08 July 2019)

Ottawa Design Guidelines – Water Distribution, July 2010 (WDG001), including:

- Technical Bulletin ISDTB-2014-02 (May 27, 2014)
- Technical Bulletin ISTB-2018-02 (21 March 2018)
- Technical Bulletin ISTB-2021-03 (18 August 2021)

Stormwater Management Planning and Design Manual, Ontario Ministry of the Environment and Climate Change, March 2003 (SMPDM).

Design Guidelines for Drinking-Water Systems, Ontario Ministry of the Environment and Climate Change, 2008 (GDWS).

Fire Underwriters Survey, Water Supply for Public Fire Protection (FUS), 2020

Ontario Building Code 2012, Ministry of Municipal Affairs and Housing

Geotechnical Investigation Report prepared by WSP Canada Inc, Dated October 20, 2025

Stormwater Management and Servicing Report - David McManus Engineering Ltd. - August 4, 2008 (rev. 1)

## 4 Watermain Design

### 4.1 Required Fire Flow

The fire flow demand calculations were prepared based on the Fire Underwriters Survey (FUS, 2020) criteria. The following inputs were considered based on the response and documentation received from the Architect (Included in **Appendix B**).

- Non-combustible Construction
- Limited Combustible
- Adequate Sprinkler Conforms to NFPA13
- Standard Water Supply for Fire Department Hose Line and for Sprinkler System
- Fully Supervised Sprinkler System

The required fire flow was determined to be 100.0 L/s (6,000 L/min). Refer to **Table B2** in **Appendix B** for detailed fire flow demand calculations.

### 4.2 Watermain Design

The domestic water demands for the proposed building (Existing + Addition) were calculated per the City of Ottawa Water Design Guidelines (July 2010).

The following inputs were used for water demand calculations:

- Hotel (Residential) = 225 L/person
- Residential populations were determined by assuming 2 persons for each bed queen or larger as indicated in the room schedule provided in architectural plans.
- Max. Day Peaking Factor (Residential) = 2.5
- Peak Hour Peaking Factor (Residential) = 2.2
  
- Hotel (Assembly) = 125 L/person
- Assembly population was taken from the building code matrix provided in architectural plans.
- Max. Day Peaking Factor (Assembly) = 1.5
- Peak Hour Peaking Factor (Assembly) = 1.8

Refer to **Table B1** in **Appendix B** for detailed calculations. The proposed building's domestic demands were calculated as follows.

#### Water Demands:

Average daily demand = 1.42 L/s

Maximum daily demand = 3.22 L/s

Maximum hourly daily demand = 6.87 L/s

The estimated average daily demand of the proposed development is greater than 50 m<sup>3</sup>/day. Therefore, two 150mm diameter water services separated by an isolation valve are proposed for domestic and sprinkler demands to avoid creating a vulnerable service zone as per the City of Ottawa WDG 2010. The proposed water services are to be connected to the 200mm diameter municipal watermain on Robertson Road. Refer to Site Servicing Drawing (C100) – included in **Appendix F**.

### 4.3 Pressure Check

The City of Ottawa provided boundary conditions based on the domestic and fire flow demands as shown in the table below:

Scenario	Demand	
	L/min	L/s
Average Daily Demand	85	1.42
Maximum Daily Demand	193	3.22
Peak Hour	412	6.87
Fire Flow Demand	6,000	100.00

The boundary conditions provided by the City are as follows:

Connection 1 – Robertson Road		
Demand Scenario	Head (m)	Pressure <sup>1</sup> (psi)
Min HGL	126.8	50.6
Max HGL	131.5	57.2
Max Day plus Fire Flow	120.0	40.9
<sup>1</sup> Ground Elevation =	91.27	m

The residual pressures at building FFE will be between 40 psi and 80 psi except in the case of Max day + sprinkler demands. Therefore, pressure boosting measures will be required. Mechanical engineer will provide these measures as design progresses.

The residual pressure in the municipal watermain along Robertson Road during max Day + Fire Flow demand was noted as 40.9 which is more than the minimum required pressure of 20 psi.

Based on the above noted analysis, the existing water supply system and the proposed services will have adequate capacity to meet the domestic and fire demands for the proposed building. Refer to **Table B3** in **Appendix B** for detailed pressure calculations and correspondence with the City of Ottawa indicating boundary conditions.

## 4.4 Review of Hydrant Spacing

A review of the hydrant spacing was completed to ensure compliance with Appendix I of Technical Bulletin ISTB-2018-02. As per Section 3 of Appendix I all hydrants within 150 meters were reviewed to assess the total possible contribution of flow from these contributing hydrants. For each hydrant, the distance along a fire route was measured and assigned contributing flows. A review of the available fire hydrant within 150m distance along the fire route from the building was carried out which is summarized in the table below.

**Table 4 -1: Summary of Nearby Municipal Hydrants**

Hydrant #	Location	City / Private	Color Code	Distance from the Building (m)	Fire Flow Contribution for Class AA Hydrant (L/min)
356020H023	Robertson Road	City	Blue	111.6	3,800
356020H024	Robertson Road	City	Blue	143.3	3,800
356020HP091	Site (Relocated)	Private	Blue	33.5	5,700
<b>Total:</b>					13,300

As noted in the table above, there are total two (2) existing municipal fire hydrants within 150m distance along a fire route and a relocated private hydrant within the parking lot, which equates to a total accessible fire flow of 13,300 L/min. This is well above the required fire flow of 6,000 L/min. Refer to **Figure A2 in Appendix A** for the hydrant location plan.

Based on the boundary conditions received from the city and review of the available municipal hydrants as noted above, the proposed development can be serviced for the required fire flow.

## 5 Sanitary Sewer Design

### 5.1 Peak Design Flow

The anticipated peak sanitary flows from the site have been calculated as per the City of Ottawa Sewer Design Guidelines (October 2012).

The following inputs were used for sanitary demand calculations:

- Hotel (Residential) = 225 L/person
- Residential populations were determined by assuming 2 persons for each bed queen or larger as indicated in the room schedule provided in architectural plans.
- Peaking Factor (Residential) per Harmon equation (K=0.8) = 3.41
- Peak Extraneous flow = 0.33 l/s/ha
- Site area = 1.01 ha
- Hotel (Assembly) = 125 L/person

- Assembly population was taken from the building code matrix provided in architectural plans.
- Commercial peak factor = 1.5
- Peak Extraneous flow = 0.33 l/s/ha
- Site area = 1.01 ha

The anticipated peak sanitary flows (including infiltration) for the proposed development were calculated to be **4.54 L/s**. Refer to Site Servicing plan and the sanitary sewer design sheet **Table C1** in **Appendix C**.

As per the record drawings received from the City, the existing 200mm dia. Building sanitary service discharges into an existing sanitary pump station outside the building at the south east corner. From the pump station, 100mm dia. Sanitary force main discharges into the existing municipal 250mm dia. Sanitary sewer on Robertson Road as shown on Site Servicing Plan (C100) included in **Appendix F**. However, through several field investigation efforts, the existing sanitary pump station could not be located. Therefore, prior to performing the proposed work, the contractor will locate the existing building sanitary service and confirm whether the building service is discharging into the municipal sanitary sewer via gravity or pumped. If it is pumped, then the suitability of the existing pumps for the increased sanitary flowrate will be evaluated and pump upgrades will be proposed, if necessary.

## 6 Stormwater Management

### 6.1 Storm Design Criteria

The storm sewer system and stormwater management for the proposed development were designed in conformance with the City of Ottawa Sewer Design Guidelines (October 2012). The stormwater servicing design criteria stipulated in the Phase 1 Pre-Consultation meeting feedback form provided by the City of Ottawa for the proposed development are as follows:

- Storm discharge should be directed to the existing private storm sewer.
- Control the post development flow to the pre-development release rate for all storm events.
- Time of concentration:  $T_c = 10$ mins
- For quality control, demonstrate that an enhanced level of protection is met.

See Phase 1 Pre-Consultation meeting feedback form provided by the City of Ottawa in **Appendix E**.

### 6.2 Pre-Development Conditions

1.01-hectare site at 2055 Robertson Road is currently developed and occupied by a six-storey hotel and its associated parking facilities. The existing parking extends to a top of slope setback beyond which a densely treed slope drains to the Stillwater Creek. The topography of the site generally slopes from Robertson Road Right of Way towards Stillwater Creek at the northeast portion of the site.

Stormwater management facilities for the existing development were constructed according to an approved Site Plan Control application. See Stormwater Management and Servicing Report - David McManus Engineering Ltd. - August 4, 2008 (rev. 1) in **Appendix D**. Therefore, the pre-development conditions of the current development are informed by the post-development conditions established during the design of the existing development. The stormwater management facilities for the existing development were designed considering a limit of development enclosed by the Robertson Road Right of Way and previously established slope setback at the rear of the property enclosing approximately 0.65-hectares. Under the current development proposal, the stormwater management design is considered for approximately the same limit of development. The predevelopment weighted average runoff coefficient is 0.78.

### 6.3 Allowable Release Rate

As previously noted, the pre-development conditions of the current development are informed by the post-development conditions established during the design of the existing development. No notable changes to the land cover were made to the site after previous development as confirmed from the topographical survey performed by AOV in August, 2025. The design of the existing development established two controlled catchments with flow attenuating ICD's and their associated storage volumes to achieve the specified stormwater quantity control criteria – the roof, and the rear parking. Therefore, the controlled post development peak runoff rates established during the previous design of the existing development inform the allowable post development release rates for the current development. The runoff rates for the uncontrolled catchments were recalculated for the 2-, 5-, and 100-year storm events and the release rate for the controlled catchments were carried from the DME report to determine the allowable release rate for the current development. See Tables **D1-D2** and Stormwater Management and Servicing Report - David McManus Engineering Ltd. - August 4, 2008 (rev. 1) in **Appendix D**.

The allowable peak post development flowrate for the current development is summarized as follows:

- 2-year: 74.53 L/s
- 5-year: 81.60 L/s
- 100-year: 112.33 L/s

### 6.4 Post-Development Conditions

Stormwater from the 0.65 ha drainage area will be controlled and released at a rate less than the allowable release rate for storms up to and including the 100-year storm event. An overland flow route is provided for storms greater than the 100-year event. In the post-development conditions, the stormwater run-off coefficients for the roof, impermeable ground surfaces, and permeable surfaces are considered as 0.9, 0.9 and 0.2, respectively. The estimated post-development weighted average run-off coefficient for the proposed development is 0.74. Time of concentration of 10 mins was used for the post-development storm calculations as per the City of Ottawa Sewer Design Guidelines.

Under proposed conditions the existing roof denoted as catchment PR-1 will retain its original inlet controls and surface storage. The remainder of the drainage area has been delineated into catchments PR-2, P-1, P-2, P-3 and POS-1. Catchment PR-2 corresponds to the roof of the proposed addition for which flow controlled roof drains are proposed and surface storage provided. Catchment P-1 corresponds to a portion of the parking lot adjacent to Robertson Road and is un-controlled. Catchment P-2 corresponds to a portion of the parking lot adjacent to the slope at the rear of the developed area. Flows from this catchment are proposed to be attenuated by an ICD orifice situated in a dual inlet catch basin in the parking lot. Surface storage is provided by the grading design. Catchment P-3 corresponds to a landscaped area on the east side of the building and will be uncontrolled. Catchment POS-1 corresponds to a portion of the Robertson Road Right of Way that drains to the site and will be uncontrolled.

During post-development conditions, the uncontrolled flowrates during 2-year, 5-year and 100-year storm events were calculated as 103.5 L/sec, 140.4 L/sec and 292.0 L/sec, respectively.

With the existing and proposed flow controls and on-site storage, the controlled flowrates from the subject development during 2-year, 5-year and 100-year storm events will be 68.0 L/sec, 76.7 L/sec and 111.3 L/sec, respectively. Refer to **Tables D3 – D4** in **Appendix D** for detailed post development runoff coefficient and runoff calculations. For each of the 2, 5, and 100- year storm events the peak flowrate is less than the allowable flowrates noted in section 6.3. The proposed design makes use of the existing private storm

infrastructure. The existing 375mm diameter storm pipe will be extended approximately 6.0m to accommodate the proposed dual inlet catchbasin in the rear parking. The existing collector manhole and manufactured quality treatment unit at the northwest corner of the building discharging to the 2135mm diameter storm pipe in the easement will remain as-is. The roof drain of the proposed addition will be internally connected to the existing building storm service as part of the proposed work.

#### 6.4.1 Storage Requirements

Post development runoff will be detained on-site for storms up to and including the 100-year storm events. The required storage volumes will be achieved using surface ponding in the asphalt parking, the proposed addition roof, and the existing roof.

Surface ponding volumes over catch basins and roof drains were determined by the conic volume method. Ponding depths for the subject site must be equal to or less than 300 mm for the parking surfaces and 150mm for the roofs during a 100-year storm event.

Required flowrate calculations for area P-2 during 2-year, 5-year and 100-year storm events using Modified Rational Method (MRM) can be found in **Tables D7-D9** in **Appendix D**.

#### 6.4.2 Orifice Inlet Control Device Sizing

Catchment P-2 corresponds to a portion of the parking lot adjacent to the slope at the rear of the developed area. Flows from this catchment are proposed to be attenuated by an ICD orifice situated in a dual inlet catch basin in the parking lot. The orifice was sized based on the required storage volume and associated head of water during 100-year storm events, using the orifice equation shown below:

$$Q_{ORIFICE} = CA\sqrt{2gH}$$

Where,

$Q_{ORIFICE}$  = Flow Through the Orifice

C = Orifice Coefficient = 0.61

A = Area of the Orifice

g = Gravitational Acceleration = 9.81 m/s<sup>2</sup>

H = Head of Water over the Center of the Orifice

Detailed orifice sizing calculations are shown in **Tables D10** in **Appendix D**. For 5-year and 100-year ponding limits refer to drawing C500 in **Appendix F**. Flow rates, storage requirements, and ponding depths are summarized below in section 6.4.4.

#### 6.4.3 Roof Inlet Control Device Sizing

Catchment PR-2 corresponds to the roof of the proposed addition for which one roof drain equipped with a WATTS Accutrol flow control weir, is proposed at the one-quarter open position. The weir was specified based on the required storage volume and associated head of water during 100-year storm events.

See the discharge characteristics published by the manufacturer in **Appendix D**. Detailed flow controlled roof drain calculations are shown in **Tables D5** in **Appendix D**. For 5-year and 100-year ponding limits

refer to drawing C500 in **Appendix F**. Flow rates, storage requirements, and ponding depths are summarize below in section 6.4.4.

#### 6.4.4 Summary of SWM Storage Requirements

The proposed ICD size and/or models are summarized in Table 6-1 below. The specified controls result in post development peak flowrates for each of the 2,5, and 100-year storm events that are less than the allowable flowrates.

Table 6-1: Summary of SWM Storage Requirements

Area No	Area (ha)	C <sub>AVG100</sub>	100-Year Release Rate (Controlled) (L/s)	100-Year Ponding Depth (mm)	100-Year Storage Requirement (m3)	Max Storage Provided (m3)	ICD Control
PR-2	0.0223	1.00	<b>0.940</b>	148	9.09	9.50	RD1 Watts Roof Drains - 1/4 open position
P-2	0.3367	0.96	<b>42.10</b>	280	53.50	75.94	135mm Diameter Orifice

\***Bold** flows are controlled.

### 6.5 Storm Sewer Design

The proposed design makes use of the existing private storm infrastructure. The existing 375mm diameter storm pipe will be extended approximately 6.0m to accommodate the proposed dual inlet catchbasin in the rear parking. The existing collector manhole and quality treatment unit at the northwest corner of the building discharging to the 2135mm diameter storm pipe in the easement will remain. All stormwater runoff captured by the minor system on-site and storm service lateral from the existing building will ultimately discharge to the Stillwater Creek.

### 6.6 Emergency Flow routes

The highest spill point elevation within the proposed grading corresponds to the top of curb at the rear parking with a spill point elevation of 89.40. Should ponding exceed this elevation the emergency flow route will be to the Stillwater Creek at the bottom of the slope behind the rear parking.

## 7 Erosion and Sediment Control

During all construction activities, erosion and sedimentation shall be controlled by the following techniques:

- Extent of exposed soils shall be limited at any given time;
- Exposed areas shall be re-vegetated as soon as possible;
- Minimize the area to be cleared and disruption of adjacent areas;

- Siltsack or approved equivalent shall be installed inside all catch basins, catch basin manholes, and storm manholes as identified on the erosion and sediment control plan;
- Visual inspection shall be completed daily on sediment control barriers and any damage will be repaired immediately. Care will be taken to prevent damage during construction operations;
- In some cases, barriers may be removed temporarily to accommodate the construction operations. The affected barriers will be reinstated at night when construction is completed;
- Sediment control devices will be cleaned of accumulated silt as required. The deposits will be disposed of as per the requirements of the contract;
- During construction, if the engineer believes that additional prevention methods are required to control erosion and sedimentation, the contractor will install additional silt fences or other methods as required to the satisfaction of the engineer; and,
- Construction and maintenance requirements for erosion and sediment controls are to comply with Ontario Provincial Standard Specification (OPSS) 805.

## 8 Conclusions

This report addresses the site servicing and stormwater management requirements for the site plan control application for the proposed development. Based on the analysis provided in this report, the conclusions are as follows:

- The proposed addition and existing building will be serviced by two (2) x 150mm diameter water services, which will adequately service the proposed development for the domestic and sprinkler demands. Additionally, water boundary conditions from the City suggests sufficient flow and pressure availability in the municipal watermain on Robertson Road for domestic and fire demands.
- The proposed building addition will be serviced by the existing 200mm dia. building sanitary service connection. The contractor will evaluate the existing building sanitary service prior to proposed work. Any necessary modifications to the existing building service will be proposed at a later date.
- Existing 200mm dia. Building sanitary service discharges into the existing municipal 250mm dia. Sanitary sewer on Robertson Road. No capacity constraints were noted in the municipal sanitary sewer on Robertson Road by the City.
- Stormwater Management criteria for the proposed development will be achieved by restricting the post-development stormwater discharge rates up to and including the 100-year to the allowable release rates.
- Required on-site SWM storage volumes will be achieved using the surface storage in parking areas and roof storage using the flow control orifice plate ICD's and flow control roof drains.
- The stormwater quality control for the proposed site is provided by the existing treatment unit located at the northwest corner of the existing building. The treatment unit was specified during the design of the existing development to provide an enhanced level of protection (80% TSS removal). The treatment unit was specified to be Stormceptor model STC 750. See Stormwater Management and Servicing Report - David McManus Engineering Ltd. - August 4, 2008 (rev. 1) in **Appendix D**
- Temporary erosion and sediment control measures for the subject site have been identified.

## **Appendix A – Figures**

**Figure A1 – Site Location Plan**

**Figure A2 – Hydrant Location Plan**

FIGURE A1: SITE LOCATION PLAN – 2055 ROBERTSON ROAD

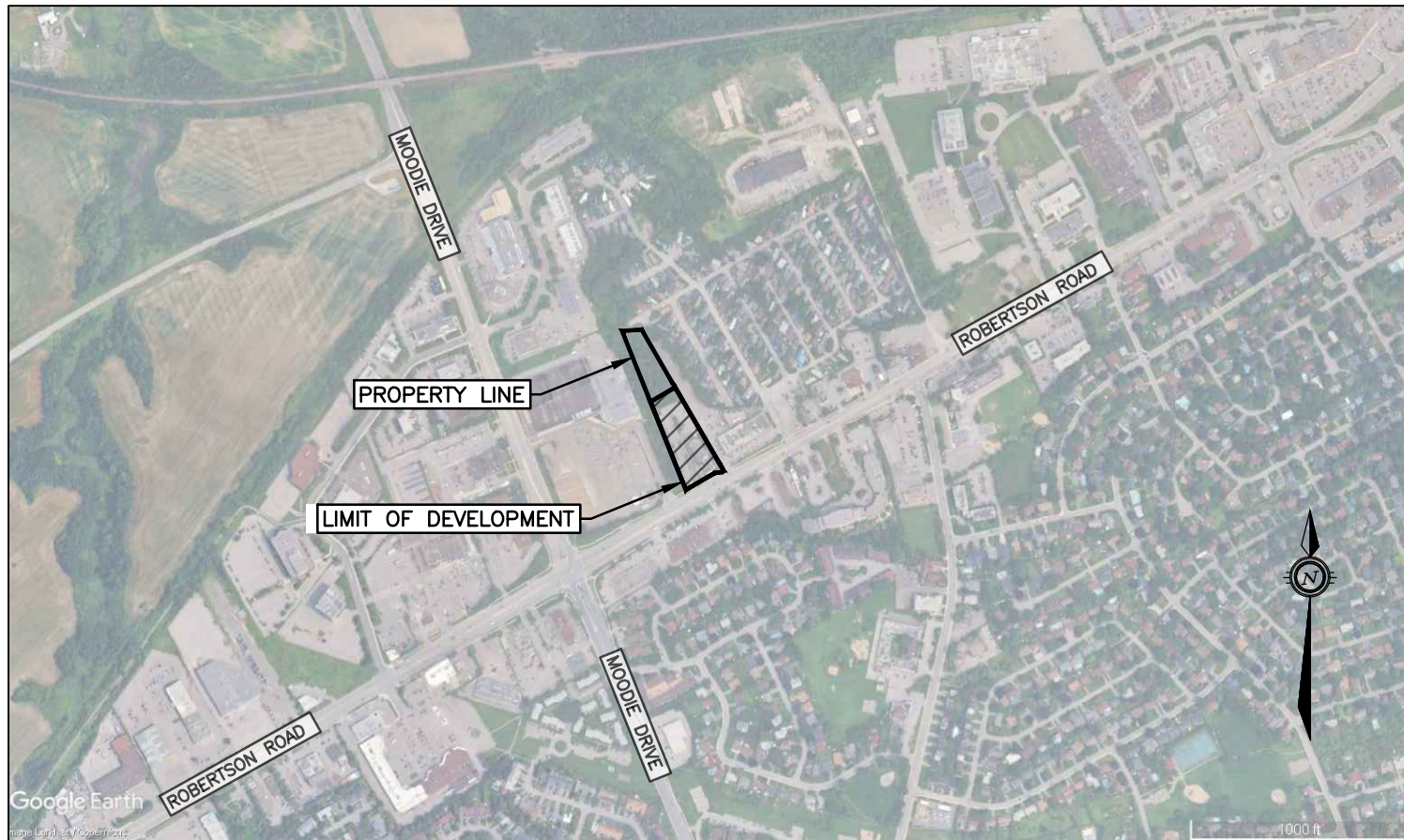
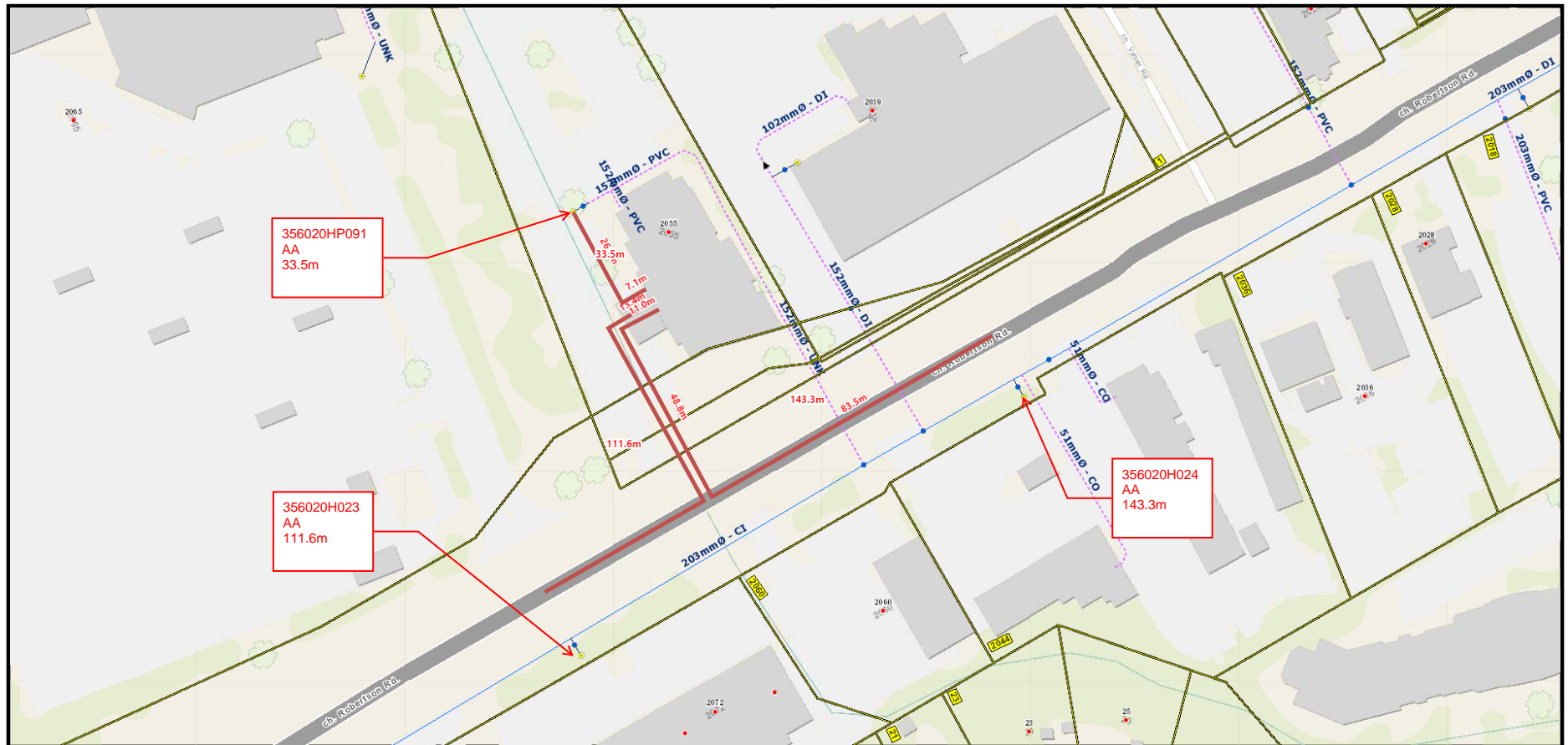


Figure A2: Hydrant Location Plan - 2055 Robertson Road.



## **Appendix B – Water Servicing**

**Table B1 - Water Demand Chart**

**Table B2 - FUS Fire Flow Demand Calculations**

**Table B3 - Estimated Water Pressure at Proposed Building FFE**

**Correspondence from Architect Re Fire Flow Requirements**

**Water Boundary Conditions from the City**

**TABLE B1: Water Demand Chart**

**Project Name** 2055 Robertson Road - Holiday Inn Express  
**Project No:** OTT-25002871-A0  
**Designed by:** A. Johnson, EIT.  
**Checked By:** A. Jariwala, M.Eng., P.Eng.  
**Date Revised:** 9/10/2025



**Water Consumption**

Hotel (Residential) = **225** L/Person  
 Hotel (Assembly) = **125** L/Person  
 Max. Day Peaking Factor (Residential) = **2.50** x Avg. Day  
 Peak Hour Peaking Factor (Residential) = **2.20** x Max. Day  
 Max. Day Peaking Factor (ICII) = **1.50** x Avg. Day  
 Peak Hour Peaking Factor (ICI) = **1.80** x Max. Day

Building	Hotel Rooms						Assembly					Total Demands (L/sec)			
	Population (Residential)	Avg. Day Demands (L/day)	Max. Day Peaking Factor	Max. Day Demands (L/day)	Peak Hour Peaking Factor	Peak Hour Demands (L/day)	Assembly Capacity	Avg. Day Demands (L/day)	Max. Day Peaking Factor	Max. Day Demands (L/day)	Peak Hour Peaking Factor	Peak Hour Demands (L/day)	Avg Day (L/s)	Max Day (L/s)	Peak Hour (L/s)
Existing Hotel Building	296	66600	2.50	166500	2.20	366300	234	29250	1.50	43875	1.80	78975	1.11	2.43	5.15
Proposed Addition	120	27000	2.50	67500	2.20	148500							0.31	0.78	1.72
Totals	416	93,600		234,000		514,800							<b>1.42</b>	<b>3.22</b>	<b>6.87</b>

**Note:**

1. Residential populations were determined by assuming 2 persons for each bed queen or larger as indicated in the room schedule provided in architectural plans.
2. Assembly population was taken from the building code matrix provided in architectural plans.
3. Per capita water consumption for the residential population was taken from Ottawa Design Guidelines - Water Distribution - 2010 - ISD-2010-02 - Table 4.2
4. Per capita water consumption for the assembly population was taken from Ottawa Design Guidelines - Sewer Design - 2012 - Appendix 4-A. Water demand for assembly population was taken as being equal to the listed daily sewage flow of "Bar or Cocktail Lounge as a separate establishment".

**TABLE B2: FIRE FLOW REQUIREMENTS BASED ON FIRE UNDERWRITERS SURVEY(FUS) 2020**

PROJECT: OTT-25002871-A0

Building: **Nepean Holiday Inn Express Reno**



An estimate of the Fire Flow required for a given fire area may be estimated by:

$$F = 220 * C * \text{SQRT}(A)$$

where:

F = required fire flow in litres per minute

A = total floor area in m<sup>2</sup> (including all storeys, but excluding basements at least 50% below grade)

C = coefficient related to the type of construction

Task	Options	Multiplier	Input			Value Used	Fire Flow Total (L/min)
Choose Building Frame (C)	Wood Frame	1.5	Non-combustible Construction			0.8	
	Ordinary Construction	1					
	Non-combustible Construction	0.8					
	Fire Resistive Construction	0.6					
	Sixth Floor		1500	50%	750	6000.0 m <sup>2</sup>	
	Fifth Floor		1500	50%	750		
	Fourth Floor		1500	50%	750		
	Third Floor		1500	50%	750		
	Second Floor		1500	100%	1500		
	First Floor		1500	100%	1500		
	Basement (At least 50% below grade, not included)		NA	NA	NA		
Fire Flow (F)	F = 220 * C * SQRT(A)						13,633
Fire Flow (F)	Rounded to nearest 1,000						14,000

**Reductions/Increases Due to Factors Effecting Burning**

Task	Options	Multiplier	Input					Value Used	Fire Flow Change (L/min)	Fire Flow Total (L/min)										
Choose Combustibility of Building Contents	Non-combustible	-25%	Limited Combustible					-15%	-2,100	11,900										
	Limited Combustible	-15%																		
	Combustible	0%																		
	Free Burning	15%																		
	Rapid Burning	25%																		
Choose Reduction Due to Sprinkler System	Adequate Sprinkler Conforms to NFPA13	-30%	Adequate Sprinkler Conforms to NFPA13					-30%	-3,570	8,330										
	No Sprinkler	0%	Standard Water Supply for Fire Department Hose Line and for Sprinkler System					-10%	-1,190	7,140										
	Standard Water Supply for Fire Department Hose Line and for Sprinkler System	-10%																		
	Not Standard Water Supply or Unavailable	0%																		
	Fully Supervised Sprinkler System	-10%	Fully Supervised Sprinkler System					-10%	-1,190	5,950										
Not Fully Supervised or N/A	0%																			
Choose Structure Exposure Distance	Exposures	Separation Dist (m)	Cond	Separation Condition	Exposed Wall type	Exposed Wall Length					Total Charge (%)	Total Exposure Charge (L/min)								
						Length (m)	No of Storeys	Length-Height Factor	Sub-Condition	Charge (%)										
						West	45	5	30.1 to 45	Type V			0	0	0	6	0%	2%	238	6,188
						East	22.85	4	20.1 to 30	Type IV-III (U)			26.73	2	53.46	4C	2%			
						South	45	5	30.1 to 45	Type V			0	0	0	6	0%			
North	45	5	30.1 to 45	Type V	0	0	0	6	0%											
Obtain Required Fire Flow	Total Required Fire Flow, Rounded to the Nearest 1,000 L/min =										6,000									
	Total Required Fire Flow, L/s =										100.0									

**Exposure Charges for Exposing Walls of Wood Frame Construction (from Table G5)**

Type V	Wood Frame
Type IV-III (U)	Mass Timber or Ordinary with Unprotected Openings
Type IV-III (P)	Mass Timber or Ordinary with Protected Openings
Type II-I (U)	Noncombustible or Fire Resistive with Unprotected Openings
Type II-I (P)	Noncombustible or Fire Resistive with Protected Openings

**Conditions for Separation**

Separation Dist	Condition
0m to 3m	1
3.1m to 10m	2
10.1m to 20m	3
20.1m to 30m	4
> 30.1m	5

**TABLE B3**

**ESTIMATED WATER PRESSURE AT PROPOSED BUILDING FFE**

Description	From	To	Demand (L/sec)	Pipe Length (m)	Pipe Dia (mm)	Dia (m)	Q (m3/sec)	Area (m2)	C	Vel (m/s)	Slope of HGL (m/m)	Head Loss (m)	Elev From (m)	Elev To (m)	*Elev Diff (m)	Pressure From kPa (psi)	Pressure To kPa (psi)	Pressure Drop (psi)		
<b>Avg Day Condions</b>																				
Single 150mm water service	Main	Building	1.42	100 m	150	0.150	0.0014	0.017671	110	0.0804	9.7E-05	0.0097	91.27	90.70	0.6	394.7 (57.2)	400.2 (58.0)	-0.8		
<b>Max Day Condions</b>																				
Single 150mm watermain	Main	Building	3.22	100 m	150	0.150	0.0032	0.017671	110	0.1822	0.00044	0.0441	91.27	90.70	0.6	348.5 (50.6)	353.7 (51.3)	-0.7		
<b>Peak Hour Condions</b>																				
Single 150mm watermain	Main	Building	6.87	100 m	150	0.150	0.0069	0.017671	110	0.3888	0.00179	0.1794	91.27	90.70	0.6	348.5 (50.6)	352.4 (51.1)	-0.6		
<b>Max Day plus Sprinkler Demands</b>																				
Single 150mm watermain	Main	Building	33.22	100 m	150	0.150	0.0332	0.017671	110	1.8799	0.03322	3.3223	91.27	90.70	0.6	281.8 (40.9)	254.8 (37.0)	3.9		
<b>Water Demand Info</b>																				
Average Demand =	1.42	L/sec											100 m							
Max Day Demand =	3.22	L/sec											110							
Peak Hr Demand =	6.87	L/sec																		
Fireflow Requiriement =	100.0	L/sec																		
Max Day Plus FF Demand =	103.2	L/sec																		
Assumed Sprinkler Demands =	30.0	L/sec																		
<b>Boundary Conditon</b>																				
HGL (m)	<u>Min HGL</u>	<u>Max HGL</u>	<u>Max Day + Fireflow</u>																	
	126.8	131.5	120.0	(From City of Ottawa)																
Approx Ground Elev (m) =	91.27	91.27	91.27																	
Approx Bldg FF Elev (m) =	90.70	90.70	90.70																	
Pressure (m) =	35.53	40.23	28.73																	
Pressure (Pa) =	348,549	394,656	281,841																	
Pressure (psi) =	50.6	57.2	40.9																	

## Alexander Johnson

---

**From:** Linnea Chamberlain <lchamberlain@chamberlainipd.com>  
**Sent:** Wednesday, August 27, 2025 4:48 PM  
**To:** Aaditya Jariwala  
**Cc:** 'Vahe Kouyoumdjian'  
**Subject:** RE: Holiday Inn Express Nepean  
**Attachments:** 125009 - Nepean - Architectural Set.pdf; 125009 - Nepean - Site.pdf; 2025-03-21 - 61520\_001 - Holiday Inn Nepean - Structural Preliminary.pdf



**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Aaditya,

You have the drawings right? it shows all the info you are asking me for? Reattached for ease.

The OBC matrix, the room numbers etc are all on the set.

115 units existing and adding 30 to get 145

No basement on the drawings

OBC refer to re ratings.

It wont be wood. It will be concrete walls and floors but we need to match existing building- see prelim structural drawings as attached

Thanks

Linnea

---

**From:** Aaditya Jariwala <Aaditya.Jariwala@exp.com>  
**Sent:** August 26, 2025 12:30 PM  
**To:** Linnea Chamberlain <lchamberlain@chamberlainipd.com>  
**Subject:** Holiday Inn Express Nepean

Good afternoon Linnea,

As per our discussions in the meeting this afternoon, can you please provide answers to the following items:

1. List of existing hotel room count, type of rooms, seating capacity of the restaurant (if any).
2. List of proposed room count, type of room and any addition to the seating capacity of the restaurant (if any).
3. GFA for each storey in existing and proposed buildings including basement (if applicable).
4. Type of structure of the existing building and proposed addition. As per FUS 202 guidelines, please specify which of the following option applies. I can provide explanation on what each option entails if needed:
  - Wood construction – when structural elements, walls, arches, floors and roods are constructed of wood
  - Ordinary construction – when the exterior walls are of masonry construction with a min. 1-hour fire resistance rating but the structural elements do not have min. 1-hour fire resistance rating.
  - Non-combustible construction – when all structural elements and exterior walls have min. 1-hour fire resistance rating and are constructed of non-combustible material.

- Fire resistive construction – when all structural elements and walls have min. 2-hour fire resistance rating and are constructed of non-combustible material.
- 5. Are there any vertical fire walls within the existing building or proposed addition with min. 2-hour fire rating?
- 6. What is the building occupancy group and division per OBC?
- 7. Will both the buildings be fully sprinklered?

Let me know if you need clarification on any of the items above. Feel free to reach out to me on my cell for a quick turnaround.

Best regards,



**Aaditya Jariwala, M.Eng, P.Eng.**

EXP | Project Manager

t : +1.613.688.1899, 63240 | m : +1.613.816.5961 | e : [aaditya.jariwala@exp.com](mailto:aaditya.jariwala@exp.com)

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Suite 100

Ottawa, ON K2B 8H6

CANADA

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*keep it green, read from the screen*

## Alexander Johnson

---

**From:** Fawzi, Mohammed <mohammed.fawzi@ottawa.ca>  
**Sent:** Thursday, September 18, 2025 10:33 AM  
**To:** Aaditya Jariwala  
**Cc:** Alexander Johnson; Dieme, Abi  
**Subject:** RE: Water Boundary Condition and Sanitary Demands for 2055 Robertson Road  
**Attachments:** 2055 Robertson Road September 2025.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed



**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Aaditya,

The following are boundary conditions, HGL, for hydraulic analysis at 2055 Robertson Road (zone 2W2C) assumed to be a dual connection via the 203mm watermain on Robertson Road. (see attached PDF for location).

Minimum HGL = 126.8 m  
Maximum HGL = 131.5 m  
Max Day + Fire Flow (100.0 L/s) = 120.0 m

These are for current conditions and are based on computer model simulation.

*Disclaimer: The boundary condition information is based on current operation of the city water distribution system. The computer model simulation is based on the best information available at the time. The operation of the water distribution system can change on a regular basis, resulting in a variation in boundary conditions. The physical properties of watermains deteriorate over time, as such must be assumed in the absence of actual field test data. The variation in physical watermain properties can therefore alter the results of the computer model simulation.*

*"The IWSD has recently updated their water modelling software. Any significant difference between previously received BC results and newly received BC results could be attributed to this update."*

Best Regards,

### **Mohammed Fawzi, P.Eng.**

Senior Project Manager (A), Infrastructure Projects

Development Review – West Branch

Planning, Development and Building Services Department (PDBS) | Direction générale des services de la planification, de l'aménagement et du bâtiment (DGSPAB)

City of Ottawa | Ville d'Ottawa

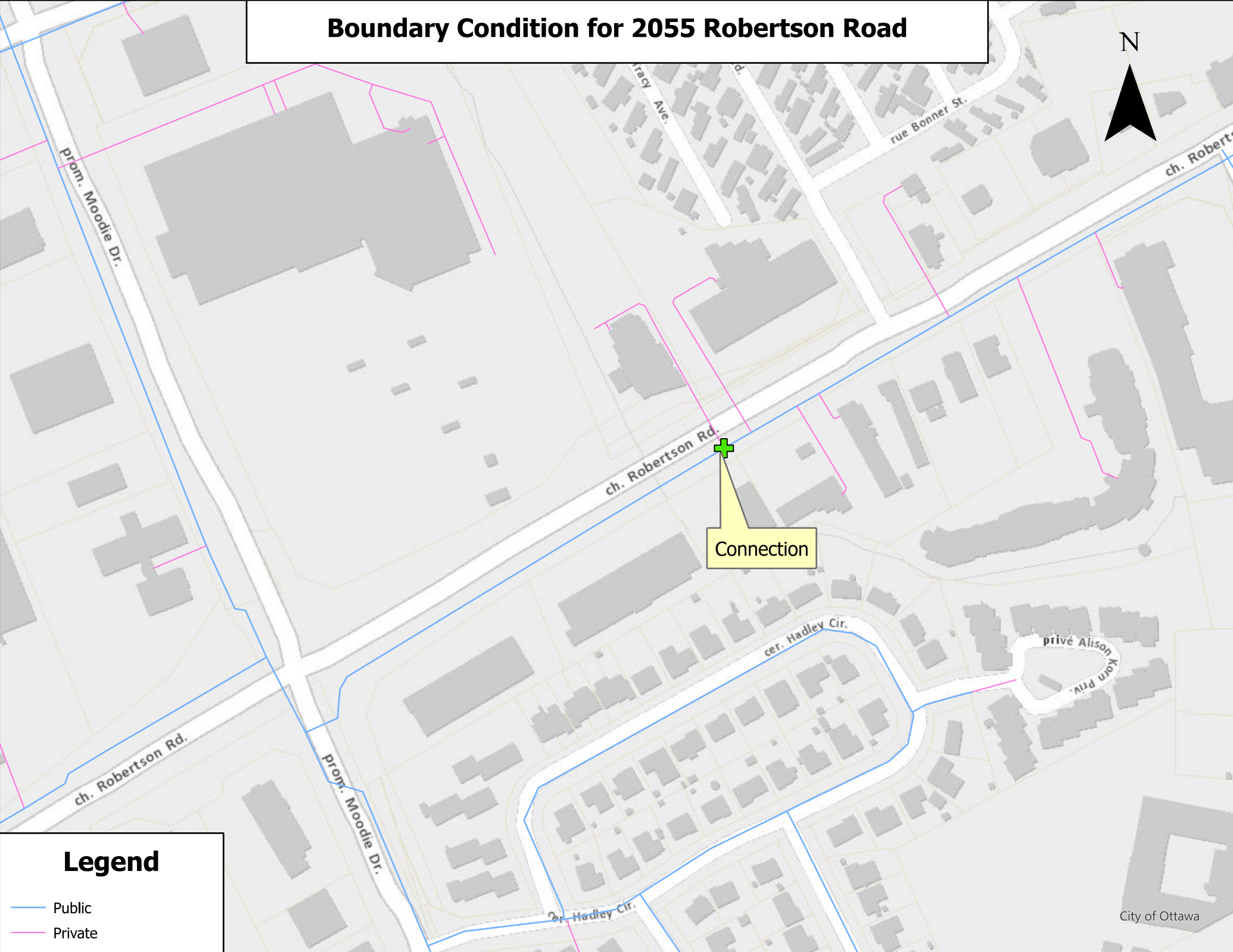
110 Laurier Avenue West | 110 Avenue Laurier Ouest

Ottawa, ON K1P 1J1

613.580.2424 ext./poste 70120, [Mohammed.Fawzi@ottawa.ca](mailto:Mohammed.Fawzi@ottawa.ca)

# Boundary Condition for 2055 Robertson Road

N



## Legend

- Public
- Private

## **Appendix C – Sanitary Sewer Design Sheet**

**C1 - Sanitary Sewer Design Sheet**



**TABLE C1 - SANITARY SEWER CALCULATION SHEET**

LOCATION				Hotel Rooms							Hotel Assembly			INFILTRATION		SEWER DATA									
Street	U/S MH	D/S MH	Desc	Area (ha)	NUMBER OF		POPULATION			Peak Factor	Peak Flow (L/sec)	AREA (ha)		Peak Flow (L/sec)	AREA (ha)		INFILT FLOW (L/s)	TOTAL FLOW (L/s)	Nom Dia (mm)	Actual Dia (mm)	Slope (%)	Length (m)	Capacity (L/sec)	Q/Q <sub>CAP</sub> (%)	Full Velocity (m/s)
					Double Queen	King	INDIV	ACCU	Assembly Capacity			ACCU	INDIV		ACCU										
2055 Robertson Road	Existing SANMH	250mm Municipal SAN	Existing Building	1.01	33	82	296	296	3.46	2.67	234	234	0.51	1.01	1.01	0.33	3.51								
			Proposed Addition		30		120	416	3.41	3.70		234	0.51		1.01	0.33	4.54								
<b>Totals</b>				<b>1.010</b>	<b>33</b>	<b>82</b>	<b>416</b>																		

Notes:

Population per Double Queen Room= 4  
 Population per King Room= 2

Gross site area (ha) 1.0086  
 Manning N = 0.013

Residential population (L/person/day) "With full housekeeping service" 225 Ottawa Design Guidelines - Sewer Design - 2012 - Appendix 4-A  
 "bar or cocktail lounge as a sseparate establishment" 125  
 Assembly population (L/person/day) 125 Ottawa Design Guidelines - Sewer Design - 2012 - Appendix 4-A  
 Commercial Peak Factor = 1.5 Ottawa Design Guidelines - Sewer Design - 2012 - Section 4.4.1

Residential Peaking Factor (Harmon Equation) =  $1 + \left[ \frac{14}{4 + \sqrt{P}/1000} \right] K$  Ottawa Design Guidelines - Sewer Design - 2012 - Section 4.4.1

Correction Factor (K)= 0.8  
 Peak extraneous flow, I (L/s/ha) = 0.33

Note: The use of the tabulated value 70 L/Person under "With bar or cocktail lounge" in Appendix 4-A is intended to represent convention hall guests.

Designed:	Project:
A. Johnson, E.I.T.	OTT-25002871-A0 Nepean Holiday Inn Express Reno
Checked:	Location:
A. Jariwala., M.Eng., P.Eng.	2055 Robertson Road
File Reference:	Page No:
OTT-25002871-A0 - SAN - Sanitary Design Sheet.xlsx	1 of 1

## **Appendix D – Stormwater Management Design Sheet**

**Table D1 - Calculation of Average Runoff Coefficients for Pre-Development Conditions**

**Table D2 - Summary of Uncontrolled and Controlled Release Rates for Existing Development**

**Table D3 - Average Runoff Coefficients for Post-Development Conditions**

**Table D4 - Average Runoff Coefficients for Post-Development Conditions**

**Table D5 - Catchment PR-2 (Proposed Addition Roof) 2-Year, 5-Year & 100-Year Roof Drains Design Sheet**

**Table D6 - Catchment PR-2 (Proposed Addition Roof) Required Storage Volumes (2 Year, 5 Year And 100 Year Storms) (MRM)**

**Table D7 - Catchment P-2 (Rear Parking) (CB01) 2-Year MRM - Using Flow Controlled Orifice**

**Table D8 - Catchment P-2 (Rear Parking) (CB01) 5-Year MRM - Using Flow Controlled Orifice**

**Table D9 - Catchment P-2 (Rear Parking) (CB01) 100-Year MRM - Using Flow Controlled Orifice**

**Table D10 - Catchment P-2 (Rear Parking) (CB01) Stage Storage Discharge Orifice Design**

**Stormwater Management and Servicing Report - David McManus Engineering Ltd. - August 4, 2008 (rev. 1)**

**TABLE D1  
CALCULATION OF AVERAGE RUNOFF COEFFICIENTS FOR PRE-DEVELOPMENT CONDITIONS**

Area No.	Roof Areas		Impervious Areas		Pervious Areas		Reserved		Reserved		Sum AC	Total Area (m <sup>2</sup> )	C <sub>AVG</sub>	Notes
	C=0.90		C=0.90		C=0.20									
	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C				
A1	0	0	0	0	120	24		0		0	24	120	0.20	west property line
A2	1178	1060.2	0	0	0	0		0		0	1060.2	1178	0.90	roof
A3	0	0	100	90	569	113.8		0		0	203.8	669	0.30	east property line
A4	0	0	718	646.2	274	54.8		0		0	701	992	0.71	front parking
A5	0	0	3320	2988	176	35.2		0		0	3023.2	3496	0.86	rear parking
											<b>5012.2</b>	<b>6455</b>	<b>0.78</b>	

Notes  
1) Areas from catchments delineated in DME SWM design (August 4, 2008)

**TABLE D2  
SUMMARY OF UNCONTROLLED AND CONTROLLED RELEASE RATES FOR EXISTING DEVELOPMENT**

Area No	Outlet Location	Area (ha)	Time of Conc, Tc (min)	Storm = 2 yr				Storm = 5 yr				Storm = 100 yr			
				I <sub>2</sub> (mm/hr)	Cavg	Q <sub>2</sub> (L/sec)	Q <sub>CAP</sub> (L/sec)	I <sub>5</sub> (mm/hr)	Cavg	Q <sub>5</sub> (L/sec)	Q <sub>CAP</sub> (L/sec)	I <sub>100</sub> (mm/hr)	Cavg	Q <sub>100</sub> (L/sec)	Q <sub>CAP</sub> (L/sec)
A1	OFFSITE	0.0120	10	76.81	0.20	0.5	0.5	104.19	0.20	0.7	0.7	178.56	0.25	1.5	1.5
A2	OFFSITE	0.1178	10	76.81	0.90	22.6	<b>(4.7)</b>	104.19	0.90	30.7	<b>(4.7)</b>	178.56	1.00	58.5	<b>(4.7)</b>
A3	OFFSITE	0.0669	10	76.81	0.30	4.4	4.4	104.19	0.30	5.9	5.9	178.56	0.38	12.6	12.6
A4	OFFSITE	0.0992	10	76.81	0.71	15.0	15.0	104.19	0.71	20.3	20.3	178.56	0.88	43.5	43.5
A5	OFFSITE	0.3496	10	76.81	0.86	64.6	<b>(50.0)</b>	104.19	0.86	87.6	<b>(50.0)</b>	178.56	1.00	173.5	<b>(50.0)</b>
		<b>0.6455</b>				<b>107.0</b>	<b>74.53</b>			<b>145.18</b>	<b>81.60</b>			<b>289.65</b>	<b>112.3</b>

Notes  
1) Intensity, I = 732.951/(Tc+6.199)<sup>0.810</sup> (2-year)  
2) Intensity, I = 998.071/(Tc+6.053)<sup>0.814</sup> (5-year)  
3) Intensity, I = 1735.688/(Tc+6.014)<sup>0.820</sup> (100-year)  
4) Time of Concentration, Tc = 10 mins  
5) The standard minimum Time of Concentraion of 10 minutes was used, rather than the calaculted time, since calaculted time was less than 10 minutes.  
6) Controlled release rate (QCAP) are indicated by bold bracketed numbers **(0.0)** and are taken from DME SWM design (August 4, 2008)

**TABLE D3**  
**AVERAGE RUNOFF COEFFICIENTS FOR POST-DEVELOPMENT CONDITIONS**

Area No.	Roof Areas		Impervious Areas		Pervious Areas		Reserved		Sum AC	Total Area (m <sup>2</sup> )	C <sub>AVG</sub>	Notes
	C=0.90		C=0.90		C=0.20							
	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C	Area (m <sup>2</sup> )	A * C				
PR-1	1176	1058.6		0.0		0.0		0.0	1058.6	1176.25	0.90	Existing Roof
PR-2	223	200.6		0.0		0.0		0.0	200.6	222.84	0.90	Proposed Roof
P-1		0.0	710	639.3	279	55.8		0.0	695.1	989.33	0.70	Front Parking
P-2		0.0	2728	2454.9	639	127.9		0.0	2582.7	3366.92	0.77	Rear Parking
P-3		0.0	139	125.0	447	89.4		0.0	214.5	586.11	0.37	Landscaped
POS-1		0.0	73	66.0	141	28.2		0.0	94.2	214.34	0.44	Off-site
Totals									<b>4845.7</b>	<b>6556</b>	<b>0.74</b>	
Notes												

**TABLE D4**  
**SUMMARY OF POST-DEVELOPMENT PEAK FLOWS (Uncontrolled and controlled)**

Area No	Area (ha)	Time of Conc, T <sub>c</sub> (min)	Storm = 2 yr				Storm = 5 yr				Storm = 100 yr				ICD Control
			C <sub>AVG</sub>	I <sub>2</sub> (mm/hr)	Q (L/sec)	Q <sub>CAP</sub> (L/sec)	C <sub>AVG</sub>	I <sub>5</sub> (mm/hr)	Q (L/sec)	Q <sub>CAP</sub> (L/sec)	C <sub>AVG</sub>	I <sub>100</sub> (mm/hr)	Q (L/sec)	Q <sub>CAP</sub> (L/sec)	
PR-1	0.1176	10	0.90	76.81	22.60	<b>(4.7)</b>	0.90	104.19	30.66	<b>(4.7)</b>	1.00	178.56	58.39	<b>(4.7)</b>	Existing roof drains
PR-2	0.0223	10	0.90	76.81	4.28	<b>(0.8)</b>	0.90	104.19	5.81	<b>(0.8)</b>	1.00	178.56	11.06	<b>(0.9)</b>	RD1 Watts Roof Drain - 1/4 open position
P-1	0.0989	10	0.70	76.81	14.84	14.84	0.70	104.19	20.13	20.13	0.88	178.56	43.13	43.13	None
P-2	0.3367	10	0.77	76.81	55.15	<b>(41.1)</b>	0.77	104.19	74.81	<b>(42.1)</b>	0.96	178.56	160.26	<b>(43.4)</b>	135mm Diameter orifice cap
P-3	0.0586	10	0.37	76.81	4.58	4.58	0.37	104.19	6.21	6.21	0.46	178.56	13.31	13.31	None
POS-1	0.0214	10	0.44	76.81	2.01	2.01	0.44	104.19	2.73	2.73	0.55	178.56	5.85	5.85	None
Post-Dev Site (un-controlled)	<b>0.6556</b>		0.74		103.5	<b>(68.0)</b>	0.74		140.4	<b>(76.7)</b>	0.92		292.0	<b>(111.3)</b>	
Allowable Release Rate per DME SWM design (August 4, 2008)						74.53				81.60				112.33	

**Notes**

- 1) Intensity, I = 732.951/(Tc+6.199)<sup>0.810</sup> (2-year)
- 2) Intensity, I = 998.071/(Tc+6.053)<sup>0.814</sup> (5-year)
- 3) Intensity, I = 1735.688/(Tc+6.014)<sup>0.820</sup> (100-year)
- 4) Cavg for 100-year is increased by 25% to a maximum of 1.0
- 5) Time of Concentration, T<sub>c</sub> = 10 mins
- 5) Controlled release rate (QCAP) are indicated by bold brackets numbers **(0.0)**

**Table D5: Catchment PR-2 (Proposed addition roof) 2-year, 5-year & 100-year Roof Drains Design Sheet**

Project: OTT-25002871-A0  
 Location: Holiday Inn Express - 2055 Robertson Road, Ottawa, ON  
 Date: November 2025

Area #	Roof Drain Type	No Drains per Area	Total Number of Weirs	Weir Position	Runoff Coeff (Cavg)		Drainage Area		2-year Event						5-year Event						100-year Event						Storage Required (MRM)			Maximum Storage Provided at Spill Elevation							
					2-year & 5-year	100-year	m <sup>2</sup>	ha	Runoff Rate (L/sec)	2yr Ponding Depth (mm)	Roof Drain Capacity Per Weir (gpm)	Roof Drain Capacity Per Drain per weir (gpm)	Roof Drain Capacity Per Drain (L/sec)	Total Flow From Roof Drains (L/sec)	Runoff Rate (L/sec)	5yr Ponding Depth (mm)	Roof Drain Capacity Per Weir (gpm)	Roof Drain Capacity Per Drain per weir (gpm)	Roof Drain Capacity Per Drain (L/sec)	Total Flow From Roof Drains (L/sec)	Runoff Rate (L/sec)	100yr Ponding Depth (mm)	Roof Drain Capacity Per Weir (gpm)	Roof Drain Capacity Per Drain per weir (gpm)	Roof Drain Capacity Per Drain (L/sec)	Total Flow From Roof Drains (L/sec)	2-year (m <sup>3</sup> )	5-year (m <sup>3</sup> )	100-year (m <sup>3</sup> )	Area Available for Storage (m <sup>2</sup> )	Max Prism Depth (mm)	Max Prism Volume (m <sup>3</sup> )	% Volume Used for Ponding				
PR-2	RD1	1	1	3-1/4 open	0.90	1.00	222.84	0.0223	4.282	98	12.4	12.4	0.782	0.782	5.809	112	13.1	13.1	0.826	0.826	11.061	148	14.9	14.9	0.940	0.940	2.61	3.94	9.09	189.4	150	9.5	28%	42%	96%		
<b>Totals</b>							<b>222.8</b>	<b>0.0223</b>	<b>4.28</b>		<b>12.40</b>		<b>0.78</b>	<b>0.78</b>	<b>0.00</b>		<b>13.10</b>		<b>0.83</b>	<b>0.83</b>	<b>11.06</b>		<b>14.90</b>		<b>0.94</b>	<b>0.94</b>	<b>2.61</b>	<b>3.94</b>	<b>9.09</b>	<b>189</b>		<b>9.5</b>					
<b>Min</b>																																					
<b>Max</b>																																					

**Runoff Based on the Following:**

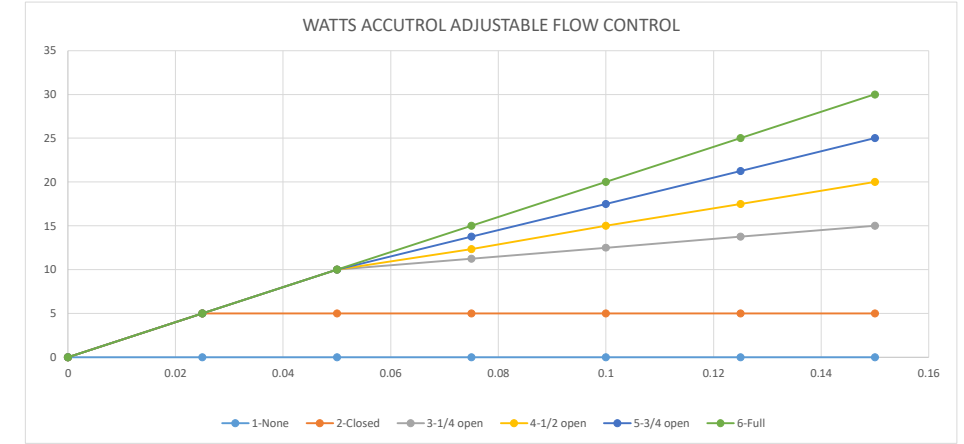
Storm Frequency (years) =	2	5	100
Time of Conc (mins) =	10	10	10
Storm Intensity (mm/hr) =	76.8	104.2	178.6

Roof Drains have Following Flow Rates per weir: WATTS Flow Controlled Drain

Weir Position	Flow (gpm) per depth							Max Flow Rate per Weir @150mm (L/s)
	0	25	50	75	100	125	150	
1-None	0	0	0	0	0	0	0	0.000
2-Closed	0	5	5	5	5	5	5	0.315
3-1/4 open	0	5	10	11	13	14	15	0.946
4-1/2 open	0	5	10	12	15	18	20	1.262
5-3/4 open	0	5	10	14	18	21	25	1.577
6-Full	0	5	10	15	20	25	30	1.890

**Roof Drain Types**

Drain Type =	RD1	RD2	RD3
Max Overflow Depth (mm)	150 mm	150 mm	150 mm
Flow Controlled (Yes/No)	Yes	Yes	Yes
Ponding	Yes	Yes	Yes
Weir Desc	Accutrol	Accutrol	Accutrol
No. Weirs	1	2	3



**Table D6: Catchment PR-2 Required Storage Volumes (2 Year, 5 Year and 100 Year Storms) (MRM)**

$C_{AVG} = 0.90$  (dimensionless)  
 $C_{100} = 1.00$   
 Time Interval = 5 (mins)  
 Drainage Area = 0.02228 (hectares)

Duration (min)	Release Rate = 0.78232 (L/sec) Return Period = 2 (years) IDF Parameters, A = 732.951, B = 0.810 (I = A/(T <sub>c</sub> +C), C = 6.199)					Release Rate = 0.8265 (L/sec) Return Period = 5 (years) IDF Parameters, A = 998.071, B = 0.814 (I = A/(T <sub>c</sub> +C), C = 6.053)					Release Rate = 0.9400 (L/sec) Return Period = 100 (years) IDF Parameters, A = 1735.69, B = 0.820 (I = A/(T <sub>c</sub> +C), C = 6.014)				
	Rainfall Intensity, I (mm/hr)	Peak Flow (L/sec)	Release Rate (L/sec)	Storage Rate (L/sec)	Storage (m <sup>3</sup> )	Rainfall Intensity, I (mm/hr)	Peak Flow (L/sec)	Release Rate (L/sec)	Storage Rate (L/sec)	Storage (m <sup>3</sup> )	Rainfall Intensity, I (mm/hr)	Peak Flow (L/sec)	Release Rate (L/sec)	Storage Rate (L/sec)	Storage (m <sup>3</sup> )
0	167.2	9.3	0.78	8.5	0.00	230.5	12.9	0.826	12.0	0.00	398.6	24.7	0.9	23.8	0.00
5	103.6	5.8	0.78	5.0	1.50	141.2	7.9	0.826	7.0	2.11	242.7	15.0	0.9	14.1	4.23
10	76.8	4.3	0.78	3.5	2.10	104.2	5.8	0.826	5.0	2.99	178.6	11.1	0.9	10.1	6.07
15	61.8	3.4	0.78	2.7	2.40	83.6	4.7	0.826	3.8	3.45	142.9	8.9	0.9	7.9	7.12
20	52.0	2.9	0.78	2.1	2.54	70.3	3.9	0.826	3.1	3.71	120.0	7.4	0.9	6.5	7.79
25	45.2	2.5	0.78	1.7	2.60	60.9	3.4	0.826	2.6	3.85	103.8	6.4	0.9	5.5	8.24
30	40.0	2.2	0.78	1.5	2.61	53.9	3.0	0.826	2.2	3.92	91.9	5.7	0.9	4.8	8.55
35	36.1	2.0	0.78	1.2	2.58	48.5	2.7	0.826	1.9	3.94	82.6	5.1	0.9	4.2	8.77
40	32.9	1.8	0.78	1.0	2.52	44.2	2.5	0.826	1.6	3.93	75.1	4.7	0.9	3.7	8.92
45	30.2	1.7	0.78	0.9	2.44	40.6	2.3	0.826	1.4	3.88	69.1	4.3	0.9	3.3	9.01
50	28.0	1.6	0.78	0.8	2.34	37.7	2.1	0.826	1.3	3.82	64.0	4.0	0.9	3.0	9.07
55	26.2	1.5	0.78	0.7	2.23	35.1	2.0	0.826	1.1	3.73	59.6	3.7	0.9	2.8	9.09
60	24.6	1.4	0.78	0.6	2.11	32.9	1.8	0.826	1.0	3.64	55.9	3.5	0.9	2.5	9.08
65	23.2	1.3	0.78	0.5	1.98	31.0	1.7	0.826	0.9	3.53	52.6	3.3	0.9	2.3	9.05
70	21.9	1.2	0.78	0.4	1.85	29.4	1.6	0.826	0.8	3.41	49.8	3.1	0.9	2.1	9.01
75	20.8	1.2	0.78	0.4	1.70	27.9	1.6	0.826	0.7	3.28	47.3	2.9	0.9	2.0	8.94
80	19.8	1.1	0.78	0.3	1.55	26.6	1.5	0.826	0.7	3.14	45.0	2.8	0.9	1.8	8.87
85	18.9	1.1	0.78	0.3	1.40	25.4	1.4	0.826	0.6	3.00	43.0	2.7	0.9	1.7	8.78
90	18.1	1.0	0.78	0.2	1.24	24.3	1.4	0.826	0.5	2.85	41.1	2.5	0.9	1.6	8.68
95	17.4	1.0	0.78	0.2	1.07	23.3	1.3	0.826	0.5	2.70	39.4	2.4	0.9	1.5	8.57
100	16.7	0.9	0.78	0.2	0.91	22.4	1.2	0.826	0.4	2.54	37.9	2.3	0.9	1.4	8.45
105	16.1	0.9	0.78	0.1	0.74	21.6	1.2	0.826	0.4	2.37	36.5	2.3	0.9	1.3	8.32
110	15.6	0.9	0.78	0.1	0.57	20.8	1.2	0.826	0.3	2.21	35.2	2.2	0.9	1.2	8.19
115	15.0	0.8	0.78	0.1	0.39	20.1	1.1	0.826	0.3	2.04	34.0	2.1	0.9	1.2	8.05
120	14.6	0.8	0.78	0.0	0.21	19.5	1.1	0.826	0.3	1.86	32.9	2.0	0.9	1.1	7.90
Max =	2.61					3.94					9.09				

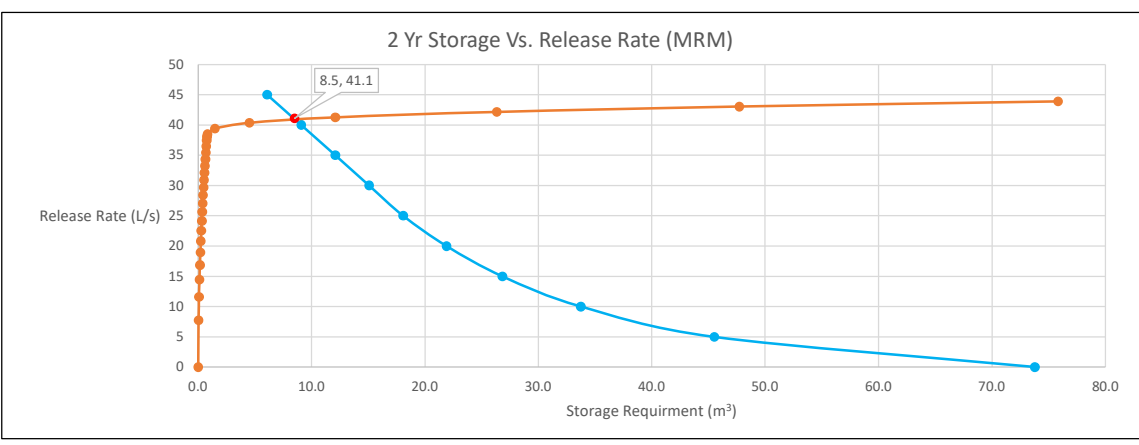
- Notes**
- 1) Peak flow is equal to the product of 2.78 x C x I x A
  - 2) Rainfall Intensity, I = A/(T<sub>c</sub>+C)<sup>5</sup>
  - 3) Release Rate = Min (Release Rate, Peak Flow)
  - 4) Storage Rate = Peak Flow - Release Rate
  - 5) Storage = Duration x Storage Rate
  - 6) Maximum Storage = Max Storage Over Duration

**Table D7: Catchment P-2 (Rear Parking ) (CB01) 2-year MRM - Using Flow Controlled Orifice**

<b>Area No:</b> P-2	<b>Return Period =</b> 2 (years)	
$C_{AVG} = 0.77$ (2-yr)	IDF Parameters $I = A/(T_c + C)^B$	
$C_{AVG} = 0.77$ (5-yr)	A = 732.951	<b>Release Rate (L/s)</b>
$C_{AVG} = 0.96$ (100-yr, Max 1.0)	B = 0.810	Start = 0.00
Drainage Area = 0.3367 (hectares)	C = 6.199	Increment = 5.00
Start = 10.00 (mins)		
Time Interval = 5.00 (mins)		

MRM			Storage Requirement (m <sup>3</sup> ) for Select Release Rates (L/s)									
Duration (mins)	Rainfall Intensity, I (mm/hr)	Peak Flow (L/sec)	0	5	10	15	20	25	30	35	40	45
10	76.8	55.1	33.1	30.1	27.1	24.1	21.1	18.1	15.1	12.1	9.1	6.1
15	61.8	44.3	39.9	35.4	30.9	26.4	21.9	17.4	12.9	8.4	3.9	-0.6
20	52.0	37.4	44.8	38.8	32.8	26.8	20.8	14.8	8.8	2.8	-3.2	-9.2
25	45.2	32.4	48.6	41.1	33.6	26.1	18.6	11.1	3.6	-3.9	-11.4	-18.9
30	40.0	28.8	51.8	42.8	33.8	24.8	15.8	6.8	-2.2	-11.2	-20.2	-29.2
35	36.1	25.9	54.4	43.9	33.4	22.9	12.4	1.9	-8.6	-19.1	-29.6	-40.1
40	32.9	23.6	56.6	44.6	32.6	20.6	8.6	-3.4	-15.4	-27.4	-39.4	-51.4
45	30.2	21.7	58.6	45.1	31.6	18.1	4.6	-8.9	-22.4	-35.9	-49.4	-62.9
50	28.0	20.1	60.4	45.4	30.4	15.4	0.4	-14.6	-29.6	-44.6	-59.6	-74.6
55	26.2	18.8	62.0	45.5	29.0	12.5	-4.0	-20.5	-37.0	-53.5	-70.0	-86.5
60	24.6	17.6	63.5	45.5	27.5	9.5	-8.5	-26.5	-44.5	-62.5	-80.5	-98.5
65	23.2	16.6	64.8	45.3	25.8	6.3	-13.2	-32.7	-52.2	-71.7	-91.2	-110.7
70	21.9	15.7	66.1	45.1	24.1	3.1	-17.9	-38.9	-59.9	-80.9	-101.9	-122.9
75	20.8	14.9	67.2	44.7	22.2	-0.3	-22.8	-45.3	-67.8	-90.3	-112.8	-135.3
80	19.8	14.2	68.3	44.3	20.3	-3.7	-27.7	-51.7	-75.7	-99.7	-123.7	-147.7
85	18.9	13.6	69.4	43.9	18.4	-7.1	-32.6	-58.1	-83.6	-109.1	-134.6	-160.1
90	18.1	13.0	70.3	43.3	16.3	-10.7	-37.7	-64.7	-91.7	-118.7	-145.7	-172.7
95	17.4	12.5	71.3	42.8	14.3	-14.2	-42.7	-71.2	-99.7	-128.2	-156.7	-185.2
100	16.7	12.0	72.1	42.1	12.1	-17.9	-47.9	-77.9	-107.9	-137.9	-167.9	-197.9
105	16.1	11.6	73.0	41.5	10.0	-21.5	-53.0	-84.5	-116.0	-147.5	-179.0	-210.5
110	15.6	11.2	73.8	40.8	7.8	-25.2	-58.2	-91.2	-124.2	-157.2	-190.2	-223.2
<b>Max =</b>			<b>73.8</b>	<b>45.5</b>	<b>33.8</b>	<b>26.8</b>	<b>21.9</b>	<b>18.1</b>	<b>15.1</b>	<b>12.1</b>	<b>9.1</b>	<b>6.1</b>

- Notes**
- 1) Peak flow is equal to the product of  $2.78 \times C \times I \times A$
  - 2) Rainfall Intensity  $I = A \cdot (T_c + C)^{-B}$
  - 3) Release Rate = Incremented
  - 4) Storage Rate = Peak Flow - Release Rate
  - 5) Storage = Duration x Storage Rate
  - 6) Maximum Storage = Max Storage Over Duration
  - 7) Parameters a,b,c are for

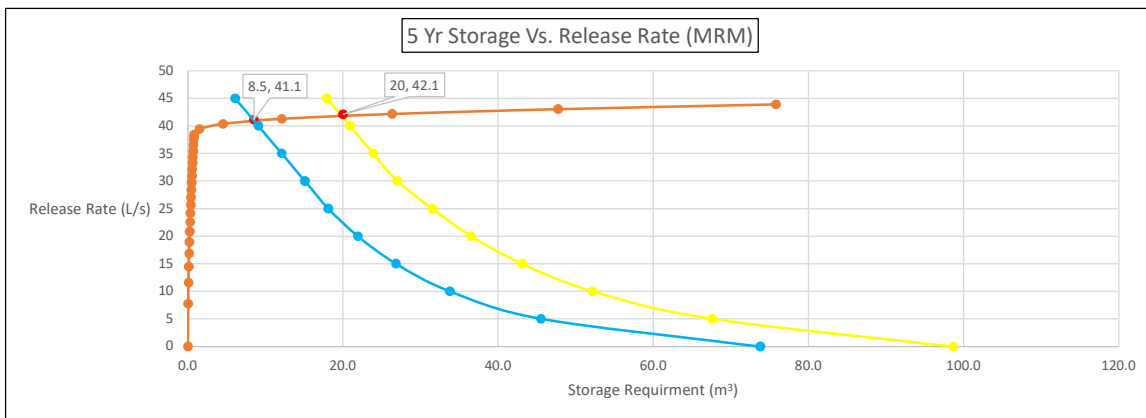


**Table D8: Catchment P-2 (Rear Parking ) (CB01) 5-year MRM - Using Flow Controlled Orifice**

<b>Area No:</b> P-2	<b>Return Period =</b> 5 (years)	
$C_{AVG} = 0.77$ (2-yr)	IDF Parameters $I = A/(T_c + C)^B$	
$C_{AVG} = 0.77$ (5-yr)	A = 998.071	<b>Release Rate (L/s)</b>
$C_{AVG} = 0.96$ (100-yr, Max 1.0)	B = 0.814	Start = 0.00
Drainage Area = 0.3367 (hectares)	C = 6.053	Increment = 5.00
Start = 10.00 (mins)		
Time Interval = 5.00 (mins)		

MRM			Storage Requirement (m <sup>3</sup> ) for Select Release Rates (L/s)									
Duration (mins)	Rainfall Intensity, I (mm/hr)	Peak Flow (L/sec)	0	5	10	15	20	25	30	35	40	45
10	104.2	74.8	44.9	41.9	38.9	35.9	32.9	29.9	26.9	23.9	20.9	17.9
15	83.6	60.0	54.0	49.5	45.0	40.5	36.0	31.5	27.0	22.5	18.0	13.5
20	70.3	50.4	60.5	54.5	48.5	42.5	36.5	30.5	24.5	18.5	12.5	6.5
25	60.9	43.7	65.6	58.1	50.6	43.1	35.6	28.1	20.6	13.1	5.6	-1.9
30	53.9	38.7	69.7	60.7	51.7	42.7	33.7	24.7	15.7	6.7	-2.3	-11.3
35	48.5	34.8	73.2	62.7	52.2	41.7	31.2	20.7	10.2	-0.3	-10.8	-21.3
40	44.2	31.7	76.1	64.1	52.1	40.1	28.1	16.1	4.1	-7.9	-19.9	-31.9
45	40.6	29.2	78.8	65.3	51.8	38.3	24.8	11.3	-2.2	-15.7	-29.2	-42.7
50	37.7	27.0	81.1	66.1	51.1	36.1	21.1	6.1	-8.9	-23.9	-38.9	-53.9
55	35.1	25.2	83.2	66.7	50.2	33.7	17.2	0.7	-15.8	-32.3	-48.8	-65.3
60	32.9	23.7	85.2	67.2	49.2	31.2	13.2	-4.8	-22.8	-40.8	-58.8	-76.8
65	31.0	22.3	86.9	67.4	47.9	28.4	8.9	-10.6	-30.1	-49.6	-69.1	-88.6
70	29.4	21.1	88.6	67.6	46.6	25.6	4.6	-16.4	-37.4	-58.4	-79.4	-100.4
75	27.9	20.0	90.1	67.6	45.1	22.6	0.1	-22.4	-44.9	-67.4	-89.9	-112.4
80	26.6	19.1	91.5	67.5	43.5	19.5	-4.5	-28.5	-52.5	-76.5	-100.5	-124.5
85	25.4	18.2	92.9	67.4	41.9	16.4	-9.1	-34.6	-60.1	-85.6	-111.1	-136.6
90	24.3	17.4	94.2	67.2	40.2	13.2	-13.8	-40.8	-67.8	-94.8	-121.8	-148.8
95	23.3	16.7	95.4	66.9	38.4	9.9	-18.6	-47.1	-75.6	-104.1	-132.6	-161.1
100	22.4	16.1	96.5	66.5	36.5	6.5	-23.5	-53.5	-83.5	-113.5	-143.5	-173.5
105	21.6	15.5	97.6	66.1	34.6	3.1	-28.4	-59.9	-91.4	-122.9	-154.4	-185.9
110	20.8	15.0	98.7	65.7	32.7	-0.3	-33.3	-66.3	-99.3	-132.3	-165.3	-198.3
<b>Max =</b>			<b>98.7</b>	<b>67.6</b>	<b>52.2</b>	<b>43.1</b>	<b>36.5</b>	<b>31.5</b>	<b>27.0</b>	<b>23.9</b>	<b>20.9</b>	<b>17.9</b>

- Notes**
- 1) Peak flow is equal to the product of  $2.78 \times C \times I \times A$
  - 2) Rainfall Intensity  $I = A \cdot (T_c + C)^{-B}$
  - 3) Release Rate = Incremented
  - 4) Storage Rate = Peak Flow - Release Rate
  - 5) Storage = Duration x Storage Rate
  - 6) Maximum Storage = Max Storage Over Duration
  - 7) Parameters a,b,c are for

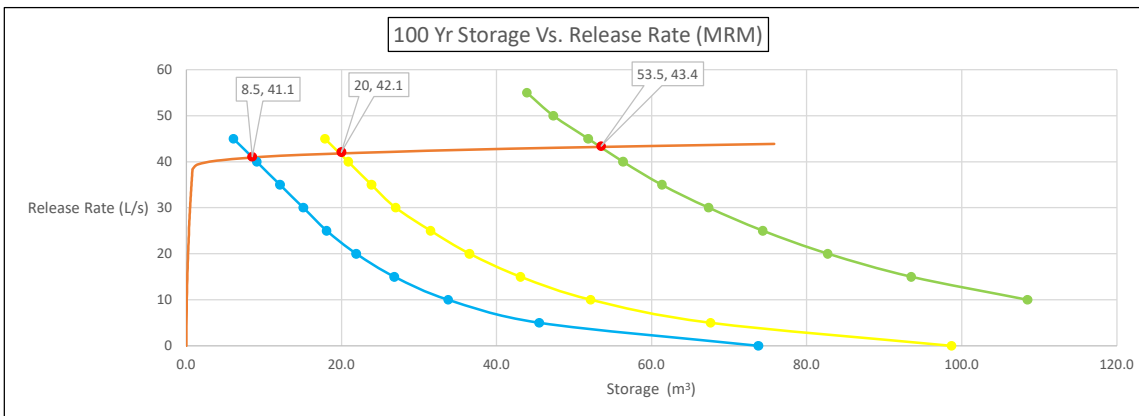


**Table D9: Catchment P-2 (Rear Parking ) (CB01) 100-year MRM - Using Flow Controlled Orifice**

<b>Area No:</b> P-2	<b>Return Period =</b> 100 (years)	
$C_{AVG} = 0.77$ (2-yr)	IDF Parameters $I = A/(T_c + C)^B$	
$C_{AVG} = 0.77$ (5-yr)	A = 1735.69	<b>Release Rate (L/s)</b>
$C_{AVG} = 0.96$ (100-yr, Max 1.0)	B = 0.820	Start = 10.00
Drainage Area = 0.3367 (hectares)	C = 6.014	Increment = 5.00
Start = 10.00 (mins)		
Time Interval = 5.00 (mins)		

MRM			Storage Requirement (m <sup>3</sup> ) for Select Release Rates (L/s)									
Duration (mins)	Rainfall Intensity, I (mm/hr)	Peak Flow (L/sec)	10	15	20	25	30	35	40	45	50	55
10	178.6	128.2	70.9	67.9	64.9	61.9	58.9	55.9	52.9	49.9	46.9	43.9
15	142.9	102.6	83.3	78.8	74.3	69.8	65.3	60.8	56.3	51.8	47.3	42.8
20	120.0	86.1	91.3	85.3	79.3	73.3	67.3	61.3	55.3	49.3	43.3	37.3
25	103.8	74.6	96.8	89.3	81.8	74.3	66.8	59.3	51.8	44.3	36.8	29.3
30	91.9	66.0	100.7	91.7	82.7	73.7	64.7	55.7	46.7	37.7	28.7	19.7
35	82.6	59.3	103.5	93.0	82.5	72.0	61.5	51.0	40.5	30.0	19.5	9.0
40	75.1	54.0	105.5	93.5	81.5	69.5	57.5	45.5	33.5	21.5	9.5	-2.5
45	69.1	49.6	106.9	93.4	79.9	66.4	52.9	39.4	25.9	12.4	-1.1	-14.6
50	64.0	45.9	107.8	92.8	77.8	62.8	47.8	32.8	17.8	2.8	-12.2	-27.2
55	59.6	42.8	108.3	91.8	75.3	58.8	42.3	25.8	9.3	-7.2	-23.7	-40.2
60	55.9	40.1	108.5	90.5	72.5	54.5	36.5	18.5	0.5	-17.5	-35.5	-53.5
65	52.6	37.8	108.4	88.9	69.4	49.9	30.4	10.9	-8.6	-28.1	-47.6	-67.1
70	49.8	35.7	108.1	87.1	66.1	45.1	24.1	3.1	-17.9	-38.9	-59.9	-80.9
75	47.3	33.9	107.7	85.2	62.7	40.2	17.7	-4.8	-27.3	-49.8	-72.3	-94.8
80	45.0	32.3	107.1	83.1	59.1	35.1	11.1	-12.9	-36.9	-60.9	-84.9	-108.9
85	43.0	30.8	106.3	80.8	55.3	29.8	4.3	-21.2	-46.7	-72.2	-97.7	-123.2
90	41.1	29.5	105.4	78.4	51.4	24.4	-2.6	-29.6	-56.6	-83.6	-110.6	-137.6
95	39.4	28.3	104.4	75.9	47.4	18.9	-9.6	-38.1	-66.6	-95.1	-123.6	-152.1
100	37.9	27.2	103.3	73.3	43.3	13.3	-16.7	-46.7	-76.7	-106.7	-136.7	-166.7
105	36.5	26.2	102.1	70.6	39.1	7.6	-23.9	-55.4	-86.9	-118.4	-149.9	-181.4
110	35.2	25.3	100.8	67.8	34.8	1.8	-31.2	-64.2	-97.2	-130.2	-163.2	-196.2
<b>Max =</b>			<b>108.5</b>	<b>93.5</b>	<b>82.7</b>	<b>74.3</b>	<b>67.3</b>	<b>61.3</b>	<b>56.3</b>	<b>51.8</b>	<b>47.3</b>	<b>43.9</b>

- Notes**
- 1) Peak flow is equal to the product of  $2.78 \times C \times I \times A$
  - 2) Rainfall Intensity  $I = A \cdot (T_c + C)^{-B}$
  - 3) Release Rate = Incremented
  - 4) Storage Rate = Peak Flow - Release Rate
  - 5) Storage = Duration x Storage Rate
  - 6) Maximum Storage = Max Storage Over Duration
  - 7) Parameters a,b,c are for



**Table D10: Catchment P-2 (Rear Parking ) (CB01) MRM - Stage Storage Discharge Orifice Design**

Elev (m)	Head Over Orifice (m)	Orifice Flow (l/s)	Incremental Volume (m <sup>3</sup> )	Cumulative Volume (m <sup>3</sup> )
89.40	1.29	43.9	28.09	75.81
89.35	1.24	43.0	21.38	47.72
89.30	1.19	42.2	14.25	26.34
89.25	1.14	41.3	7.57	12.09
89.20	1.09	40.4	3.03	4.52
89.15	1.04	39.4	0.67	1.49
89.10	0.99	38.5	0.03	0.82
89.08	0.97	38.1	0.03	0.79
89.05	0.94	37.5	0.04	0.76
89.00	0.89	36.5	0.04	0.72
88.95	0.84	35.4	0.04	0.68
88.90	0.79	34.4	0.04	0.64
88.85	0.74	33.3	0.04	0.60
88.80	0.69	32.1	0.04	0.56
88.75	0.64	30.9	0.04	0.52
88.70	0.59	29.7	0.04	0.48
88.65	0.54	28.4	0.04	0.44
88.60	0.49	27.1	0.04	0.40
88.55	0.44	25.6	0.04	0.36
88.50	0.39	24.1	0.04	0.32
88.45	0.34	22.5	0.04	0.28
88.40	0.29	20.8	0.04	0.24
88.35	0.24	18.9	0.04	0.20
88.30	0.19	16.8	0.04	0.16
88.25	0.14	14.5	0.04	0.12
88.20	0.09	11.6	0.04	0.08
88.15	0.04	7.7	0.04	0.04
88.11	0.00	0.0	0.00	0.00

$Q_{ORIFICE} = C A (2 g H)^{0.5}$   
 Size (mm) = 135.00  
 C/L Orifice Elev = 88.11  
  
 C = Discharge Coeff = 0.61  
 A = Orifice Area (mm<sup>2</sup>) = 14,307  
 A = Orifice Area (m<sup>2</sup>) = 0.0143

**HOLIDAY INN EXPRESS  
45 ROBERTSON ROAD  
OTTAWA, ONTARIO**

**STORMWATER MANAGEMENT  
AND SERVICING REPORT**

**DME Project No. 2784**

Prepared for:  
**Chamberlain Architect Services Limited**

Prepared by:



David McManus  
Engineering Ltd.

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**April 22, 2008  
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### **APPENDICES**

Appendix A: Tables 1 to 7: Stormwater Management Calculations and  
Storm Sewer Design Sheet

Appendix B: Stormwater Management Plan

Appendix C: Stormceptor Sizing Output

### **DRAWINGS**

S1 Servicing Plan (attached separately)

GR1 Grading Plan (attached separately)

SWM Stormwater Management Plan

## **1.0 INTRODUCTION**

David McManus Engineering Ltd. (DME) was appointed by Chamberlain Architect Services Limited to provide engineering services for the preparation of site grading, servicing and storm water management design for a proposed Holiday Inn Express hotel. The proposed development is located at 45 Robertson Road in the City of Ottawa.

This report will address the servicing and stormwater management issues related to the site as a requirement of the site plan approval process.

## **2.0 PURPOSE**

This report will outline the proposed servicing for the site as well as provide the stormwater management details for the site. Items that are addressed include:

- Indicating the size of water and sanitary sewer services and identifying the locations of the connections to existing services
- Calculating the allowable release rate, post-development runoff, and the corresponding storage volume requirements.
- Determination of the storage volumes on site for storage of stormwater for the various drainage areas of the site and sizing an orifice control to control the release of stormwater from the site.

## **3.0 SITE OVERVIEW**

Currently the site is occupied by a Burger King restaurant and associated parking lot. It is surrounded by Roberson Road to the south, commercial properties to the east and west, and a ravine to the north. Within the ravine is a watercourse that flows northward and is tributary to Stillwater Creek. Generally, the site slopes from south to north toward the ravine. During development of the restaurant in the 1970's much of the watercourse was piped, the ravine backfilled, and the parking lot constructed overtop.

## **4.0 WATERMAIN DISTRIBUTION**

The site is currently serviced by a 152mm diameter ductile iron water service off an existing 203mm ductile iron watermain located on the south-side of Robertson Road. The existing water service will be reused and extended within the site to the proposed hotel and on-site hydrant. Details are shown shown on Dwg. S1, Servicing Plan.

## **5.0 SANITARY SEWER DESIGN**

Currently sanitary waste from the restaurant drains by gravity to a manhole-style pump station near the northeast corner of the building. The sewage is pumped

through a 37mm diameter forcemain on-site, which connects to a 100mm forcemain approximately at the property line. The 100mm forcemain crosses the road and outlets to the existing 200mm sanitary sewer on south side of Robertson Road.

Upon redevelopment the existing pump station will be removed and a new sanitary pump station will be installed and connected to the existing 100mm diameter forcemain near the property line. The following criteria was used to determine the peak sanitary flows from the proposed hotel:

Daily Sewage Flow:	225 L/person/day
No. of Persons / Room:	1.5
Number of Rooms:	115 Rooms
Peaking Factor:	1.5

**Peak Design Flow:**

$$= [(225 \text{ L/person/day}) \times (115 \text{ Rooms}) \times (1.5 \text{ persons/room}) \times (1.5)] \div 86,400 \text{ sec/day}$$
$$= \mathbf{0.67 \text{ L/s}}$$

Design details of the pump station will be finalized as the design of the hotel advances. The location of the proposed sanitary sewer service is shown on Dwg. S1, Servicing Plan.

## 6.0 STORM SEWER DESIGN

The existing on-site storm sewers drain to a junction manhole that connects via a 375mm dia sewer to an existing 2,100mm dia. CSP located on the eastern portion of the site. This CSP flows northward and outlets to the aforementioned ravine. Upon redevelopment the existing junction manhole 375mm dia. Sewer will be reused. Details for the storm sewer can be found on drawing S1 and the storm sewer design sheet Appendix A, Table 7.

## 7.0 STORMWATER MANAGEMENT CALCULATIONS

### 7.1 Predevelopment Conditions

Currently only 0.43 ha of the 1.03 ha site is covered by hard surfacing (parking lot, roof) with the remainder being either soft landscaping around the restaurant or open space (undeveloped areas adjacent to ravine). With the proposed hotel only 0.65 ha of the site will be disturbed by the development, as the area adjacent to the ravine will remain in its existing condition. Therefore, the allowable release rate from the site was determined as outlined below.

Development Area: 0.65 hectares (A)

Allowable Runoff Coefficient:  $[(0.43 \times 0.9) + (0.22 \times 0.2)] / 0.65 = 0.66$   
0.43 ha (pre-development hard surfacing)

0.22 ha (pre-development landscaping)

Rainfall Intensity:  $I_{(5\text{-year}, 20\text{ min})} = 70.25\text{ mm/hr}$

Allowable Release Rate:  $Q = 2.78CiA$   
 $= 2.78(0.66)(70.25)(0.65)$   
 $Q = 84.0\text{ L/s}$

## 7.2 Post Development Conditions

The majority of the site surfacing consists of the new hotel and asphalt parking lot. The proposed site is graded to allow drainage areas A1 and A3 to drain free-flow from the site, although stormwater is stored in the parking lot at CB2 and on the hotel roof. Stormwater has been controlled in order that the maximum release rate from the site up to the 100-year storm event is less than then 5-year predevelopment release rate

## 7.3 Storage Requirements and Allocation

The site is designed to limit runoff to the allowable release rate up to the 100-year storm event. In the event of a storm greater than the 100-year storm event, the entire site drains along the overland flow routes to the tributary to Stillwater Creek within the ravine at the north of the site. The overland flow routes are shown on Dwg. SWM, Storm Water Management Plan.

It is proposed to provide stormwater storage on the roof of the hotel. Since the mechanical design for the building is not complete, the location of roof drains is unknown at this stage of the project. Therefore, a release rate of 40 L/s/ha, selected from past experience, has been applied to roof areas and the building designers will be instructed to follow these limitations. The roof release rate is 4.7 L/s and the approximate depth of storage on the roof for the 100-year storm event is 39mm.

Stormwater from some areas of the site will not be controlled and so must be accounted for in order to maintain the total allowable release rate from the site. Therefore, stormwater on the site will be over-controlled in order to maintain the allowable release rate for the site. A plug type orifice control will be installed in the outlet pipe of CB 2 in order to control the release of stormwater from storm area A5. Stormwater will back up into the catchbasin structure and will pond at the surface at CB 2. The maximum surface ponding depth will be 0.3m for the 100-year storm event. The drainage areas, surface ponding area and volumes are shown on the Stormwater Management Plan (Dwg SWM) contained at the rear of the report. Supporting calculations are shown in Appendix A.

## 7.4 Orifice Sizing

In order to attain the specified flow rate from the site an orifice control must be installed in the outlet pipe from CB 2. The orifice will be sized to control the 100-year event to a flow rate of 50.0 L/s at a ponding elevation of 89.38m.

The size is calculated as follows using the orifice equation:

Total allowable release rate	$Q_t = 50.0 \text{ L/s}$
Head on orifice	$h = 1.31 \text{ m}$
Using the orifice equation	$Q = 0.6(A)(2gh)^{0.5}$

$$\begin{aligned} \text{The required area of the} & \quad 0.050 \\ \text{orifice is:} & \quad \frac{0.050}{0.6(2 \times 9.81 \times 1.31)^{0.5}} \\ A = & \quad 0.0164 \text{ m}^2 \end{aligned}$$

Using the above formula, the required orifice opening is 0.0164 m<sup>2</sup>. This will be achieved with a 128 mm x 128mm diameter opening in the plug type orifice.

## 8.0 QUALITY CONTROL MEASURES

### 8.1 Quality Control

The Rideau Valley Conservation Authority has confirmed that the proposed site is required to provide stormwater quality control to achieve an enhanced level of protection (80% TSS removal). An in-line Stormceptor model STC 750 will provide 81% TSS removal for a fine particle size distribution. The Stormceptor will be installed in the place of the existing CBMH which outlets to the 2.1m trunk sewer passing through the site. The Stormceptor sizing program output is provided in Appendix C.

## 9.0 EROSION AND SEDIMENT CONTROL MEASURES

### 9.1 Temporary Measures

Temporary erosion and sediment control measures will be implemented during construction. Erosion and Sediment Control measures are to be installed and maintained during construction as shown on the Grading Plan (Dwg GR1). Geotextile cloth shall be installed between all catch basin covers and frames. Filter cloth catches should be inspected daily, and after

every rain event to determine maintenance, repair or replacement requirements. Sediments or granulars that enter site sewers shall be removed immediately by the contractor. These measures will be implemented prior to the commencement of construction and maintained in good order until vegetation has been established.

## 9.2 Permanent Measures

Best Management Practices shall be implemented as follows to reduce the transport of sediments and promote infiltration and on site ground water recharge.

- Construction of swales with lesser slopes will promote infiltration within grassed areas.

## 10.0 CONCLUSION

The development can be adequately serviced with sanitary sewer and water from existing infrastructure located on Robertson Road.

The stormwater management measures proposed result in sufficient runoff attenuation to meet the stipulated release rate of 84.0 L/s. Sufficient storage is provided on site for the 100-year storm event. Overland flow routes are provided that will prevent impact on the building during storms in excess of the 100-year event.

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Project Engineer

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Senior Project Manager

## **APPENDIX A**

Table 1:	5-Year and 100-Year Stormwater Summary Sheet
Tables 2 – 6:	Stormwater Storage Tables
Table 7:	Storm Sewer Design Sheet



**Table 1. 5-Year and 100-Year Stormwater Summary Sheet**

100 Year Storm Properties															5 Year Storm Properties			
Sub Area I.D.	Sub Area (ha)	C = 0.2	C = 0.9	C = 0.95	Composite 'C'	Outlet Location	Release Rate (L/s)	Ponding Elev. (m)	Orifice Type	Invert Elev. (m)	Pipe dia (if plug type) (mm)	Head on Orifice (m)	Size of Orifice (mmxmm)	Storage Provided (cu.m)	Storage Required (cu.m)	Release Rate (L/s)	Storage Provided (cu.m)	Storage Required (cu.m)
A1	0.012	0.012	0.000	0.000	0.20		0.7 *	N/A								0.70		
A2	0.118	0.000	0.000	0.118	0.95	Stormceptor	4.7							45.7	45.7	4.7	45.7	21.7
A3	0.067	0.057	0.010	0.000	0.30		5.90 *									5.90		
A4	0.099	0.027	0.072	0.000	0.71	CB 1	20.30 *									20.30		
A5	0.350	0.018	0.332	0.000	0.87	CB 2	50	89.38	plug type	88.07	375mm	1.31 **	128x128	64.6	61.8	50	27.1	22.9
		<b>0.65</b>	<b>0.11</b>	<b>0.414</b>	<b>0.12</b>		<b>81.6</b>	<b>L/s</b>						<b>110.3</b>	<b>107.5</b>		<b>72.8</b>	<b>44.7</b>

100 Year Postdevelopment Release Rate = **81.6 L/s**

5-Year Predevelopment Release Rate = **84.0 L/s**

Note: \* Free Flow release rate is based on the 5-year release rate

Note: \*\* Head on Orifice is measured from the centre-line of the diamond in the orifice control to the maximum water elevation.

Note: This Table to be read in conjunction with drawing 2784-SWM, 2784-GR1 and 2784-S1 and Tables 2 through 7



**Table 2. Storage Requirements for Area A1 (Free Flow)**

Area = 0.012 hectares  
 Runoff Coefficient = 0.20 post development

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
5 Year	10	104.19	0.70	0.0		

**Table 3. Storage Requirements for Area A2 (Roof)**

Area = 0.12 hectares  
 Runoff Coefficient = 0.95 post development

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
5 Year	10	104.19	32.42	4.7	27.7	16.6
	20	70.25	21.86	4.7	17.2	20.6
	30	53.93	16.78	4.7	12.1	21.7
	40	44.18	13.75	4.7	9.0	21.7
	50	37.65	11.71	4.7	7.0	21.0

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
100 Year	40	75.15	23.38	4.7	18.7	44.8
	50	63.95	19.90	4.7	15.2	45.6
	60	55.89	17.39	4.7	12.7	45.7
	70	49.79	15.49	4.7	10.8	45.3
	80	44.99	14.00	4.7	9.3	44.6

**Table 4. Storage Requirements for Area A3 (Free Flow)**

Area = 0.07 hectares  
 Runoff Coefficient = 0.30 post development

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
5 Year	10	104.19	5.90	0.0		

**Table 5. Storage Requirements for Area 4 (Free Flow)**

Area = 0.10 hectares  
 Runoff Coefficient = 0.71 post development

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
5 Year	10	104.19	20.30	0.0		

**Table 6. Storage Requirements for Area 5**

Area = 0.35 hectares  
 Runoff Coefficient = 0.87 post development

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
5 Year	10	104.19	88.20	50	38.2	22.9
	20	70.25	59.47	50	9.5	11.4
	30	53.93	45.65	50	-4.3	-7.8
	40	44.18	37.40	50	-12.6	-30.2
	50	37.65	31.87	50	-18.1	-54.4

Return Period	Time (min)	Intensity (mm/hr)	* Flow Q in l/s	Controlled Release L/s	Net Runoff To Be Stored in l/s	Storage Req'd m3
100 Year	10	178.56	151.15	50	101.2	60.7
	20	119.95	101.54	50	51.5	61.8
	30	91.87	77.77	50	27.8	50.0
	40	75.15	63.61	50	13.6	32.7
	50	63.95	54.14	50	4.1	12.4



## **APPENDIX B**

Stormwater Management Plan - SWM



## **APPENDIX C**

Stormceptor Sizing Program Output



## Stormceptor Sizing Detailed Report PCSWMM for Stormceptor

### Project Information

Date	7/24/2008
Project Name	Ryan Polkinghorne
Project Number	Holiday Inn Express
Location	45 Robertson Road

### Stormwater Quality Objective

This report outlines how Stormceptor System can achieve a defined water quality objective through the removal of total suspended solids (TSS). Attached to this report is the Stormceptor Sizing Summary.

### Stormceptor System Recommendation

The Stormceptor System model STC 750 achieves the water quality objective removing 81% TSS for a Fine (organics, silts and sand) particle size distribution.

### The Stormceptor System

The Stormceptor oil and sediment separator is sized to treat stormwater runoff by removing pollutants through gravity separation and flotation. Stormceptor's patented design generates positive TSS removal for all rainfall events, including large storms. Significant levels of pollutants such as heavy metals, free oils and nutrients are prevented from entering natural water resources and the re-suspension of previously captured sediment (scour) does not occur.

Stormceptor provides a high level of TSS removal for small frequent storm events that represent the majority of annual rainfall volume and pollutant load. Positive treatment continues for large infrequent events, however, such events have little impact on the average annual TSS removal as they represent a small percentage of the total runoff volume and pollutant load.

Stormceptor is the only oil and sediment separator on the market sized to remove TSS for a wide range of particle sizes, including fine sediments (clays and silts), that are often overlooked in the design of other stormwater treatment devices.

**Small storms dominate hydrologic activity, US EPA reports**

*“Early efforts in stormwater management focused on flood events ranging from the 2-yr to the 100-yr storm. Increasingly stormwater professionals have come to realize that small storms (i.e. < 1 in. rainfall) dominate watershed hydrologic parameters typically associated with water quality management issues and BMP design. These small storms are responsible for most annual urban runoff and groundwater recharge. Likewise, with the exception of eroded sediment, they are responsible for most pollutant washoff from urban surfaces. Therefore, the small storms are of most concern for the stormwater management objectives of ground water recharge, water quality resource protection and thermal impacts control.”*

*“Most rainfall events are much smaller than design storms used for urban drainage models. In any given area, most frequently recurrent rainfall events are small (less than 1 in. of daily rainfall).”*

*“Continuous simulation offers possibilities for designing and managing BMPs on an individual site-by-site basis that are not provided by other widely used simpler analysis methods. Therefore its application and use should be encouraged.”*

– US EPA Stormwater Best Management Practice Design Guide, Volume 1 – General Considerations, 2004

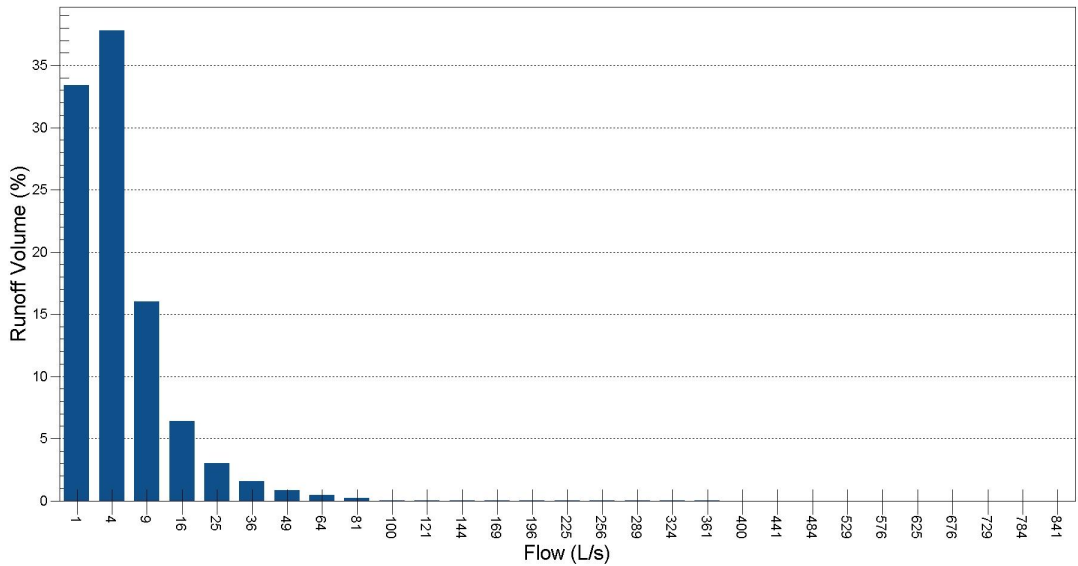
## **Design Methodology**

Each Stormceptor system is sized using PCSWMM for Stormceptor, a continuous simulation model based on US EPA SWMM. The program calculates hydrology from up-to-date local historical rainfall data and specified site parameters. With US EPA SWMM’s precision, every Stormceptor unit is designed to achieve a defined water quality objective.

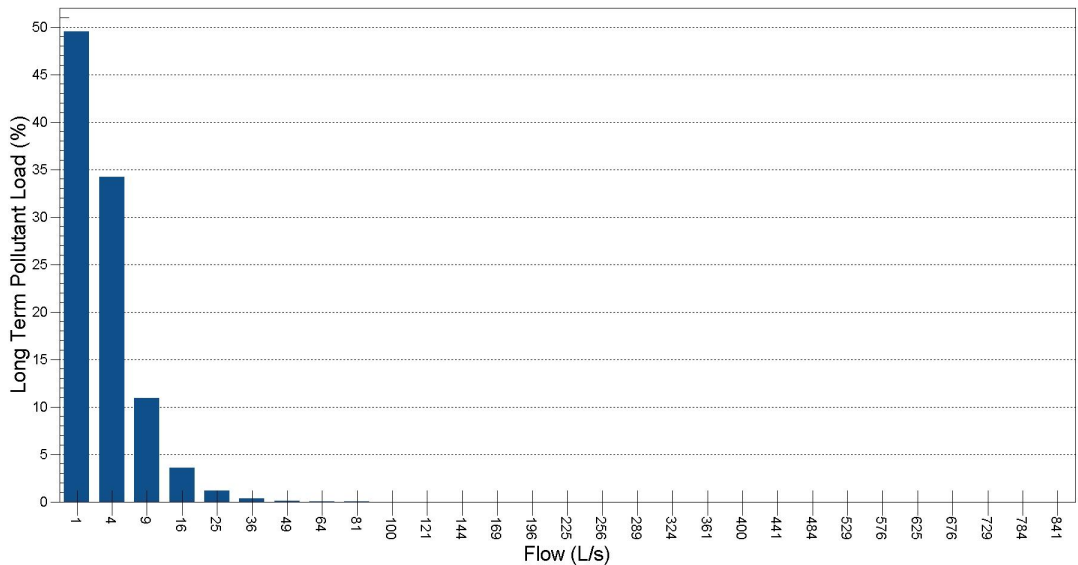
The TSS removal data presented follows US EPA guidelines to reduce the average annual TSS load. Stormceptor’s unit process for TSS removal is settling. The settling model calculates TSS removal by analyzing (summary of analysis presented in Appendix 2):

- Site parameters
- Continuous historical rainfall, including duration, distribution, peaks (Figure 1)
- Interevent periods
- Particle size distribution
- Particle settling velocities (Stokes Law, corrected for drag)
- TSS load (Figure 2)
- Detention time of the system

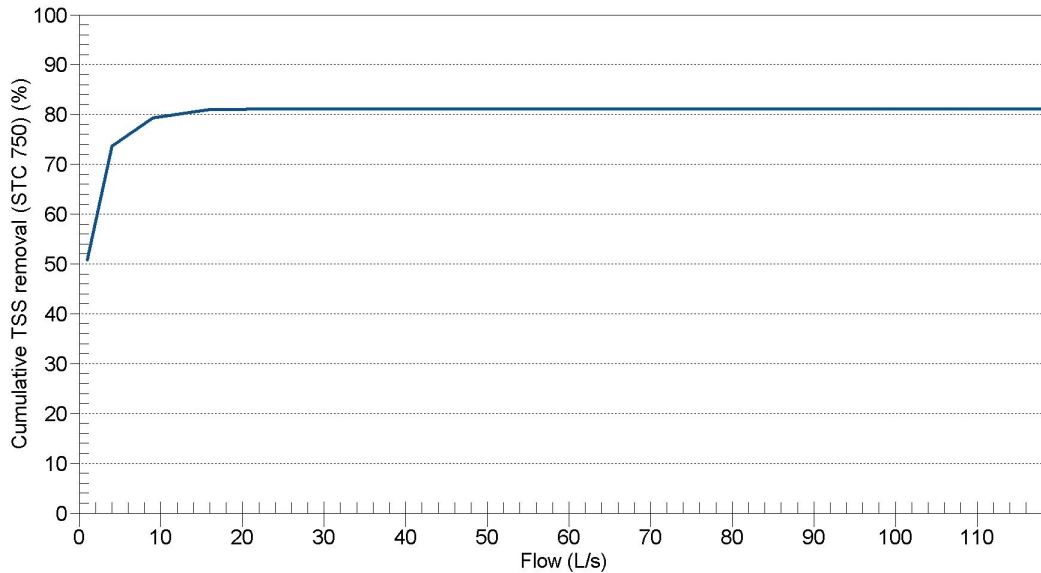
The Stormceptor System maintains continuous positive TSS removal for all influent flow rates. Figure 3 illustrates the continuous treatment by Stormceptor throughout the full range of storm events analyzed. It is clear that large events do not significantly impact the average annual TSS removal. There is no decline in cumulative TSS removal, indicating scour does not occur as the flow rate increases.



**Figure 1. Runoff Volume by Flow Rate for TORONTO CENTRAL – ON 100, 1982 to 1999 for 0.57 ha, 86% impervious.** Small frequent storm events represent the majority of annual rainfall volume. Large infrequent events have little impact on the average annual TSS removal, as they represent a small percentage of the total annual volume of runoff.



**Figure 2. Long Term Pollutant Load by Flow Rate for TORONTO CENTRAL – 100, 1982 to 1999 for 0.57 ha, 86% impervious.** The majority of the annual pollutant load is transported by small frequent storm events. Conversely, large infrequent events carry an insignificant percentage of the total annual pollutant load.



Stormceptor Model	STC 750	Drainage Area (ha)	0.57
TSS Removal (%)	81	Impervious (%)	86

**Figure 3. Cumulative TSS Removal by Flow Rate for TORONTO CENTRAL – 100, 1982 to 1999.** Stormceptor continuously removes TSS throughout the full range of storm events analyzed. Note that large events do not significantly impact the average annual TSS removal. Therefore no decline in cumulative TSS removal indicates scour does not occur as the flow rate increases.



## Appendix 1 Stormceptor Design Summary

### Project Information

Date	7/24/2008
Project Name	Ryan Polkinghorne
Project Number	Holiday Inn Express
Location	45 Robertson Road

### Designer Information

Company	David McManus Engineering Ltd
Contact	N/A

### Notes

N/A
-----

### Drainage Area

Total Area (ha)	0.57
Imperviousness (%)	86

The Stormceptor System model STC 750 achieves the water quality objective removing 81% TSS for a Fine (organics, silts and sand) particle size distribution.

### Rainfall

Name	TORONTO CENTRAL
State	ON
ID	100
Years of Records	1982 to 1999
Latitude	45°30'N
Longitude	90°30'W

### Water Quality Objective

TSS Removal (%)	80
-----------------	----

### Upstream Storage

Storage (ha-m)	Discharge (L/s)
0.000	00.000
0.003	69.700
0.004	75.000
0.009	89.500

## Stormceptor Sizing Summary

Stormceptor Model	TSS Removal %
STC 300	72
<b>STC 750</b>	<b>81</b>
STC 1000	81
STC 1500	82
STC 2000	86
STC 3000	86
STC 4000	89
STC 5000	90
STC 6000	91
STC 9000	94
STC 10000	93
STC 14000	95



### Particle Size Distribution

Removing silt particles from runoff ensures that the majority of the pollutants, such as hydrocarbons and heavy metals that adhere to fine particles, are not discharged into our natural water courses. The table below lists the particle size distribution used to define the annual TSS removal.

Fine (organics, silts and sand)							
Particle Size	Distribution	Specific Gravity	Settling Velocity	Particle Size	Distribution	Specific Gravity	Settling Velocity
µm	%		m/s	µm	%		m/s
20	20	1.3	0.0004				
60	20	1.8	0.0016				
150	20	2.2	0.0108				
400	20	2.65	0.0647				
2000	20	2.65	0.2870				

### Stormceptor Design Notes

- Stormceptor performance estimates are based on simulations using PCSWMM for Stormceptor version 1.0
- Design estimates listed are only representative of specific project requirements based on total suspended solids (TSS) removal.
- Only the STC 300 is adaptable to function with a catch basin inlet and/or inline pipes.
- Only the Stormceptor models STC 750 to STC 6000 may accommodate multiple inlet pipes.
- Inlet and outlet invert elevation differences are as follows:

#### Inlet and Outlet Pipe Invert Elevations Differences

Inlet Pipe Configuration	STC 300	STC 750 to STC 6000	STC 9000 to STC 14000
Single inlet pipe	75 mm	25 mm	75 mm
Multiple inlet pipes	75 mm	75 mm	Only one inlet pipe.

- Design estimates are based on stable site conditions only, after construction is completed.
- Design estimates assume that the storm drain is not submerged during zero flows. For submerged applications, please contact your local Stormceptor representative.
- Design estimates may be modified for specific spills controls. Please contact your local Stormceptor representative for further assistance.
- For pricing inquiries or assistance, please contact Hanson Pipe & Precast, 1-888-888-3222.

## Appendix 2 Summary of Design Assumptions

### SITE DETAILS

#### Site Drainage Area

Total Area (ha)	0.57	Imperviousness (%)	86
-----------------	------	--------------------	----

#### Surface Characteristics

Width (m)	151
Slope (%)	2
Impervious Depression Storage (mm)	0.508
Pervious Depression Storage (mm)	5.08
Impervious Manning's n	0.015
Pervious Manning's n	0.25

#### Infiltration Parameters

Horton's equation is used to estimate infiltration	
Max. Infiltration Rate (mm/h)	61.98
Min. Infiltration Rate (mm/h)	10.16
Decay Rate (s <sup>-1</sup> )	0.00055
Regeneration Rate (s <sup>-1</sup> )	0.01

#### Maintenance Frequency

Sediment build-up reduces the storage volume for sedimentation. Frequency of maintenance is assumed for TSS removal calculations.	
Maintenance Frequency (months)	12

#### Evaporation

Daily Evaporation Rate (mm/day)	2.54
---------------------------------	------

#### Dry Weather Flow

Dry Weather Flow (L/s)	No
------------------------	----

#### Upstream Attenuation

Stage-storage and stage-discharge relationship used to model attenuation upstream of the Stormceptor System is identified in the table below.

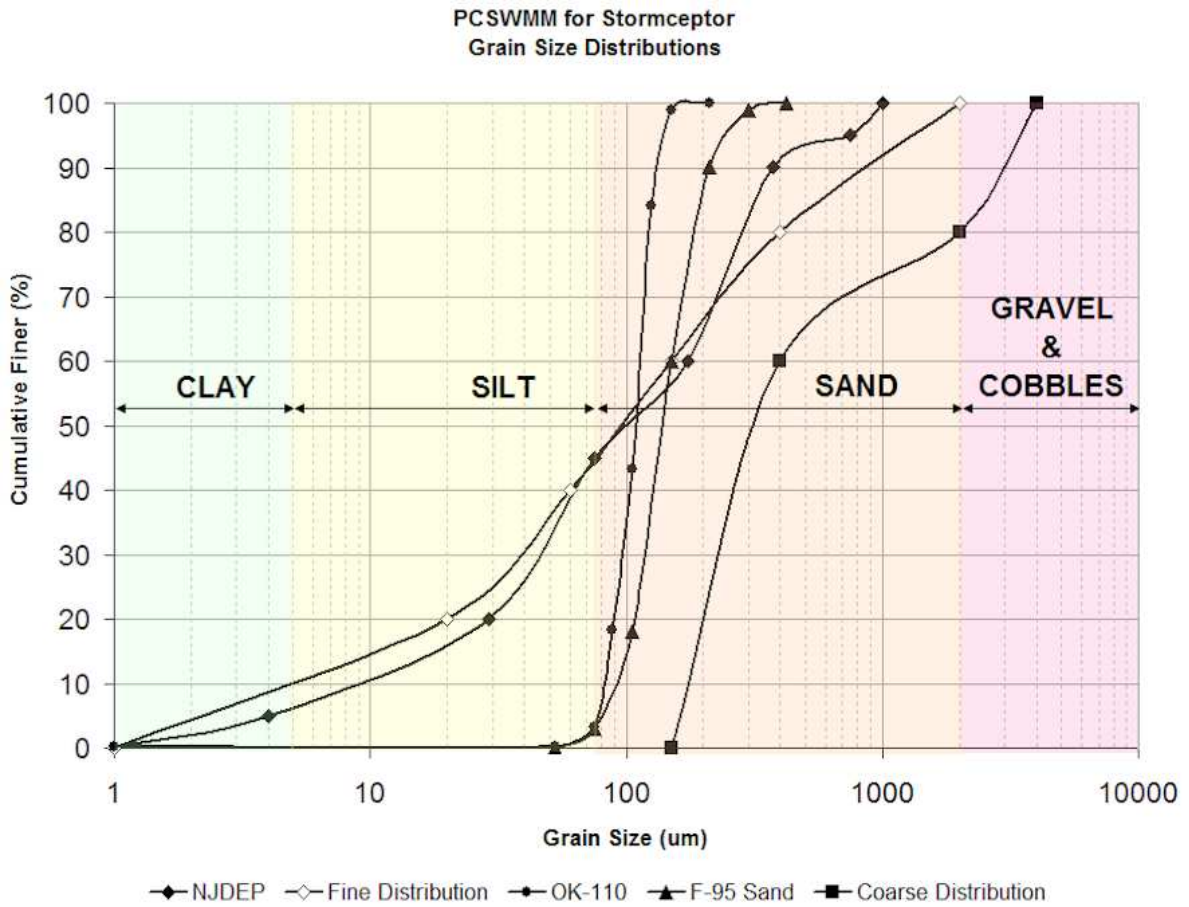
Storage ha-m	Discharge L/s
0.000	00.000
0.003	69.700
0.004	75.000
0.009	89.500

## PARTICLE SIZE DISTRIBUTION

### Particle Size Distribution

Removing fine particles from runoff ensures the majority of pollutants, such as heavy metals, hydrocarbons, free oils and nutrients are not discharged into natural water resources. The table below identifies the particle size distribution selected to define TSS removal for the design of the Stormceptor System.

Fine (organics, silts and sand)							
Particle Size µm	Distribution %	Specific Gravity	Settling Velocity m/s	Particle Size µm	Distribution %	Specific Gravity	Settling Velocity m/s
20	20	1.3	0.0004				
60	20	1.8	0.0016				
150	20	2.2	0.0108				
400	20	2.65	0.0647				
2000	20	2.65	0.2870				



**Figure 1.** PCSWMM for Stormceptor standard design grain size distributions.

## TSS LOADING

### TSS Loading Parameters

TSS Loading Function	Buildup / Washoff
----------------------	-------------------

#### Parameters

Target Event Mean Concentration (EMC) (mg/L)	125
Exponential Buildup Power	0.4
Exponential Washoff Exponential	0.2

## HYDROLOGY ANALYSIS

PCSWMM for Stormceptor calculates annual hydrology with the US EPA SWMM and local continuous historical rainfall data. Performance calculations of the Stormceptor System are based on the average annual removal of TSS for the selected site parameters. The Stormceptor System is engineered to capture fine particles (silts and sands) by focusing on average annual runoff volume ensuring positive removal efficiency is maintained during all rainfall events, while preventing the opportunity for negative removal efficiency (scour).

Smaller recurring storms account for the majority of rainfall events and average annual runoff volume, as observed in the historical rainfall data analyses presented in this section.

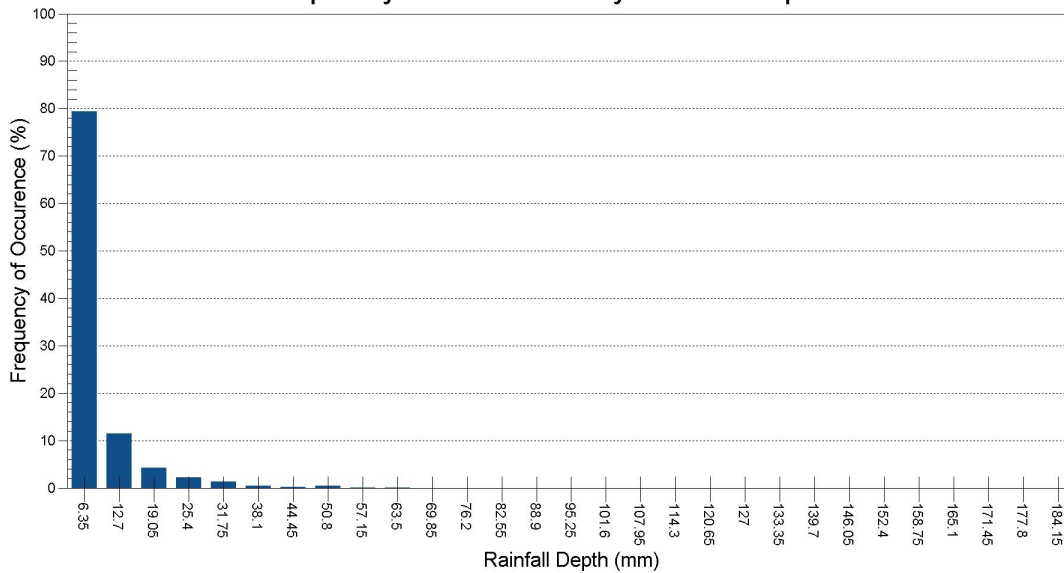
### Rainfall Station

Rainfall Station	TORONTO CENTRAL		
Rainfall File Name	ON100.NDC	Total Number of Events	3020
Latitude	45°30'N	Total Rainfall (mm)	13190.7
Longitude	90°30'W	Average Annual Rainfall (mm)	732.8
Elevation (m)		Total Evaporation (mm)	1137.9
Rainfall Period of Record (y)	18	Total Infiltration (mm)	1837.0
Total Rainfall Period (y)	18	Percentage of Rainfall that is Runoff (%)	78.0

### Rainfall Event Analysis

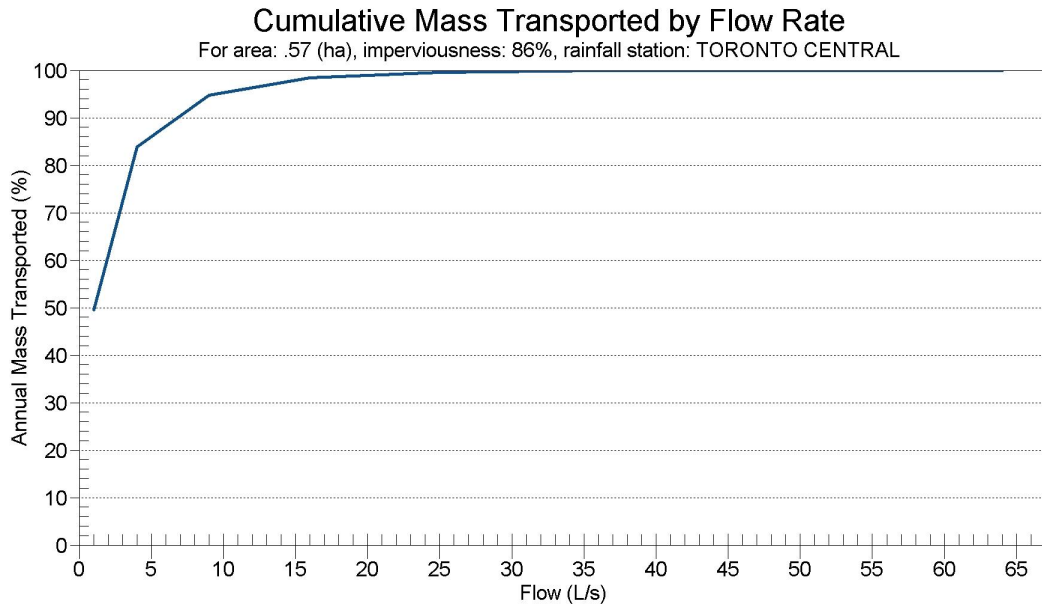
Rainfall Depth mm	No. of Events	Percentage of Total Events %	Total Volume mm	Percentage of Annual Volume %
6.35	2398	79.4	3626	27.5
12.70	346	11.5	3182	24.1
19.05	130	4.3	2037	15.4
25.40	66	2.2	1432	10.9
31.75	38	1.3	1075	8.2
38.10	16	0.5	545	4.1
44.45	7	0.2	292	2.2
50.80	13	0.4	611	4.6
57.15	2	0.1	106	0.8
63.50	2	0.1	121	0.9
69.85	0	0.0	0	0.0
76.20	0	0.0	0	0.0
82.55	1	0.0	79	0.6
88.90	1	0.0	85	0.6
95.25	0	0.0	0	0.0
101.60	0	0.0	0	0.0
107.95	0	0.0	0	0.0
114.30	0	0.0	0	0.0
120.65	0	0.0	0	0.0
127.00	0	0.0	0	0.0
133.35	0	0.0	0	0.0
139.70	0	0.0	0	0.0
146.05	0	0.0	0	0.0
152.40	0	0.0	0	0.0
158.75	0	0.0	0	0.0
165.10	0	0.0	0	0.0
171.45	0	0.0	0	0.0
177.80	0	0.0	0	0.0
184.15	0	0.0	0	0.0
190.50	0	0.0	0	0.0
196.85	0	0.0	0	0.0
203.20	0	0.0	0	0.0
209.55	0	0.0	0	0.0
>209.55	0	0.0	0	0.0

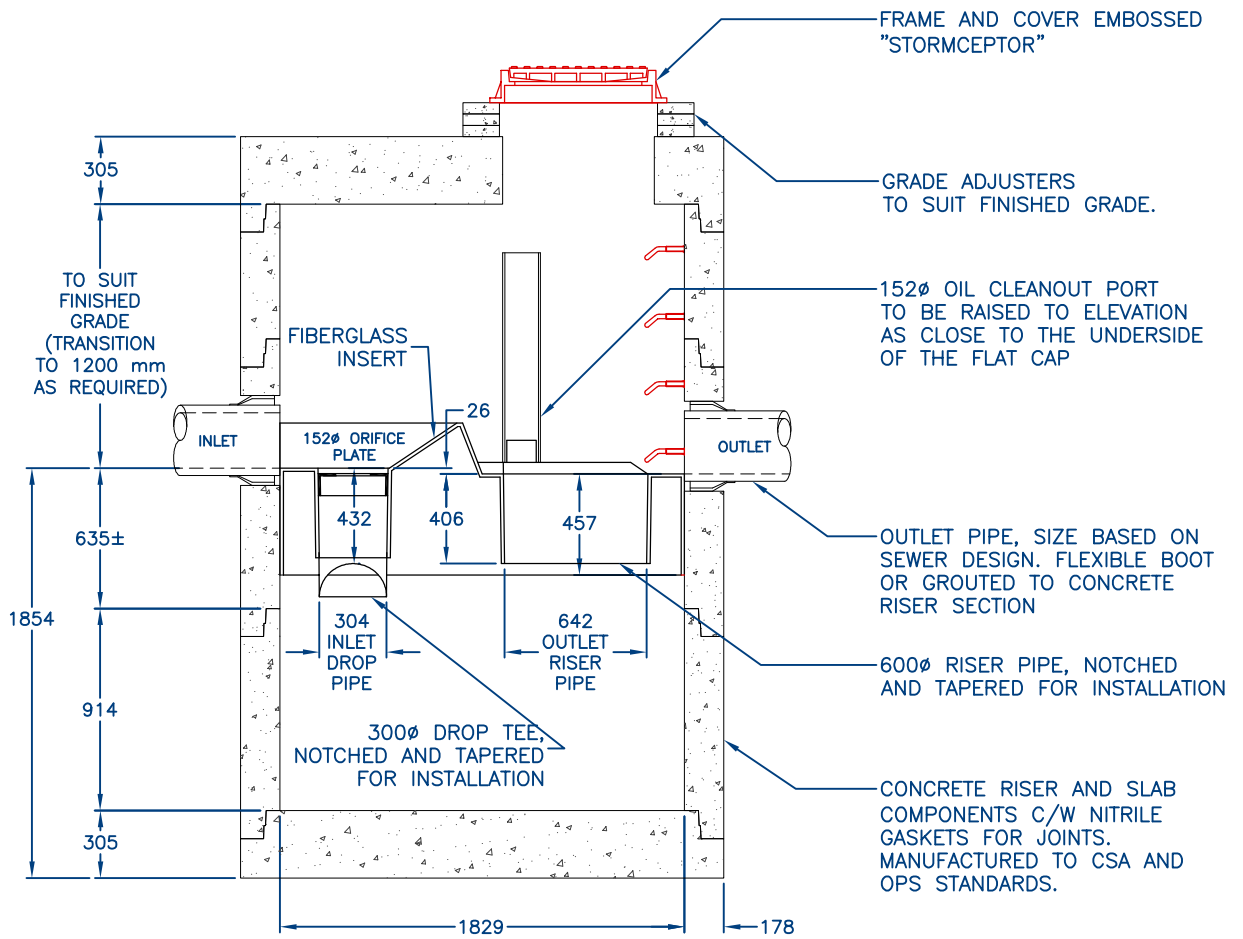
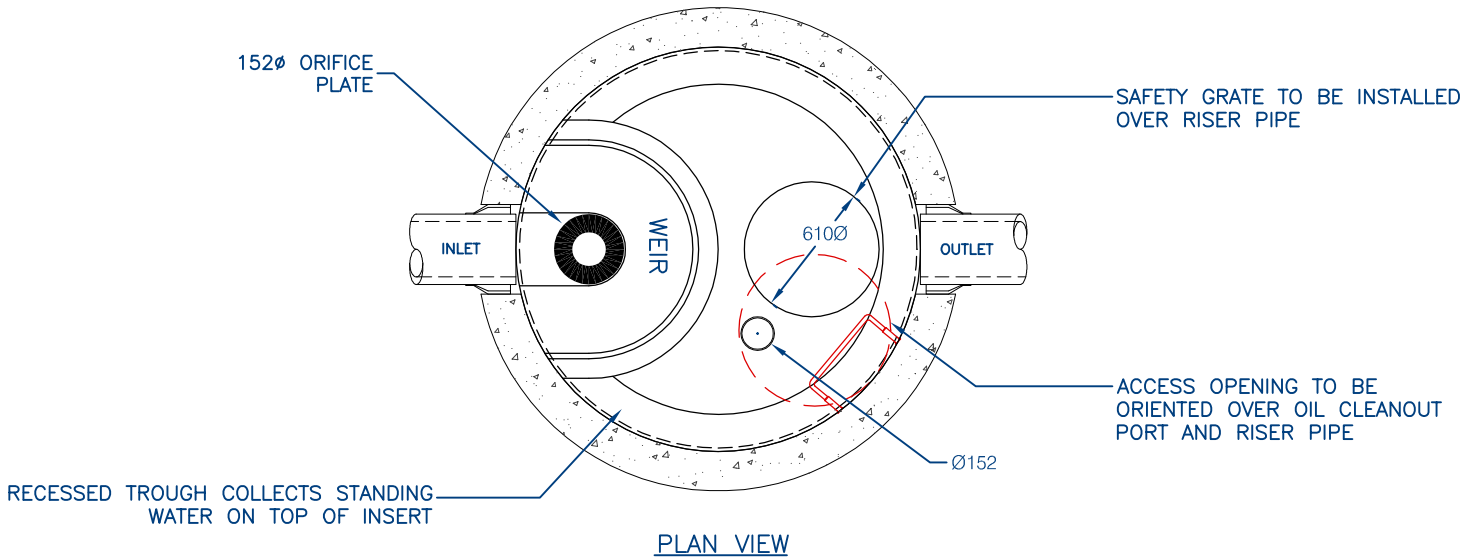
Frequency of Occurrence by Rainfall Depths



### Pollutograph

Flow Rate	Cumulative Mass
L/s	%
1	49.6
4	83.9
9	94.8
16	98.4
25	99.5
36	99.9
49	100.0
64	100.0
81	100.0
100	100.0
121	100.0
144	100.0
169	100.0
196	100.0
225	100.0
256	100.0
289	100.0
324	100.0
361	100.0
400	100.0
441	100.0
484	100.0
529	100.0
576	100.0
625	100.0
676	100.0
729	100.0
784	100.0
841	100.0
900	100.0





SECTION VIEW

STC 750 CAPACITIES		
SEDIMENT CAPACITY (L)	OIL CAPACITY (L)	TOTAL CAPACITY L (IMP GAL)
3000	915	4070 (895)

**\*\*NOT FOR CONSTRUCTION\*\***

THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING PATENTS:

- CANADIAN PATENT NO. 2,009,208
- CANADIAN PATENT NO. 2,137,942
- CANADIAN PATENT NO. 2,175,277
- CANADIAN PATENT NO. 2,180,305
- CANADIAN PATENT NO. 2,180,383
- CANADIAN PATENT NO. 2,206,338



R.R. 2, CAMBRIDGE, ONTARIO N1R 5S3  
 TEL. 519-622-7574  
 1-888-888-3222  
 FAX 519-621-8233 MAIN OFFICE  
 519-621-7750 TECHNICAL SERVICES

**IN-LINE STORMCEPTOR  
 MODEL STC 750**

## **Appendix E – Additional Information**

**Pre-Consultation: Meeting Feedback**

**Record Drawings from City of Ottawa**

May 8, 2025

Linnea Chamberlain  
Chamberlain Architect Services Limited  
Via email: lchamberlain@chamberlainipd.com

**Subject: Pre-Consultation: Meeting Feedback  
Proposed Site Plan Control Application – 2055 Robertson Road**

Please find below information regarding next steps as well as consolidated comments from the above-noted pre-consultation meeting held on April 17, 2025.

### **Pre-Consultation Preliminary Assessment**

1 <input type="checkbox"/>	2 <input type="checkbox"/>	3 <input type="checkbox"/>	4 <input checked="" type="checkbox"/>	5 <input type="checkbox"/>
----------------------------	----------------------------	----------------------------	---------------------------------------	----------------------------

One (1) indicates that considerable major revisions are required while five (5) suggests that the proposal appears to meet the City's key land use policies and guidelines. This assessment is purely advisory and does not consider technical aspects of the proposal or in any way guarantee application approval.

### **Next Steps**

1. A review of the proposal and materials submitted for the above-noted pre-consultation has been undertaken. For your next submission, please submit the required Application Form, together with the necessary studies and/or plans to [planningcirculations@ottawa.ca](mailto:planningcirculations@ottawa.ca), copy (cc:) to the file lead and planning support.
2. In your subsequent pre-consultation or application submission, please ensure that all comments or issues detailed herein are addressed. A detailed cover letter stating how each issue has been addressed is requested with the submission materials. Please coordinate the numbering of your responses within the cover letter with the comment number(s) herein.
3. Please note, if your development proposal changes significantly in scope, design, or density it is recommended that a subsequent pre-consultation application be submitted.

### **Supporting Information and Material Requirements**

1. The attached **Study and Plan Identification List** outlines the information and material that has been identified, during this phase of pre-consultation, as either required (R) or advised (A) as part of a future complete application submission.

- a. The required plans and studies must meet the City's Terms of Reference (ToR) and/or Guidelines, as available on [Ottawa.ca](http://Ottawa.ca). These ToR and Guidelines outline the specific requirements that must be met for each plan or study to be deemed adequate.

### **Consultation with Technical Agencies**

1. You are encouraged to consult with technical agencies early in the development process and throughout the development of your project concept. A list of technical agencies and their contact information is enclosed.

### **Planning**

Comments:

1. **Official Plan:** Mainstreet Corridor within the Outer Urban Transect.
  - a. Schedule C16 - Environmental Constraints - unstable slopes
2. Zoning By-law: Arterial Mainstreet Zone (AM)
3. Please introduce landscape islands/bulbouts in the parking area to break up the long linear parking areas.
4. A three-metre landscape buffer is required for a parking lot with over 100 spaces.
  - a. We would be supportive of a minor variance in some areas, but would like to see compliance maintained to the best of your ability on the eastern lot line to buffer from the adjacent parking lot and to allow for tree plantings.
5. Noted on the plan that you had indicated 121 parking spaces, vs the 145 required (1 parking space per unit). A Minor Variance will be required for this.
6. You may apply for a Minor Rezoning or Minor Variance. Both applications have about 90-day timelines in total. The Minor Rezoning offers more certainty but is considerably more expensive. Fees can be found [here](#).
7. Here are the provisions related to the compact vehicles  
[https://documents.ottawa.ca/sites/default/files/zoning\\_bylaw\\_part4\\_section106\\_en.pdf](https://documents.ottawa.ca/sites/default/files/zoning_bylaw_part4_section106_en.pdf)

### **Urban Design**

Comments:

8. An Urban Design Brief is not required. Staff require architectural drawings including a Site Plan and Building Elevations, as well as a Landscape Plan.

9. UDRP review is also not required given the size and location of the addition at the rear of the existing building.
10. Explore ways to enhance the Robertson Road frontage with architectural features or lighting on the existing blank walls.
11. Explore additional planting opportunities along Robertson Road to enhance the public realm experience.

Feel free to contact Nader Kadri, Urban Designer, for follow-up questions.

## **Engineering**

### **Storm Design**

12. Storm discharge should be directed to the existing private storm sewer.
13. Considering the increase in imperviousness, control the post development flow to the pre-development release rate for all storm events.
14. Time of concentration: to be calculated, min  $T_c = 10$ mins
15. For quality control, demonstrate that an enhanced level of protection is met

### **Water Design**

16. A water boundary condition request should be made for this development. Please provide the following information including supporting calculations:
  - a. Location of service
  - b. Type of development
  - c. Amount of fire flow required.
  - d. Average daily demand: \_\_\_ l/s.
  - e. Maximum daily demand: \_\_\_ l/s.
  - f. Maximum hourly daily demand: \_\_\_ l/s.
17. Submission to include watermain system analysis demonstrating adequate pressure as per section 4.2.2 of the Water Distribution Guidelines.
18. As per technical bulletin ISTB-2021-03, commercial areas with a basic day demand greater than  $50\text{m}^3/\text{day}$  shall be connected with a minimum of two water services, separated by an isolation valve, to avoid the creation of a vulnerable service area

19. Demonstrate adequate hydrant coverage for fire protection. Please review Technical Bulletin ISTB-2018-02, Appendix I table 1 – maximum flow to be considered from a given hydrant.

20. Any proposed emergency route (to be satisfactory to Fire Services).

### **Sanitary Design**

21. Demonstrate that there is adequate residual capacity in the private system and downstream wastewater system

22. Please apply the wastewater design flow parameters in Technical Bulletin PIEDTB-2018-01.

### **Slope Stability**

23. A slope stability analysis would be required in support of the proposed development. Refer to the City of Ottawa Slope Stability Guidelines for Development Applications. It is recommended that the applicant's team reviews the previously approved report and drawings prior to undertaking any new study. Required setbacks extended up to parking in the previous development application. A parking expansion would not be permitted within those limits.

### **Easement**

24. Existing easements identified should be shown on all drawings

25. Additional permanent structures (retaining walls, curbs, etc.) or trees are not permitted within the City's sewer easement

26. The existing fire hydrant appears to be within the sewer easement. Should the fire hydrant be relocated, please move it outside the easement

Feel free to contact Abibatou Dieme, Project Manager, for follow-up questions.

### **Transportation**

Comments:

27. A Transportation Impact Assessment (TIA) is not required.

28. Complete and submit the [Transportation Demand Management Measures Checklist](#) and the [Transportation Demand Management Supportive Development Design and Infrastructure Checklist](#) in support of the application.

29. Ensure that the development proposal complies with the Right-of-Way protection requirements of the Official Plan's [Schedule C16](#).

30. [Transportation Master Plan](#) includes Transit Priority (Isolated Measures) (Affordable Network)
31. As the proposed site is commercial and for general public use, AODA legislation applies.
- Ensure all crosswalks located internally on the site provide a TWSI at the depressed curb, per requirements of the Integrated Accessibility Standards Regulation under the AODA.
  - Clearly define accessible parking stalls and ensure they meet AODA standards (include an access aisle next to the parking stall and a pedestrian curb ramp at the end of the access aisle, as required).
  - Please consider using the City's [Accessibility Design Standards](#), which provide a summary of AODA requirements.
32. On site plan:
- Ensure site access meets the City's [Private Approach Bylaw](#).
  - Show all details of the roads abutting the site; include such items as pavement markings, signage, accesses, on-street parking, and/or sidewalks.
  - Consider increasing the clear throat length at the site access by removing the first three parking stalls at the site access.
  - Turning movement diagrams required for all accesses showing the largest vehicle to access/egress the site.
  - Turning movement diagrams required for internal movements (loading areas, garbage).
  - Show dimensions for site elements (i.e. lane/aisle widths, access width and throat length, parking stalls, sidewalks, pedestrian pathways, etc.)

Feel free to contact Josiane Gervais, Transportation Project Manager, for follow-up questions.

## **Environment**

Comments:

33. There is a watercourse on the subject property, which was assessed during the previous approval and a 15 m setback as applied. The watercourse also has a ravine associated with it and could meet the definition of a significant valleyland.
34. An Environmental impact study (EIS) is triggered since the proposal is adjacent to a watercourse and a potential natural heritage feature. The EIS will need to

follow the EIS guidelines and provide a description of the site using ecological land classification, assess for the presence of natural features and species at risk and demonstrate that the 15 m from top of slope setback as been applied and that there are no negative impacts on the ecological features present.

35. Bird-Safe Design Guidelines – the proposed addition will need to follow the Bird-safe design. Please review and incorporate bird safe design elements. Some of the risk factors include glass and related design traps such as corner glass and fly-through conditions, ventilation grates and open pipes, landscaping, light pollution. More guidance and solutions are available in the guidelines which can be found here:  
[https://documents.ottawa.ca/sites/documents/files/birdsafedesign\\_guidelines\\_en.pdf](https://documents.ottawa.ca/sites/documents/files/birdsafedesign_guidelines_en.pdf)

36. Site Design Comments:

- a. No site alteration within the 15 m setback to the watercourse. The proposal shows a parking lot within the setback, this will need to be removed from the watercourse setback. As per OP Section 4.9.3 policy 3 lands within the minimum setback shall remain in a naturally vegetated condition.

Feel free to contact Matthew Hayley, Environmental Planner, for follow-up questions.

**Forestry**

Comments:

37. A Tree Conservation Report and Landscape Plan will be required; guidelines are provided below.
38. Please prioritize retention and protection of existing trees on site over removal and replacement, in keeping with the Official Plan's section 4.8.2.
- a. In particular, please prioritize protection of the trees near the parking lot in the bulb-out, the landscaped island, and along the boundary with 2039 Robertson Rd.
- b. The forested area at the rear should be protected for the duration of construction, both to prevent encroachment and minimize the potential for contamination by construction materials.
39. As discussed, if the width of the landscaped buffer on the West side of the site will be increased, please ensure root-sensitive excavation methods are recommended for the removal of the curb, and explore options to expand soil volumes to support existing trees and new plantings on site.

40. Please explore opportunities to provide tree plantings around the parking lot, and for small-growing trees in the Robertson Rd frontage.
41. The following Tree Conservation Report (TCR) guidelines have been adapted from the Schedule E of the Tree Protection By-law – for more information on these requirements please [contact julian.alvarez-barkham@ottawa.ca](mailto:julian.alvarez-barkham@ottawa.ca)
  - a. A Tree Conservation Report (TCR) must be supplied for review along with the suite of other plans/reports required by the City.
    - i. An approved TCR is a requirement of Site Plan approval.
    - b. Any removal of privately-owned trees 10cm or larger in diameter within the urban area, or city-owned trees of any diameter requires a tree permit issued under the Tree Protection Bylaw (Bylaw 2020 – 340); the permit will be based on an approved TCR and made available at or near plan approval.
    - c. The TCR must contain 2 separate plans:
      - i. Plan/Map 1 - show existing conditions with tree cover information.
      - ii. Plan/Map 2 - show proposed development with tree cover information.
    - d. The TCR must list all trees on site, as well as off-site trees if the CRZ (critical root zone) extends into the developed area, by species, diameter, and health condition.
      - i. For ease of review, the Planning Forester suggests that all trees be numbered and referenced in an inventory table.
    - e. Please identify trees by ownership – private onsite, private on adjoining site, city owned, co-owned (trees on a property line)
    - f. If trees are to be removed, the TCR must clearly show where they are, and document the reason they cannot be retained.
      - i. Compensation may be required for the removal of city owned trees.
        - g. The removal of trees on a property line will require the permission of both property owners.
        - h. All retained trees must be shown, and all retained trees within the area impacted by the development process must be protected as per City guidelines available on the Tree Protection Specification or by searching Ottawa.ca.
      - i. The location of tree protection fencing must be shown on the plan.
      - ii. Show the critical root zone of the retained trees.

- i. As per the Official Plan §4.8.2, the retention of healthy trees must be prioritized wherever possible. Please seek opportunities for retention of trees that will contribute to the design and function of the site.
42. The following Landscape Plan (LP) guidelines have been adapted from Schedule E of the Tree Protection By-law – for more information on these requirements please contact [julian.alvarez-barkham@ottawa.ca](mailto:julian.alvarez-barkham@ottawa.ca)
- a. Please ensure any retained trees are shown on the LP.
  - b. Minimum Setbacks
    - i. Maintain 1.5m from sidewalk or MUP/cycle track or water service laterals.
    - ii. Maintain 2.5m from curb.
    - iii. Coniferous species require a minimum 4.5m setback from curb, sidewalk, or MUP/cycle track/pathway.
    - iv. Maintain 7.5m between large growing trees, and 4m between small growing trees. Park or open space planting should consider 10m spacing, except where otherwise approved in naturalization / afforestation areas.
    - v. Adhere to Ottawa Hydro's planting guidelines (species and setbacks) when planting around overhead primary conductors.
  - c. Tree specifications
    - i. Minimum stock size: 50mm tree caliper for deciduous, 200cm height for coniferous.
    - ii. Maximize the use of large deciduous species wherever possible to maximize future canopy coverage.
  - d. Tree planting on city property shall be in accordance with the City of Ottawa's Tree Planting Specification; and if possible, include watering and warranty as described in the specification.
  - e. No root barriers, dead-man anchor systems, or planters are permitted.
  - f. No tree stakes unless necessary (and only 1 on the prevailing winds side of the tree)
  - g. Hard surface planting
    - i. If there are hard surface plantings, a planting detail must be provided.
    - ii. Curb style planter design is highly recommended.

- iii.No grates are to be used and if guards are required, City of Ottawa standard (which can be provided) shall be used.
- h. Trees are to be planted at grade.
- i. Soil Volume - Please demonstrate as per the Landscape Plan Terms of Reference that the available soil volumes for new plantings will meet or exceed the following:

Tree Type/Size	Single Tree Soil Volume (m <sup>3</sup> )	Multiple Tree Soil Volume (m <sup>3</sup> /tree)
Ornamental	15	9
Columnar	15	9
Small	20	12
Medium	25	15
Large	30	18
Conifer	25	15

- i.It is strongly suggested that the proposed species list include a column listing the available soil volume.
- j. Sensitive Marine Clay - Please follow the City’s 2017 Tree Planting in Sensitive Marine Clay guidelines.
- k. The City requests that consideration be given to planting native species wherever there is a high probability of survival to maturity.
- l. Efforts shall be made to provide as much future canopy cover as possible at a site level, through tree planting and tree retention. The Landscape Plan shall show/document that the proposed tree planting and retention will contribute to the City’s overall canopy cover over time. Please provide a projection of the future canopy cover for the site to 40 years.

Feel free to contact Julian Alvarez-Barkham, Forester, for follow-up questions.

**Parkland**

Comments:

**Parkland Dedication:**

- The amount of required parkland conveyance is to be calculated as per the City of Ottawa Parkland Dedication By-law No.2022-280 (or as amended):

For conveyance of parkland, cash-in-lieu of conveyance parkland, or combination thereof:

- (i) 2% of the gross land area (commercial & industrial uses).
- (ii) The conveyance requirement shall be the cumulative sum for each use, as calculated using the applicable rate and based upon the portion of the site allocated to each use, including, but not limited to, the gross floor area allocated to each use, required and provided parking spaces, amenity space, landscape buffers, driveways, and drive aisles.

Prior to registration of the Site Plan Agreement, the Owner acknowledges and agrees to pay cash-in-lieu of conveyance of parkland as referenced in Schedule “B” herein. Pursuant to the City’s Parkland Dedication By-law, being By-law No. 2022-280, as amended, 40% of said funds collected shall be directed to City wide funds, and 60% shall be directed to Ward 8 funds. The Owner shall also pay the parkland appraisal fee of \$960.50 plus H.S.T. of \$110.50, as referenced in Schedule “B” herein.

All of the above shall be to the satisfaction of the General Manager, Recreation, Cultural and Facility Services.

**Form of Parkland Dedication:**

- PFP will be requesting **cash-in-lieu of conveyance of parkland** for parkland dedication in accordance with the Parkland Dedication By-law.

**Pre-consultation Preliminary Parkland Dedication Calculation:**

- PFP requests the following information to confirm and calculate the parkland conveyance:
  - Gross land area, in square meters
  - Gross floor area of proposed/existing commercial development
- Please note, if the proposed land use changes or gross floor area changes, then the parkland dedication requirement will be re-evaluated accordingly.

**Reference Documents:**

- Please review the following City of Ottawa reference documents which outline the requirements for parkland conveyance and/or cash-in-lieu of parkland.
  - o Official Plan (2021)
  - o Parks and Recreation Facilities Master Plan (2021)
  - o Park Development Manual, 2nd edition
  - o Parkland Dedication By-Law (2022-280) and Planning Act amendments
  - o City of Ottawa Standard Parks Conditions

Feel free to contact Louise Cervený, Parks Planner, for follow-up questions.

## Other

43. The High Performance Development Standard (HPDS) is a collection of voluntary and required standards that raise the performance of new building projects to achieve sustainable and resilient design and will be applicable to Site Plan Control and Plan of Subdivision applications.

- a. The HPDS was passed by Council on April 13, 2022, but is not in effect at this time, as Council has referred the 2023 HPDS Update Report back to staff with the direction to bring forward an updated report to Committee at a later date. The timing of an updated report to Committee is unknown at this time, and updates will be shared when they are available.
- b. Please refer to the HPDS information at [ottawa.ca/HPDS](http://ottawa.ca/HPDS) for more information.

44. Under the Affordable Housing Community Improvement Plan, a Tax Increment Equivalent Grant (TIEG) program was created to incentivize the development of affordable rental units. It provides a yearly fixed grant for 20 years. The grant helps offset the revenue loss housing providers experience when incorporating affordable units in their developments.

- a. To be eligible for the TIEG program you must meet the following criteria:
  - i. the greater of five units OR 15 per cent of the total number of units within the development must be made affordable
  - ii. provide a minimum of 15 per cent of each unit type in the development as affordable
  - iii. enter into an agreement with the city to ensure the units maintain affordable for a minimum period of 20 years at or below the city-wide average market rent for the entire housing stock based on building form and unit type, as defined by the Canada Mortgage and Housing Corporation
  - iv. must apply after a formal Site Plan Control submission, or Building Permit submission for projects not requiring Site Plan Control, and prior to Occupancy Permit issuance
- b. Please refer to the TIEG information at [Affordable housing community improvement plan / Plan d'améliorations communautaires pour le logement abordable](#) for more details or contact the TIEG coordinator via email at [affordablehousingcip@ottawa.ca](mailto:affordablehousingcip@ottawa.ca).

## Submission Requirements and Fees

1. Site Plan Control – Complex Application and Minor Variance/Minor Zoning By-law Amendment Applications required.
  - a. Additional information regarding fees related to planning applications can be found [here](#).

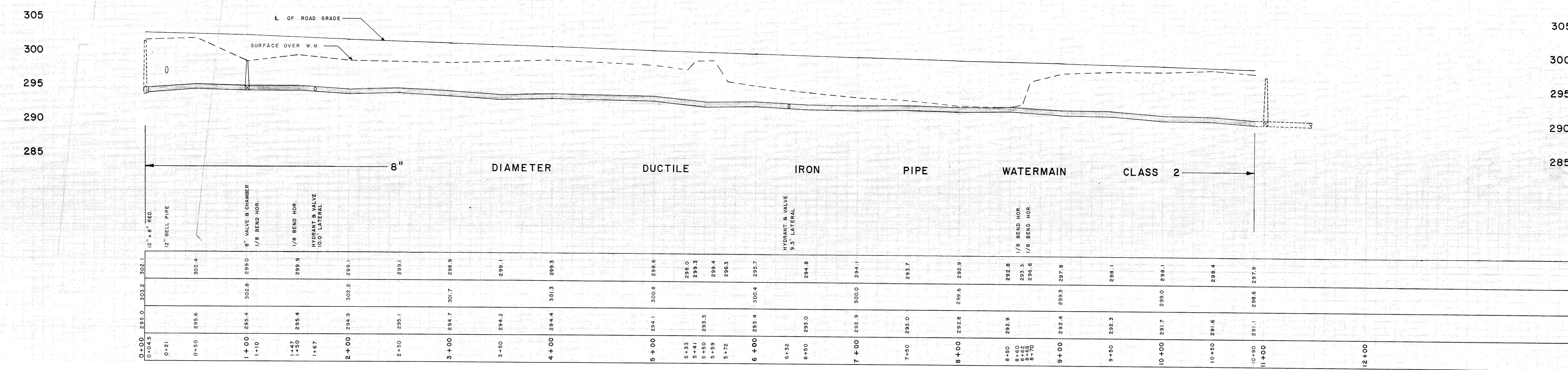
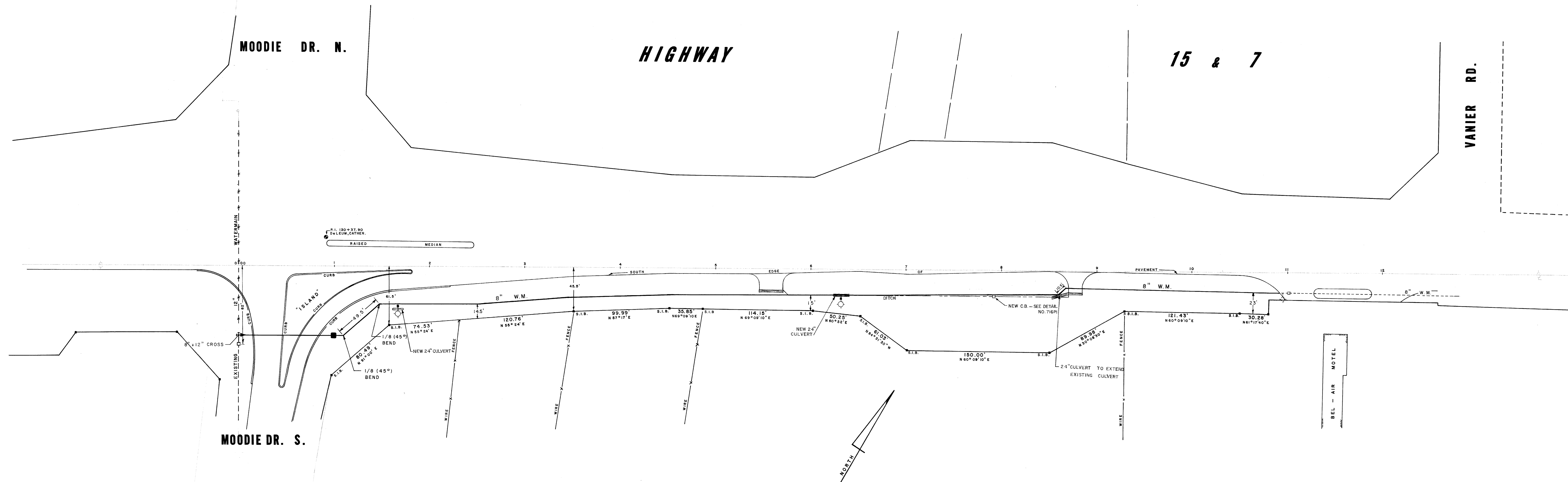


2. The attached **Study and Plan Identification List** outlines the information and material that has been identified as either required (R) or advised (A) as part of a future complete application submission.
  - a. The required plans and studies must meet the City's Terms of Reference (ToR) and/or Guidelines, as available on [Ottawa.ca](http://Ottawa.ca). These ToR and Guidelines outline the specific requirements that must be met for each plan or study to be deemed adequate.
3. All of the above comments or issues should be addressed to ensure the effectiveness of the application submission review.

Should there be any questions, please do not hesitate to contact myself or the contact identified for the above areas / disciplines.

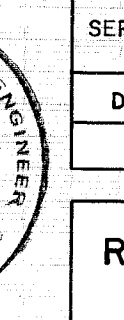
Yours Truly,

John Bernier, MCIP, RPP  
Planner II  
Development Review West



REGIONAL MUNICIPALITY OF OTTAWA-CARLETON  
 WATER SUPPLY DIVISION  
 WORKS DEPARTMENT  
 APPROVED  
*J. M. Pritchard*  
 Director of Water Supply  
 DATE: FEB 6 1970

ELEVATIONS	DATE
SURFACE	
ROAD GRADE	
D. H. O.	JUNE 65
TOP OF WATERMAIN	
STATION	



NOTES  
 1. ALL UNDERGROUND UTILITIES ARE APPROXIMATE, THE CONTRACTOR IS REQUIRED TO NOTIFY ALL UTILITY COMPANIES BEFORE EXCAVATING.

FEB./77 "AS BUILT" FROM FIELD BOOK NO. 304 J.M.C.  
 SEPT. 67/70 ADDED DITCH & CHAMBERS AT LYNHAR N.H.M.  
 DATE DESCRIPTION DRN. BY APPD. BY  
 REVISIONS

REGIONAL MUNICIPALITY OF OTTAWA-CARLETON  
 WORKS DEPARTMENT

8" WATER MAIN  
 HIGHWAY 15-7 FROM 900' WEST OF RICHMOND ROAD TO MOODIE DRIVE.  
 NORTHSIDE RD. FROM LARKSPUR DRIVE TO LYNHAR ROAD.

W.L. KEAY F.E. AYERS  
 DIR. POLLUTION CONTROL DIV. WORKS COMMISSIONER

SCALE: Max. 1" = 40'  
 Vert. 1" = 6'  
 DATE: MARCH 2/70  
 DRAWN BY: W.L.K.  
 CHECKED BY: F.E.A.  
 PLAN NO. 716-P

**NOTES:**  
1. REFER TO GRADING PLAN 2784-GR1

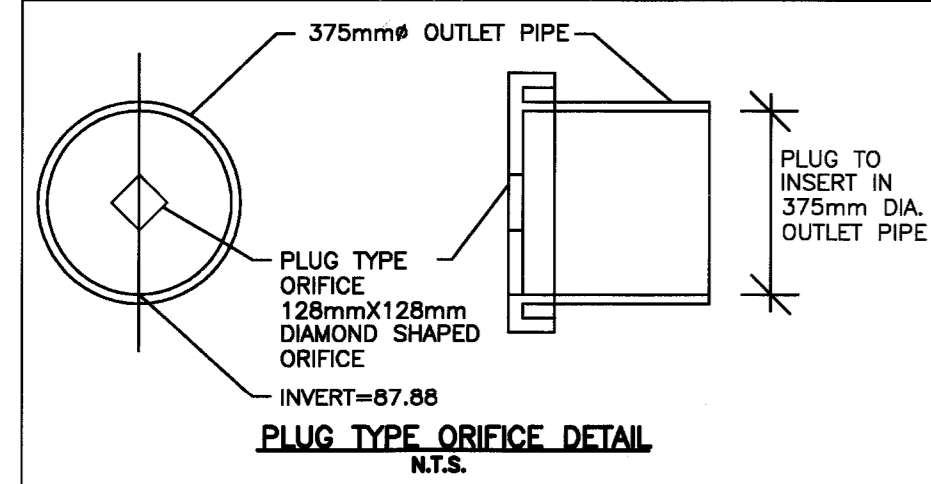
- NOTES: WATERMAIN**
1. ALL WATERMAIN WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS. NO WORK SHALL COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE.
  2. CONNECTION TO EXISTING WATERMAIN BY CITY FORCES. CONTRACTOR TO PROVIDE LABOUR, EQUIPMENT AND MATERIAL FOR EXCAVATION, BEDDING AND REINSTATEMENT.
  3. ALL WATERMAIN TO BE INSTALLED WITH A MINIMUM COVER OF 2.4m UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 2.4m INSULATE AS PER CITY DETAIL W22.
  4. CATHODIC PROTECTION REQUIRED FOR ALL IRON FITTINGS PER CITY DETAILS W40 AND W42.
  5. IF WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS LESS THAN HALF THAT RECOMMENDED BY THE MANUFACTURER.
  6. INSTALLATION OF WATER METER AND REMOTE RECEPTACLE SHALL BE IN ACCORDANCE WITH CITY STANDARDS.
  7. WATERMAIN BEDDING IS TO BE AS PER CITY DETAIL W17.
  8. WATERMAIN IS TO BE HYDROSTATICALLY TESTED TO 200 PSI FOR 2 HOURS.
  9. DISINFECTION AND TESTING OF WATERMAIN TO BE IN ACCORDANCE WITH CITY STANDARDS.
  10. WATERMAIN TO BE PVC SDR18 CL150.

- UTILITIES**
1. REFER TO ELECTRICAL DRAWINGS FOR HYDRO, BELL AND LIGHTING INFORMATION.
  2. CONTRACTOR TO LOCATE AND VERIFY ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

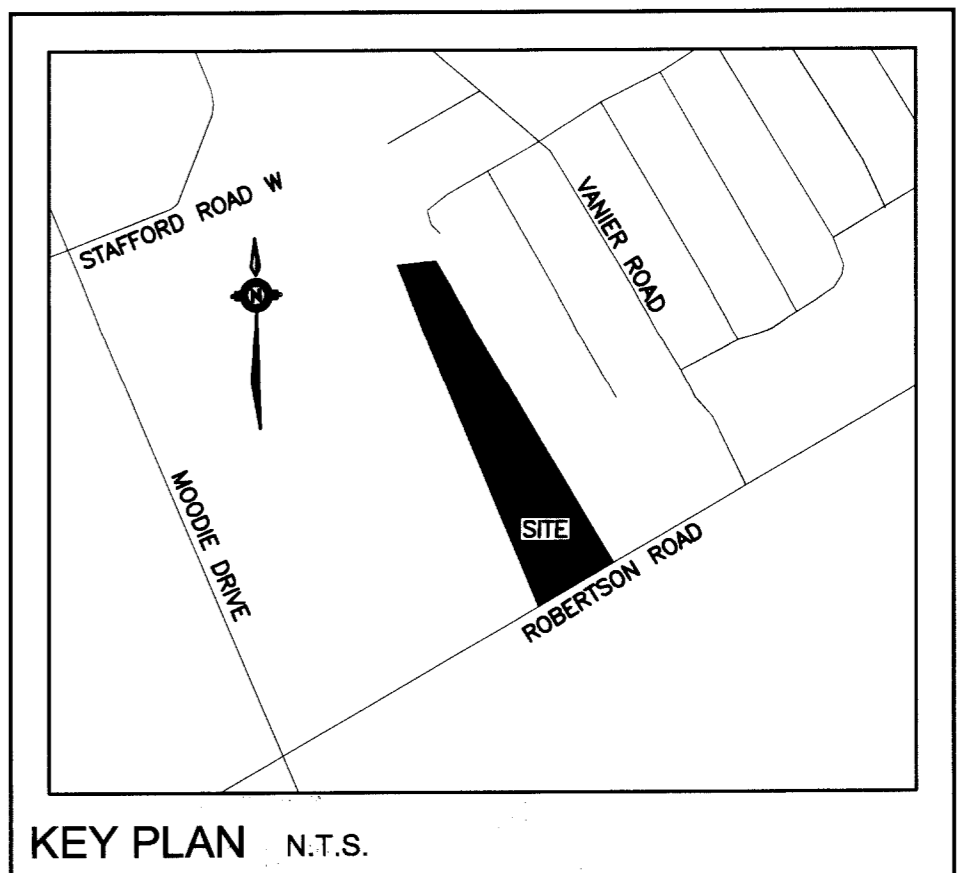
- NOTES: SEWER**
1. CATCHBASINS SHALL BE PRECAST 600 x 600 PER CITY STANDARD S4 WITH FRAME AND COVERS AS PER CITY STANDARD S20.
  2. ALL WORK SHALL BE PERFORMED, AS APPLICABLE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD SPECIFICATIONS, AND IN PARTICULAR, WITH O.P.S.S. 407, AND 410.
  3. ALL MANHOLES, CATCHBASINS TO BE BACKFILLED WITH MIN. 0.3m HORIZ. THICKNESS OF SAND.
  4. ALL SANITARY AND STORM SEWER SERVICES, MATERIAL AND INSTALLATION SHALL CONFORM TO CITY OF OTTAWA STANDARD DRAWINGS AND SPECIFICATIONS.
  5. CONTRACTOR TO VERIFY EXISTING PIPE ELEVATIONS PRIOR TO ANY SEWER CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS WITH EXISTING OR PROPOSED WORKS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
  6. UNLESS OTHERWISE NOTED, SANITARY SERVICE LATERALS TO BUILDINGS SHALL BE 150mm# PVC DR 35 @ MIN 1% SLOPE.
  7. SEWER SERVICE CONNECTIONS TO BE AS PER OPSD 1006.020
  8. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR CONNECTION DETAILS OF THE BUILDING FOUNDATION SUBDRAIN.
  9. SEWER BEDDING AS PER OPSD STD. 802.03 WITH MIN. 150mm GRANULAR 'A' BEDDING COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  10. PERFORM ALL FIELD TESTS, PRESSURE TESTS, INFILTRATION/EXFILTRATION AND CCTV INSPECTIONS AS PER CITY STANDARDS. COMPLETE TESTING, CCTV INSPECTIONS AND ANY REPAIRS REQUIRED PRIOR TO BASE COURSE PAVING.
  11. GEOTEXTILE TO BE INSTALLED BETWEEN FRAME AND COVER UNTIL LANDSCAPING IS COMPLETE.
  12. ALL CBMH FRAMES AND COVERS AS PER OPSD 400.070, ALL SAN AND STM MH FRAMES AND COVERS SHALL BE CLOSED AS PER OPSD 401.01
  13. WHERE DEPTH OF COVER OVER STORM SEWERS IS LESS THAN 1.5m TO OVERTURN INSULATION IS REQUIRED.
  14. 150mm# PERFORATED SUBDRAINS WITH FILTER SOCK TO BE PROVIDED AT SUBGRADE LEVEL EXTENDING FROM EACH CB FOR A DISTANCE OF 3m IN FOUR OTHROGONAL DIRECTIONS.
  15. ALL STORM SEWERS TO BE PVC SDR 35.
  16. ALL SANITARY SEWERS TO BE PVC SDR 35.
  17. HYDRANT TO BE INSTALLED AS PER CITY OF OTTAWA DETAIL W19.

**LEGEND**

	EXISTING GRADE		PROPOSED WATERMAIN
	EXISTING CENTRELINE		PROPOSED SANITARY SEWER
	PROPERTY BOUNDARY		PROPOSED STORM SEWER
	LIMIT OF HAZARD LINE		PROPOSED DEPRESSED CURB AND SIDEWALK
	15m SETBACK		PROPOSED DEPRESSED CURB
	EXISTING FIRE HYDRANT		PROPOSED FIRE HYDRANT
	EXISTING BELL CANADA DUCT BANK		SWALE AND DIRECTION
	EXISTING FENCE		OVERLAD FLOW DIRECTION
	EXISTING CATCH BASIN		DIRECTION OF FLOW AND SLOPE
	EXISTING LAMP STANDARD		TRANSFORMER BOX, PAD AND GROUND GRID
	EXISTING UTILITY POLE		150mm# PERFORATED SUBDRAINS 3m IN LENGTH
	EXISTING TREE		PROPOSED WATER METER
	PROPOSED REAR YARD CB		PROPOSED REMOTE METER
	PROPOSED CATCHBASIN 600mm x 600mm		
	PROPOSED CATCHBASIN MANHOLE 1200mm		
	PROPOSED STORM MANHOLE 1200mm#		
	PROPOSED SANITARY MANHOLE 1200mm#		
	PROPOSED HEAVY DUTY ASPHALT		
	PROPOSED CONCRETE SIDEWALK		
	PROPOSED UNIT PAVERS		



WATERMAIN TABLE			
STATION	FIN. GRADE	T/W GRADE	COMMENT
-0+043.0	90.95	EXISTING	INSTALL NEW 152mm V&VB
0+000	90.30	EXISTING	TVS CONNECT TO EX. 152mm#
0+018.2	90.20	87.80	45° HORIZONTAL BEND
0+021.8	90.40	88.00	45° HORIZONTAL BEND
0+042.8	90.51	88.11	TEE/BUILDING SERVICE
0+050.9	90.22	87.82	HYDRANT LEAD



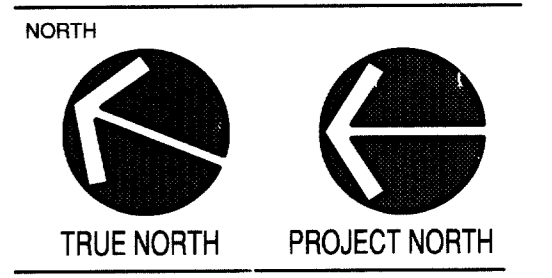
Reviewed by  
Infrastructure Approvals Division  
Signed: *[Signature]*  
Date: Oct 8, 2008  
PLAN No. 15026

NO.	ISSUED	DATE
1	SITE PLAN APPROVAL	APR 22/08
2	BUILDING PERMIT SUBMISSION	JUNE 13/08
3	REBUILT FOR SITE PLAN APPROVAL	JULY 31/08
4	REVISED AS PER MFC COMMENTS	SEPT 08/08
5	NEW SEWER EASEMENTS	SEPT 30, 08

NO.	REVISIONS	DATE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED 'ISSUED FOR CONSTRUCTION'. VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.



**Holiday Inn Express & Suites**

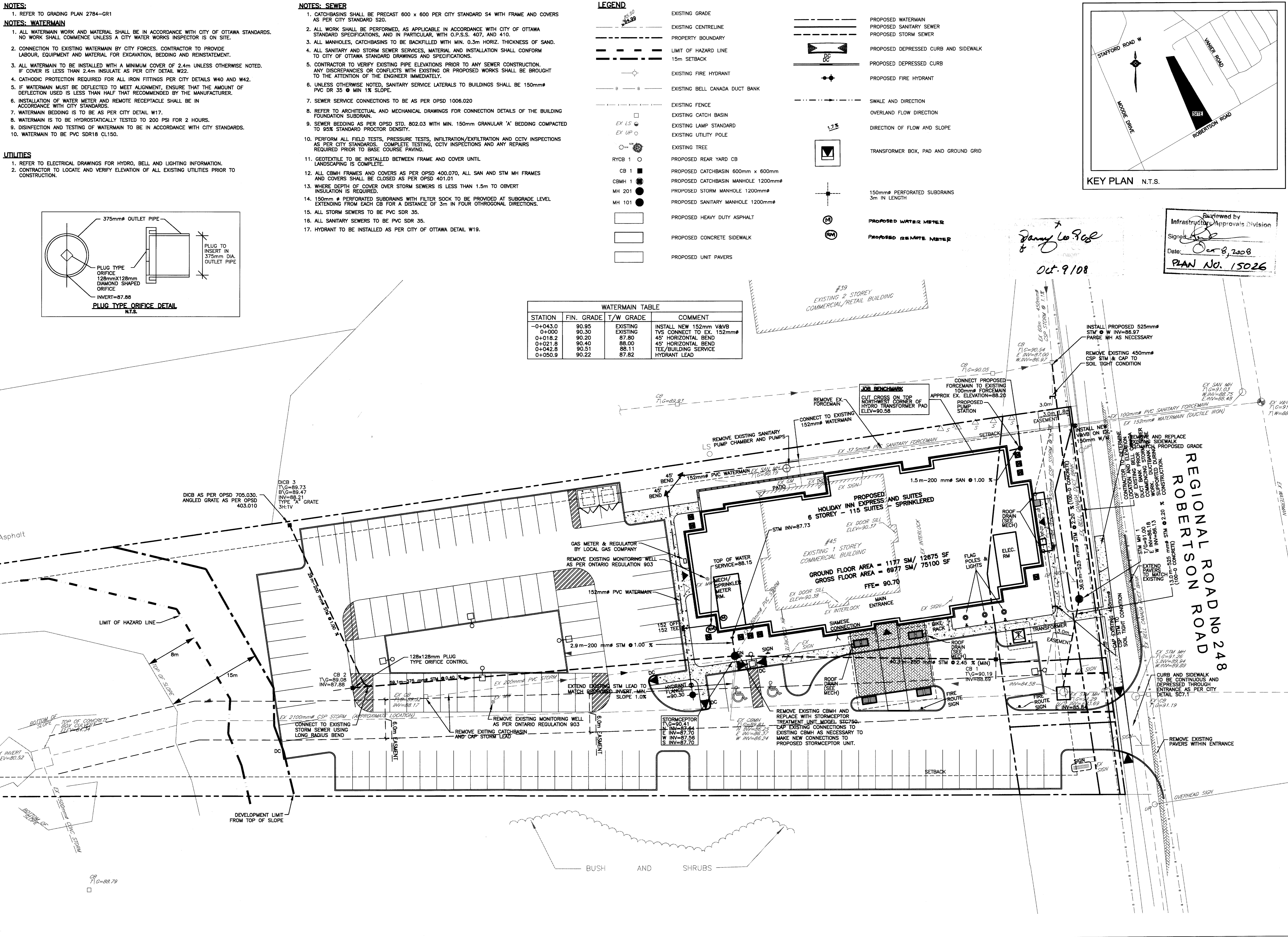
115-ROOM  
6 STOREY HOTEL  
45 ROBERTSTON ROAD  
NEPEAN, ONTARIO

SHEET NAME

**SITE SERVICING PLAN**

START DATE	APRIL 2008
DRAWN BY	MSB
CHECKED BY	MJG
FILE NAME	2784.dwg
PLOT DATE	October/06/08
SCALE	1:250
PROJECT NO.	2784
DRAWING	

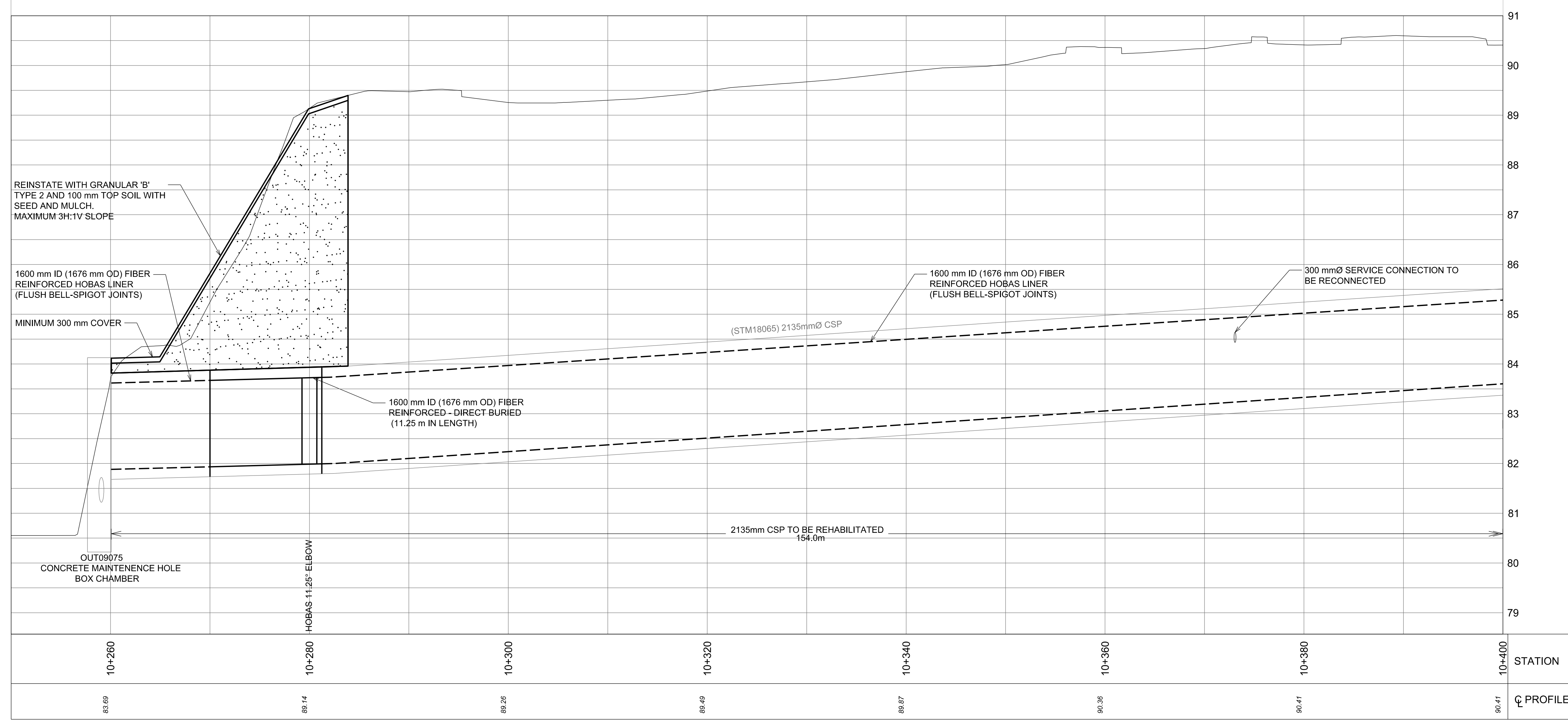
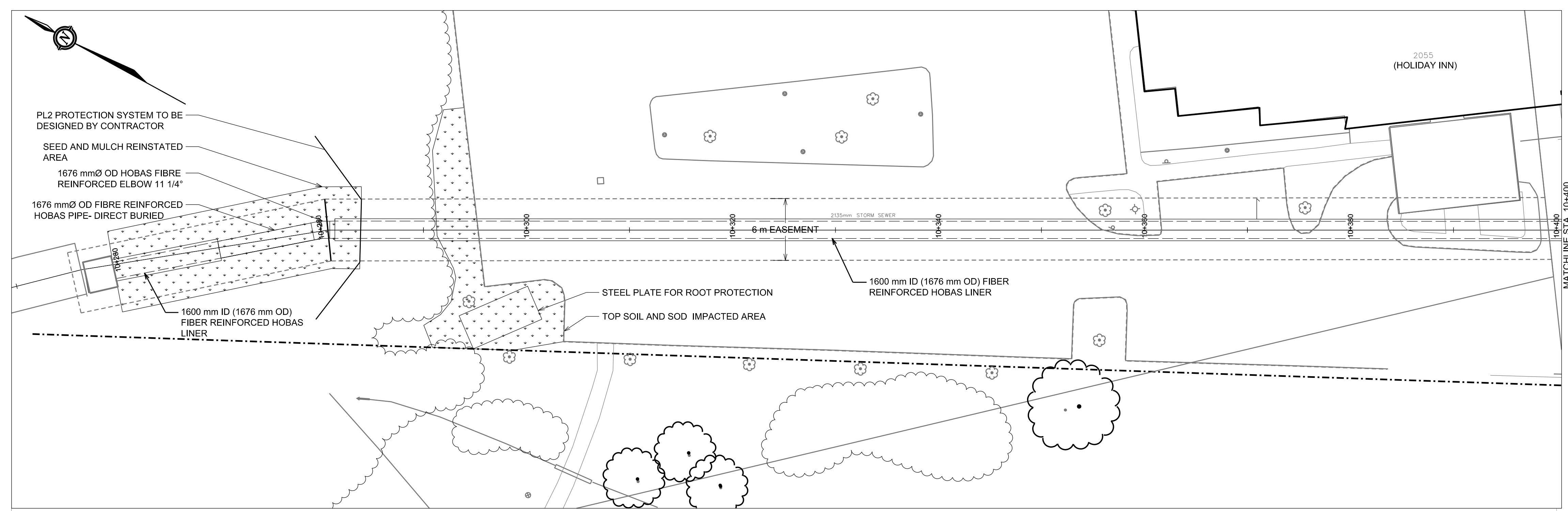
S1

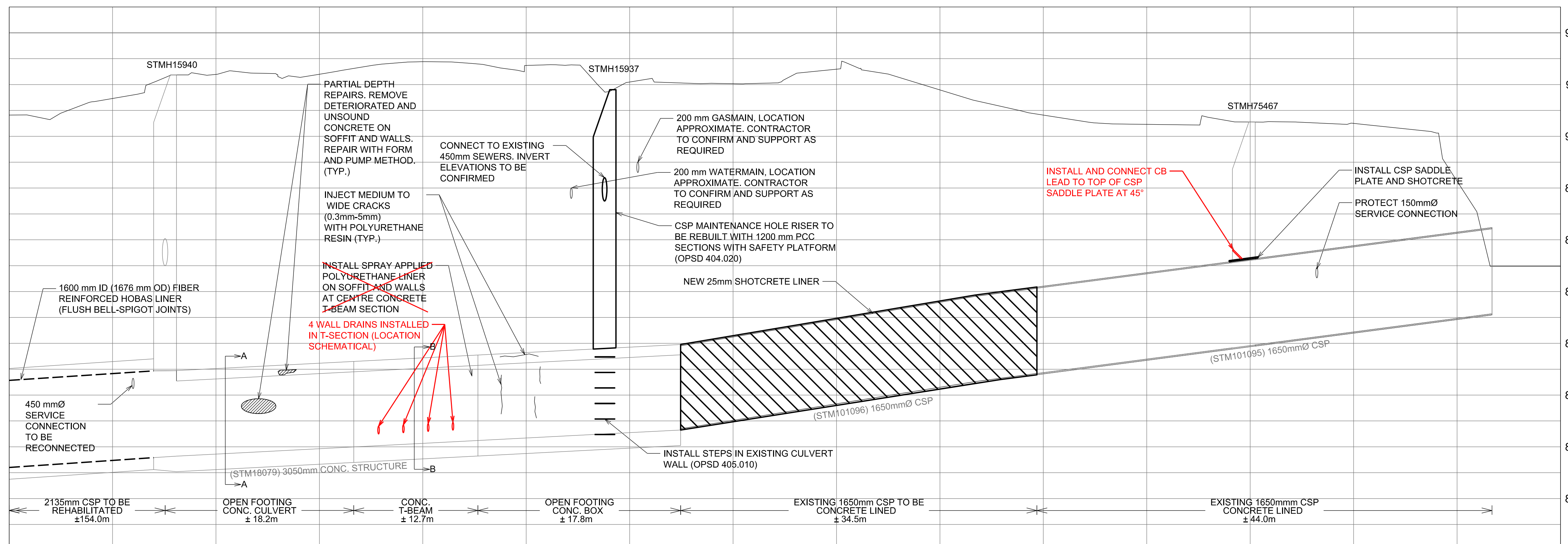
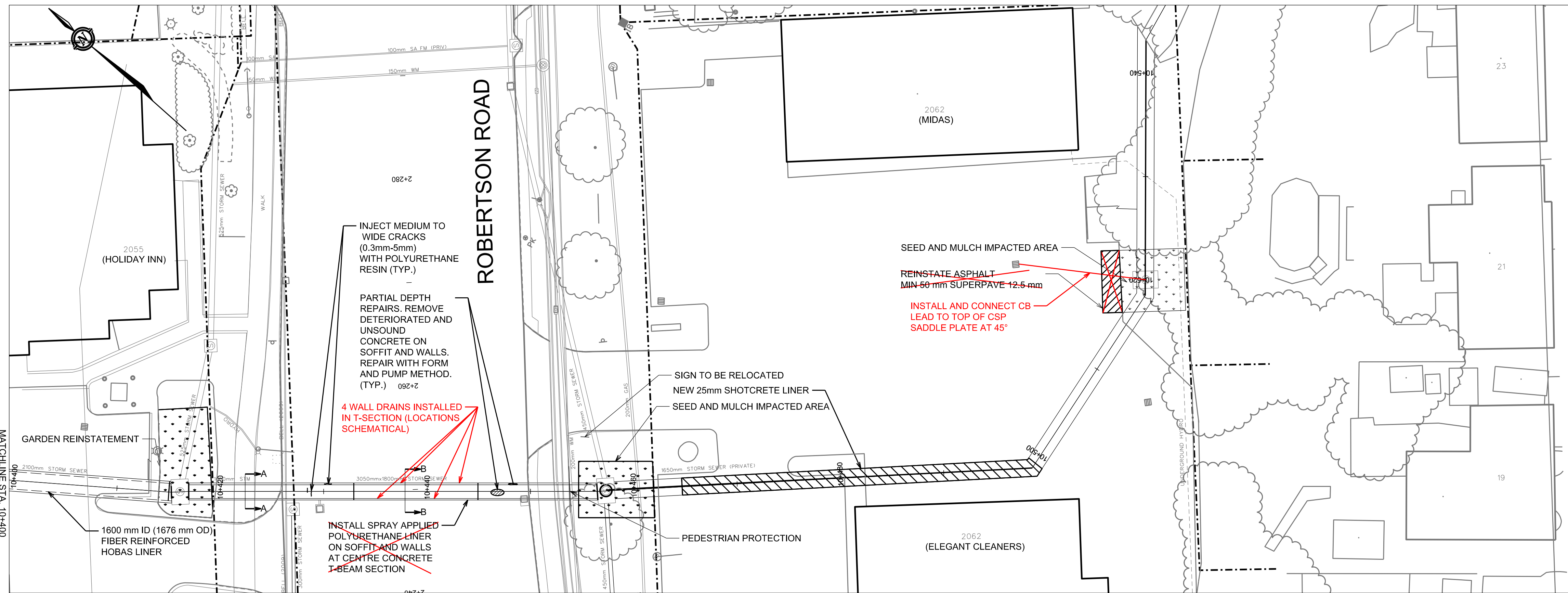


<b>STILLWATER CREEK STORM SEWER REHABILITATION</b>			
<b>PLAN AND PROFILE</b>		Contract No. <b>ISD16-2067</b>	Dwg. No. <b>004</b>
<b>10+240 TO 10+400</b>		Sheet 004 of 007	
Asset No. _____		Asset Group <b>ISD</b>	
ALAIN C. GONTHIER <i>Director</i>	CAROLYN NEWCOMBE <i>Project Manager</i>	<b>McINTOSH PERRY</b> <small>115 Walgreen Road, RR3, Carp, ON K0A 1L0 Tel: 613-836-2184 Fax: 613-836-3742 www.mcintoshperry.com</small>	
Des. D.B.	Chk'd. C.S.	Dwn. J.H.	Chk'd. _____
Utility Circ. No. _____	Index No. _____	Const. Inspector _____	Scale: H 1:250 V 1:50

**NOTE:** The location of utilities is approximate only, the exact location should be determined by consulting the municipal authorities and utility companies concerned. The contractor shall prove the location of utilities and shall be responsible for adequate protection from damage.

No.	Description	By	Date (dd/mm/yy)
2	ISSUED FOR DETAILED DESIGN	D.B.	17/07/17
3	REVISED FOR CITY COMMENTS	D.B.	13/03/18
4	ISSUED FOR TENDER	D.B.	22/06/18
5	ISSUED FOR CONSTRUCTION	D.B.	20/08/18
6	AS-BUILT		28/10/19





10+400	10+420	10+440	10+460	10+480	10+500	10+520	10+540	STATION
90.74	91.20	91.44	91.05	91.30	90.41	90.28	89.13	℄ PROFILE

**STILLWATER CREEK STORM SEWER REHABILITATION**

**PLAN AND PROFILE**

**10+400 TO 10+540**

ALAIN C. GONTHIER (Director) / CAROLYN NEWCOMBE (Project Manager)

**McINTOSH PERRY**  
115 Walgreen Road, RR3, Carp, ON K0A 1L0  
Tel: 613-836-2184 Fax: 613-836-3742  
www.mcintoshperry.com

Contract No. **ISD16-2067** / Div. No. **005**

Sheet **005** of **007**

Asset No. \_\_\_\_\_

Asset Group **ISD**

Des. D.B. / Chk'd. C.S.

Dwn. J.H. / Chk'd. \_\_\_\_\_

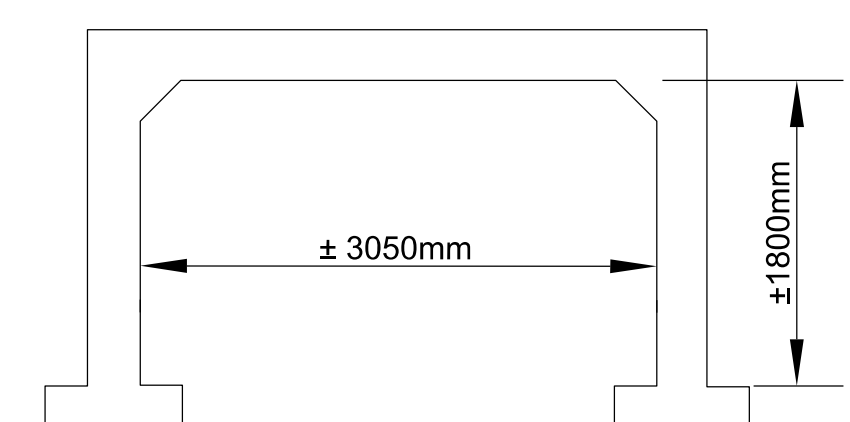
Utility Circ. No. \_\_\_\_\_ / Index No. \_\_\_\_\_

Const. Inspector \_\_\_\_\_

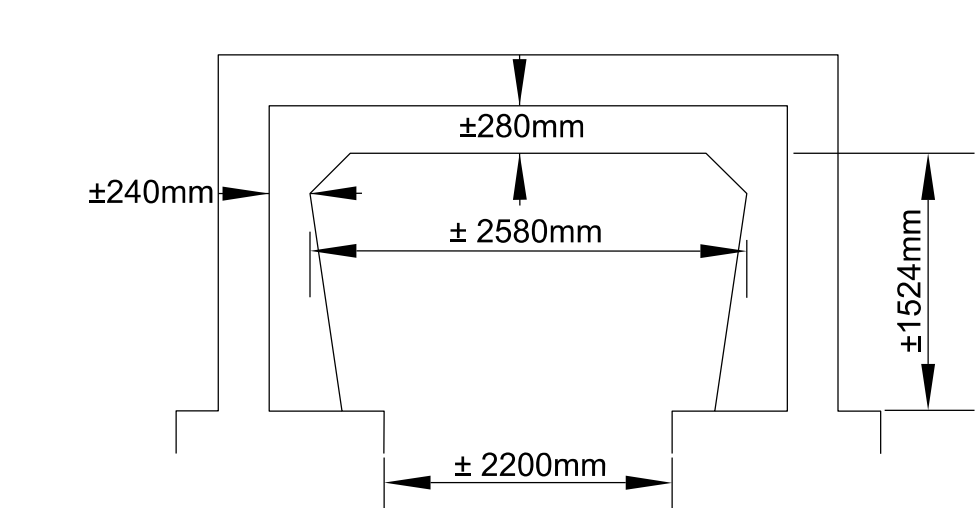
Scale: H 1:250 / V 1:50

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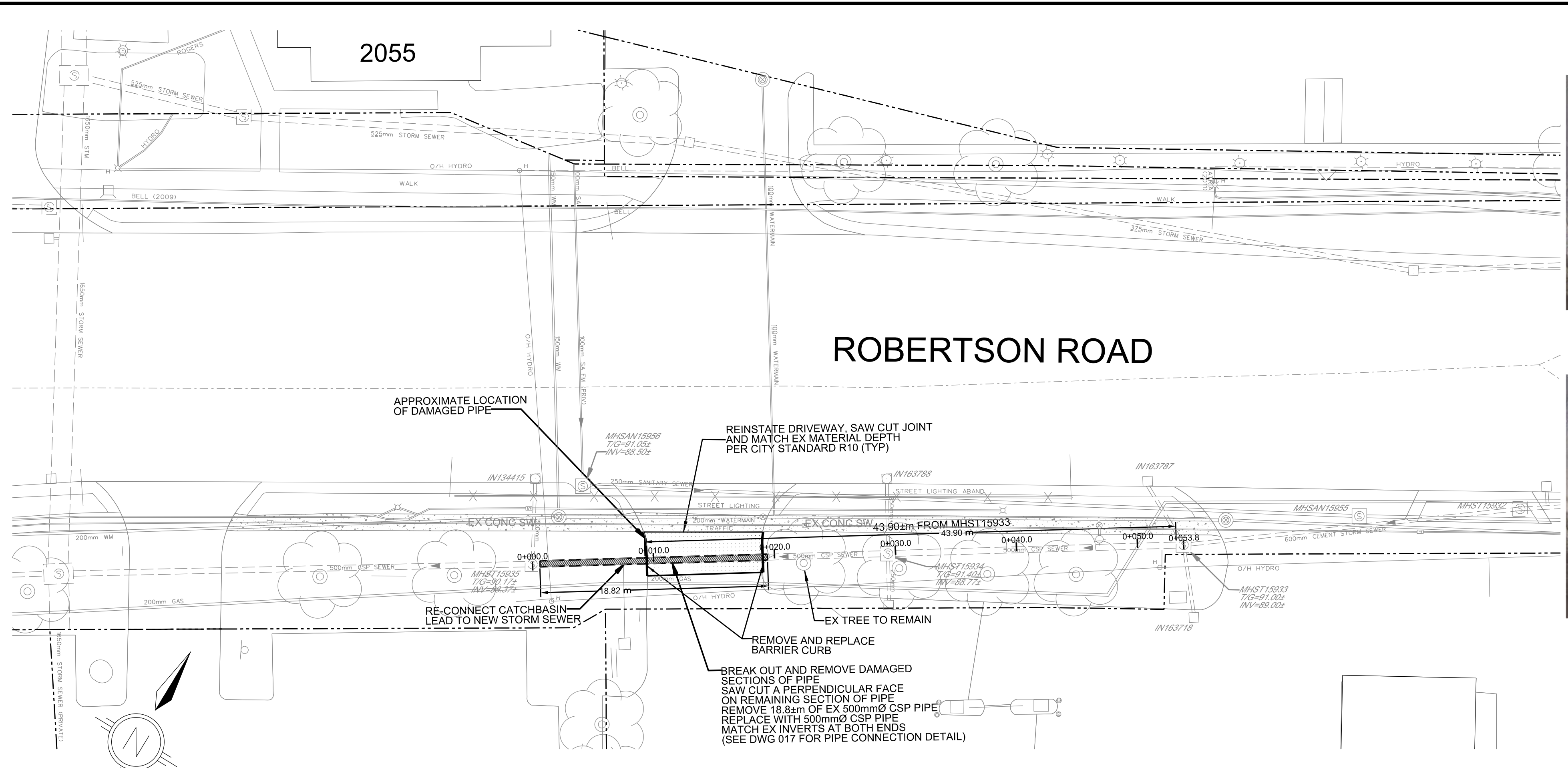
No.	Description	By	Date (dd/mm/yy)
2	ISSUED FOR DETAILED DESIGN	D.B.	17/07/17
3	REVISED FOR CITY COMMENTS	D.B.	13/03/18
4	ISSUED FOR TENDER	D.B.	22/06/18
5	ISSUED FOR CONSTRUCTION	D.B.	20/08/18
6	AS-BUILT		28/10/19



**SECTION A-A**  
N.T.S.



**SECTION B-B**  
N.T.S.



**2021 PIPE REPAIRS  
SITE NO. 8  
ROBERTSON ROAD**

**REMOVAL, REPAIR & REINSTATEMENT  
BETWEEN MOODIE DR AND RICHMOND RD  
STM18082**

Contract No. CP000671 Dwg. No. 009  
Sheet 9 of 17

Asset No. \_\_\_\_\_  
Asset Group \_\_\_\_\_

Carina Duclos, P.Eng. Director  
Josée Vallée, P.Eng. Project Manager

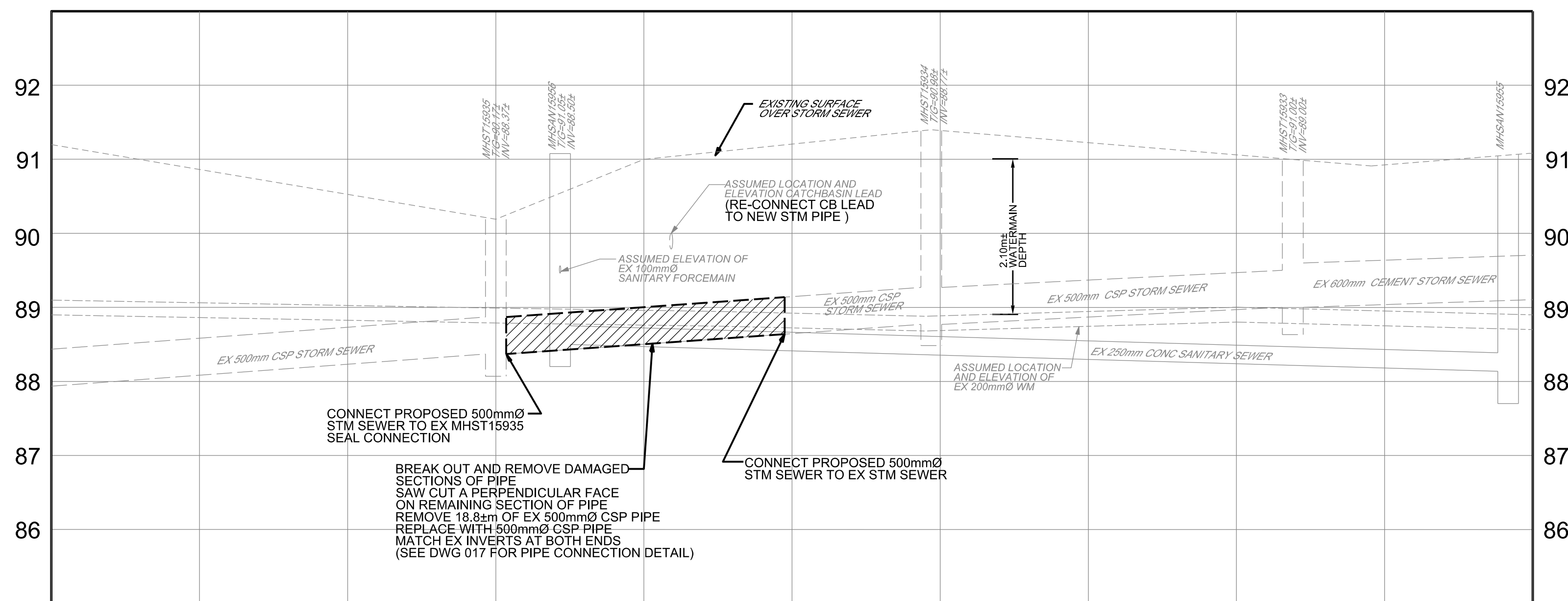
**Ainley**  
2724 Fenton Road  
Ottawa, Ontario  
K1T 3T7  
Telephone: (613) 822-1052  
Fax: (613) 822-1573

**AS CONSTRUCTED**

Scale: HORIZONTAL  
0m 2.5 5.0 10.0  
VERTICAL  
0m 1.0 2.0

**NOTE:** The location of utilities is approximate only, the exact location should be determined by consulting the municipal authorities and utility companies concerned. The contractor shall prove the location of utilities and shall be responsible for adequate protection from damage.

No.	Description	By	Date (dd/mm/yy)
1	ISSUED FOR FINAL UTILITY CIRCULATION	JX	27/06/22
2	ISSUED FOR DETAILED DESIGN	JX	09/12/22
3	ISSUED FOR TENDER	JX	03/02/23
4	ISSUED FOR CONSTRUCTION	JX	04/04/23
5	AS BUILT	JX	17/11/23



PROFILE	TOP OF WATERMAIN	STORM INVERT	SAN. INVERT	STATION
				0+020.0
				0+010.0
		88.37±		0+000.0
				0+010.0
				0+020.0
				0+029.0
				0+030.0
				0+040.0
				0+050.0
				0+060.0
				0+070.0

**NOTES: SEWER**

1. UNDERTAKE PRE AND POST CCTV INSPECTIONS AS PER CITY STANDARD F-4090
2. LOCATE REPAIR SECTION AND PAINT WORK AREA LIMITS FOR UTILITY LOCATES.
3. OBTAIN UTILITY LOCATES FOR REPAIR/REPLACEMENT SECTION BEFORE STARTING EXCAVATION WORK.
4. OBTAIN ROAD CUT PERMIT FROM CITY.
5. SAW CUT EXISTING ASPHALT PAVEMENT OF SUITABLE DIMENSIONS TO UNDERTAKE REPAIR WORK.
6. EXCAVATED SOILS ARE NOT TO BE REUSED WITHIN 30m OF WATER COURSE.
7. CUT EXISTING PIPE SECTION TO CLEAN/TRUE VERTICAL LINE.
8. REMOVE AND DISPOSE OF DAMAGED PIPE SECTIONS.
9. ALL STORM AND SANITARY SEWERS ARE TO BE THE SIZE AND MATERIAL INDICATED.
10. COVER MATERIAL FROM PIPE SPRING LINE TO AT LEAST 300mm ABOVE THE TOP OF PIPE, SHOULD CONSIST OF OPSS GRANULAR "A" COMPACTED TO 95% SPMD.
11. SEWER TRENCH DETAILS ARE TO BE AS PER CITY STANDARD S6 & S7.
12. PIPE SECTION FOR REPLACEMENT SHALL HAVE A SAW CUT HORIZONTAL JOINT CONNECTION TOLERANCE OF NO GREATER THAN 50mm.
13. GRANULAR A BEDDING SHALL BE SHAPED TO ACCOMMODATE PIPE COUPLERS AT THE ENDS OF THE SEWER SPOT REPAIR.
14. PIPE JOINT COUPLERS SHALL BE CITY APPROVED PRODUCT FROM FERNCO OR MISSION WITH 316SS CLAMPING BANDS.
15. SALVAGED GRANULAR AND EARTH MATERIALS SHALL BE USED FOR BACKFILL OF EXCAVATION TO ROAD SUBGRADE.
16. THE ROAD STRUCTURE SHALL BE REINSTATED TO MATCH EXISTING MATERIAL TYPES AND THICKNESSES. COMPACT ROAD GRANULAR STRUCTURE MATERIALS TO 100% SPMD.
17. ASPHALT MIX AND PLACEMENT SHALL COMPLY WITH CITY STANDARDS ; F-3104, F-3106 & F-3030.
18. CURBS, GUTTERS, SIDEWALKS, PATHWAYS AND RELATING GRANULAR BEDDING AND ADJACENT GRASSED OR ASPHALT AREAS SHALL BE REINSTATED TO MATCH EXISTING ADJACENT MATERIAL IN TYPE AND THICKNESS.

**NOTES: GENERAL**

1. ALL WORK IN ACCORDANCE WITH CURRENT CITY OF OTTAWA STANDARDS AND SPECIFICATIONS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE VIA EXCAVATION THE EXACT LOCATION AND ELEVATION OF THE EXISTING WATERMANS, STORM SEWER, SANITARY SEWER AND SERVICE LATERALS AS REQUIRED FOR ALL CONNECTIONS, RELOCATIONS AND BLANKINGS.
  3. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CONTRACT ADMINISTRATOR PRIOR TO ALL WORKS ON PRIVATE ADJACENT PROPERTIES.
  4. GEOTECHNICAL INFORMATION IF SHOWN ON THE DRAWINGS IS FOR INFORMATION PURPOSES ONLY.
  5. THE CONTRACTOR SHALL REPLACE ANY SERVICE CONNECTION THAT ARE DAMAGED BY THE CONSTRUCTION ACTIVITIES. REPLACE SEWER LATERALS AND WATER SERVICE LATERALS AS REQUIRED WITHIN THE EXCAVATION LIMITS ONLY.
  6. PROTECT WATERMAIN AND SERVICE CONNECTIONS AT ALL TIMES, DURING CONSTRUCTION ACTIVITIES.
  7. EXISTING TREES ARE TO BE PRESERVED AND PROTECTED DURING THE CONSTRUCTION AND REINSTATEMENT ACTIVITIES.
  8. LAP JOINTS AT ALL LIMITS OF CONSTRUCTION AS PER CITY STANDARD R10
  9. WHERE EXISTING LANDSCAPING IS DISTURBED BY CONSTRUCTION, IT SHALL BE REINSTATED TO MATCH EXISTING CONDITIONS OR BETTER AS DIRECTED BY THE CONTRACT ADMINISTRATOR.
- FOR LAWN AREAS, REINSTATE WITH SEED OVER 100mm TOPSOIL (IMPORTED)  
 - FOR ENTRANCES, REINSTATE TO MATCH EXISTING ASPHALT (MINIMUM DEPTHS 50mm HL3A, 150mm GRANULAR "A")  
 - FOR CONCRETE OR BRICK PAVERS REINSTATEMENT ON DRIVEWAYS OR SIDEWALKS SHALL HAVE 150mm GRANULAR A, LEVELLING STONE DUST LAYER AND POLYMERIC SAND IN THE JOINTS.

## Appendix F – Drawings

**Topographical Survey**

**Architectural Plans**

**C000 - Notes & Details**

**C001 - Existing Conditions and Removals Plan**

**C100 - Site Servicing Plan**

**C200 - Site Grading Plan**

**C300 - Erosion and Sediment Control Plan**

**C400 – Pre-Development Storm Catchments**

**C500 - Post-Development Storm Catchments**

**PART OF BLOCK 'A'**  
**REGISTERED PLAN 4M-65**  
**CITY OF OTTAWA**

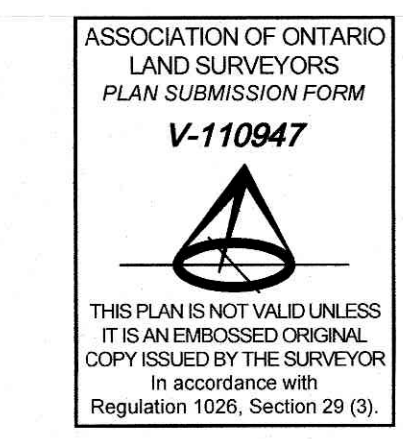
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:200  
0 2.0 4.0 6.0 8.0 Metres

Metric  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate  
I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act and the regulations made under them.  
2. The survey was completed on the 26th day of August, 2025.

August 29, 2025  
Date  
Mel Arslan  
Ontario Land Surveyor



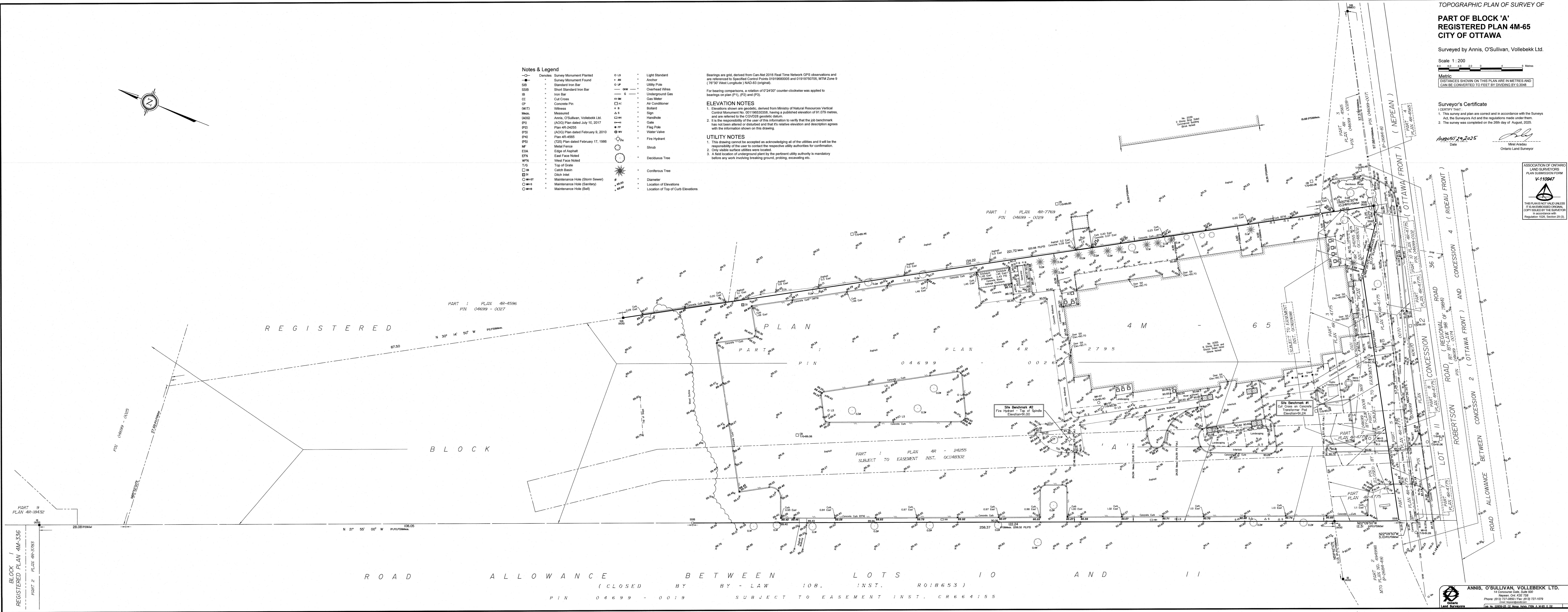
**Notes & Legend**

—○—	Denotes Survey Monument Found	○ LS	Light Standard
—■—	Survey Monument Found	— AN	Anchor
SIB	Standard Iron Bar	○ UP	Utility Pole
SSIB	Short Standard Iron Bar	— OW	Overhead Wires
IB	Iron Bar	— G	Underground Gas
CC	Cut Cross	— GM	Gas Meter
CP	Concrete Pin	— AC	Air Conditioner
(WIT)	Witness	○ S	Sign
Mes.	Measured	— AS	Sign
(AOG)	Annis, O'Sullivan, Vollebek Ltd. (AOG) Plan dated July 10, 2017	— H	Handhole
(P1)	Plan 4R-24255	— G	Gate
(P2)	(AOG) Plan dated February 9, 2010	— FP	Flag Pole
(P3)	Plan 4R-4565	— WV	Water Valve
(P4)	(AOG) Plan dated February 17, 1996	— FH	Fire Hydrant
(P5)	Metal Fence	— SH	Shrub
EOA	Edge of Asphalt	— DT	Deciduous Tree
EFN	East Face Noted	— CT	Coniferous Tree
WFN	West Face Noted	— D	Diameter
T/G	Top of Grate	— LE	Location of Elevations
CB	Catch Basin	— CE	Location of Top of Curb Elevations
DI	Ditch Inlet		
—MH—ST	Maintenance Hole (Storm Sewer)		
—MH—S	Maintenance Hole (Sanitary)		
—MH—B	Maintenance Hole (Bell)		

Bearings are grid derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 0191988005 and 0191975075, MTM Zone 9 (78°30' West Longitude) NAD-83 (original).  
For bearing comparisons, a rotation of 0°24'00" counter-clockwise was applied to bearings on plan (P1), (P2) and (P3).

**ELEVATION NOTES**  
1. Elevations shown are geoidic, derived from Ministry of Natural Resources Vertical Control Monument No. 00119653038, having a published elevation of 81.079 metres, and are referred to the CGVD28 geoidic datum.  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**UTILITY NOTES**  
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.  
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.



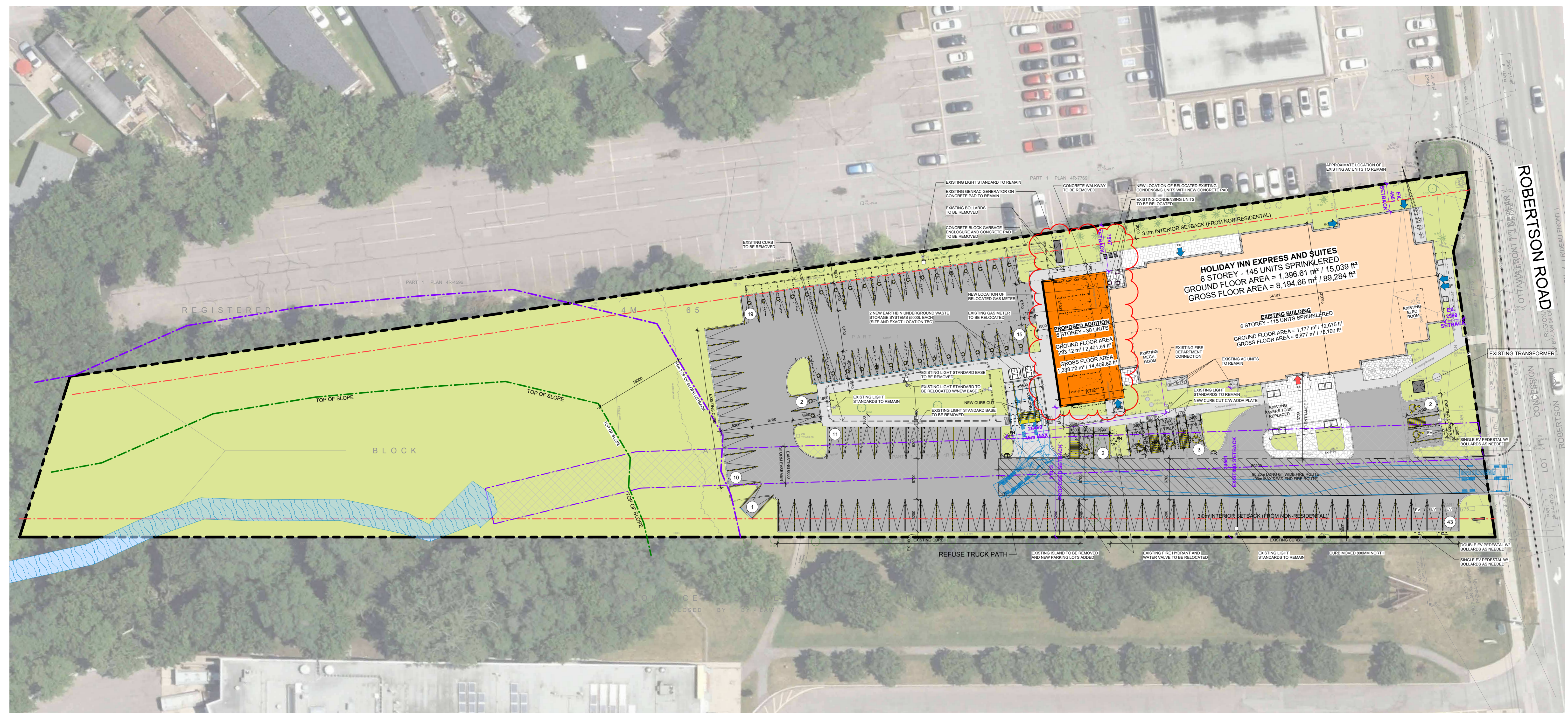
BLOCK 1  
REGISTERED PLAN 4M-336  
PART 2 PLAN 4R-3783

ROAD ALLOWANCE BETWEEN LOTS 10 AND 11  
(CLOSED BY BY-LAW 10B, INST. R018653)  
PIN 04699-0019 SUBJECT TO EASEMENT INST. CR664155

NO.	ISSUED	DATE
	CLIENT REVIEW	2025-01-28
	CITY REVIEW	2025-06-02
	COORDINATION	2025-06-23
	COORDINATION	2025-10-03
	BRAND REVIEW 10%	2025-10-03
	COORDINATION	2025-11-03
	COORDINATION	2025-11-08
	COORDINATION	2025-11-20

DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.  
CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.  
CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. MARKING AND/OR CHANGES TO PLAN AND ELEVATION NEEDS SHALL AVOID COPYRIGHT INFRINGEMENT. INNOCENT INFRINGEMENT IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

CLIENT  
**Owner**  
SEAL



**45 ROBERTSON ROAD, NEPEAN, ON**  
AM ZONE (ARTERIAL MAIN STREET ZONE)  
ZONING BY-LAW 2008-250

**ZONE REGULATIONS**  
MIN LOT AREA: NO MINIMUM  
MIN LOT WIDTH: NO MINIMUM  
FRONT YARD: NO MINIMUM  
INTERIOR YARD: 3.0m  
REAR YARD: NO MINIMUM  
MAX BUILDING HEIGHT: 30m MAX OR 9 STOREYS  
MAX FSI: NO MAX

**PARKING REGULATIONS**  
TYPICAL: 2.5m x 5.2m MINIMUM  
ACCESSIBLE TYPE A: 3.4m x 5.2m MINIMUM  
ACCESSIBLE TYPE B: 2.4m x 5.2m MINIMUM  
DRIVE AISLE: 6.7m MINIMUM  
QUANTITY: 1 PER UNIT  
ACCESSIBLE: 134-166 SPACES REQUIRED = 6 ACC. SPACES (3 TYPE A, 3 TYPE B)

**LOADING REGULATIONS**  
SIZE: 3.5m x 7.0m  
QUANTITY: 5000-9999m<sup>2</sup> - 2 SPACES

**GENERAL NOTES**  
PARKING DEPTH TO BE ADJUSTED FROM 6.0m TO 5.2m IN ACCORDANCE TO OTTAWA ZONING BY-LAW SECTION 106  
DRIVE AISLES TO BE ADJUSTED FROM 6.0m TO 6.7m IN ACCORDANCE TO OTTAWA ZONING BY-LAW SECTION 107

PROPOSED CURBS  
EXISTING CURBS

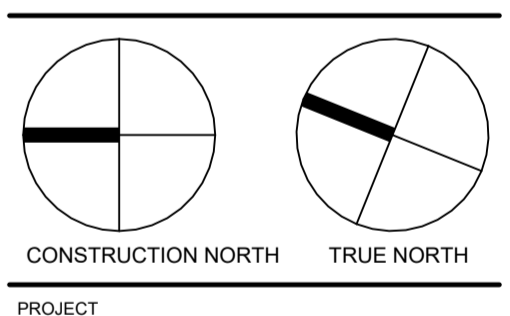
EXISTING UNIT SCHEDULE	
Name	Count
EXTG. ACC DOUBLE QUEEN	5
EXTG. ACC KING	5
EXTG. ACC KING SUITE	2
EXTG. DOUBLE QUEEN EXTENDED	10
EXTG. DOUBLE QUEEN SUITE EXTENDED	18
EXTG. KING	30
EXTG. KING JACUZZI	5
EXTG. KING SHOTGUN SUITE	30
EXTG. KING SUITE	10
TOTAL	115

PROPOSED UNIT SCHEDULE	
Name	Count
ACC DOUBLE QUEEN	5
DOUBLE QUEEN	19
DOUBLE QUEEN SUITE	6
TOTAL	30

SITE STATISTICS			
DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
<b>BUILDING FOOTPRINT</b>			
BUILDING FOOTPRINT	1,401.47 m <sup>2</sup>	15,085 ft <sup>2</sup>	13.9%
FOOTPRINT	1,401.47 m <sup>2</sup>	15,085 ft <sup>2</sup>	13.9%
<b>HARD LANDSCAPE</b>			
ASPHALT	2,840.90 m <sup>2</sup>	30,579 ft <sup>2</sup>	28.1%
CURB	79.51 m <sup>2</sup>	856 ft <sup>2</sup>	0.8%
LOOSE STONE	23.56 m <sup>2</sup>	254 ft <sup>2</sup>	0.2%
PAVER	203.20 m <sup>2</sup>	2,187 ft <sup>2</sup>	2.0%
SIDEWALK	455.00 m <sup>2</sup>	4,898 ft <sup>2</sup>	4.5%
SIDEWALK	3,602.17 m <sup>2</sup>	38,773 ft <sup>2</sup>	35.7%
<b>SOFT LANDSCAPE</b>			
LANDSCAPE	5,091.33 m <sup>2</sup>	54,803 ft <sup>2</sup>	50.4%
LANDSCAPE	5,091.33 m <sup>2</sup>	54,803 ft <sup>2</sup>	50.4%
OVERALL SITE	10,094.06 m <sup>2</sup>	108,667 ft <sup>2</sup>	100.0%

PROPOSED PARKING SCHEDULE		
TYPE	DESCRIPTION	COUNT
PROPOSED		
ACCESSIBLE - TYPE A	5.2m X 3.4m	3
ACCESSIBLE - TYPE B	5.2m X 2.4m	3
COMPACT	4.6m x 2.4m	36
STANDARD	5.2m x 2.6m	66
PROPOSED: 108		108
REQUIRED PARKING		108
1 PER UNIT x 145 UNITS = 145 PARKING SPACES REQUIRED (6 SPACES TO BE ACCESSIBLE (INCLUDED IN TOTAL))		



**NEPEAN HOLIDAY INN EXPRESS RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**SITE PLAN**

START DATE: JANUARY 2025  
DRAWN BY: MW/HK  
CHECKED BY: LC  
SCALE: 1 : 300  
PROJECT NO: 125009

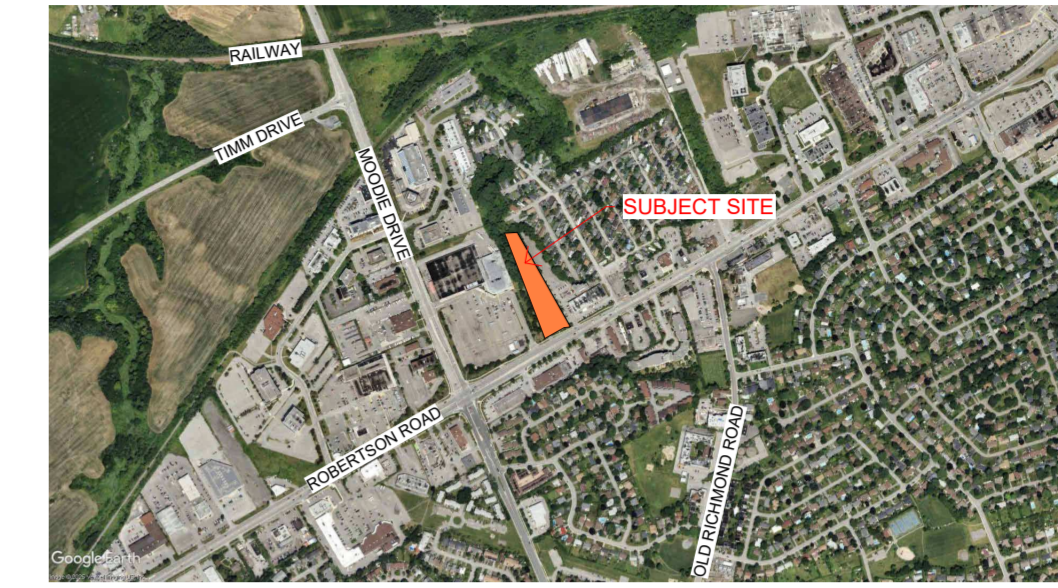
**A001**

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# NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

## KEY PLAN



## LIST OF CONSULTANTS

### ARCHITECT



#### CHAMBERLAIN ARCHITECT SERVICES LIMITED

4671 Palladium Way (Unit 1)  
Burlington, Ontario. L7M 0W9

Phone: 905.631.7777  
Contact: Jon McGinn x 273

### CIVIL

#### EXP

1266 South Service Road, Suite C1-1  
Hamilton, ON. L8E 5R9

Phone: 613.688.1899  
Contact: Aaditya Jariwala x 63240

### STRUCTURAL

#### MTE Consultants Inc

1016 Sutton Drive, Unit A,  
Burlington, Ontario L7L 6B8

Phone: 905.639.2552 Ext. 2428  
Contact: Jordan Del Conte  
Email: JDelConte@mte85.com

### MECHANICAL & ELECTRICAL

#### Jain Sustainability Consultants Inc.

7405 East Danbro Crescent  
Mississauga, ON. L5N 6P8

Phone: 905.285.9900  
Fax: 905.567.5246  
Contact: Dinesh Jain  
Email: djain@jainconsultants.com

## LIST OF DRAWINGS

ARCHITECTURAL	
A000	COVER SHEET
A001	SITE PLAN
A001a	SITE PLAN DETAILS
A002	OBC MATRIX/WALL TYPES/NOTES/LEGEND
A003	FIRE SEPARATION PLANS
A100	FLOOR PLANS
A105	ROOF PLAN & DETAILS
A110a	REFLECTED CEILING DEMOLITION PLANS
A110b	PROPOSED REFLECTED CEILING PLANS
A120	FOUNDATION EDGE OF SLAB
A121	LEVEL 2/4 TYPICAL FLOOR EDGE OF SLAB
A122	ROOF EDGE OF SLAB
A201	EXTERIOR ELEVATION I
A202	EXTERIOR ELEVATION II
A301	BUILDING SECTIONS
A302	CEILING DETAILS
A601	WINDOW AND DOOR SCHEDULES
A700	TYPICAL BARRIER FREE DETAILS
A701	ENLARGED SUITE'S FLOOR PLAN
A702	ENLARGED SUITE'S FLOOR PLAN
A703.1	ENLARGED SUITE - EXISTING KING PARTITION, POWER & BLOCKING
A703.2	ENLARGED SUITE - EXISTING KING FF&E, FINISH PLAN & ELEVATIONS
A704.1	ENLARGED SUITE - EXISTING ACC. KING SUITE PARTITION, POWER & BLOCKING
A704.2	ENLARGED SUITE - EXISTING ACC. KING SUITE FF&E, FINISH PLAN & ELEVATIONS
A705.1	ENLARGED SUITE - EXISTING KING SHOTGUN SUITE PARTITION, POWER & BLOCKING
A705.2	ENLARGED SUITE - EXISTING KING SHOTGUN SUITE FF&E, FINISH PLAN & ELEVATIONS
A705.3	ENLARGED SUITE - EXISTING KING SHOTGUN SUITE FF&E, FINISH PLAN & ELEVATIONS
A706.1	ENLARGED SUITE - EXISTING QQ EXTENDED PARTITION, POWER & BLOCKING
A706.2	ENLARGED SUITE - EXISTING QQ EXTENDED FF&E, FINISH PLAN & ELEVATIONS
A707.1	ENLARGED SUITE - EXISTING KING JACUZZI PARTITION, POWER & BLOCKING
A707.2	ENLARGED SUITE - EXISTING KING JACUZZI FF&E, FINISH PLAN & ELEVATIONS
A708.1	ENLARGED SUITE - EXISTING QQ EXTENDED SUITE PARTITION, POWER & BLOCKING
A708.2	ENLARGED SUITE - EXISTING QQ EXTENDED SUITE FF&E, FINISH PLAN & ELEVATIONS
A709.1	ENLARGED SUITE - EXISTING KING SUITE PARTITION, POWER & BLOCKING
A709.2	ENLARGED SUITE - EXISTING KING SUITE FF&E, FINISH PLAN & ELEVATIONS
A710.1	ENLARGED SUITE - EXISTING ACC. QQ PARTITION, POWER & BLOCKING
A710.2	ENLARGED SUITE - EXISTING ACC. QQ FF&E, FINISH PLAN & ELEVATIONS
A711.1	ENLARGED SUITE - EXISTING ACC. KING PARTITION, POWER & BLOCKING
A711.2	ENLARGED SUITE - EXISTING ACC. KING FF&E, FINISH PLAN & ELEVATIONS
A712	ENLARGED SUITE - NEW QQ FF&E, FINISH PLAN & ELEVATIONS
A713	ENLARGED SUITE - NEW QOS FF&E, FINISH PLAN & ELEVATIONS
A714	ENLARGED SUITE - NEW ACC. QQ FF&E, FINISHES PLAN & ELEVATIONS
A715	ENLARGED SUITE - WASHROOMS
A716	ENLARGED SUITE - WASHROOMS
INTERIOR DESIGN	
ID100	GROUND FLOOR REFERENCE PLANS
ID101	TYPICAL FLOOR REFERENCE PLANS
ID102	GROUND FLOOR PUBLIC AREA FURNITURE, POWER & FINISH PLANS PART I
ID103	GROUND FLOOR PUBLIC AREA FURNITURE, POWER & FINISH PLANS PART II
ID104	GROUND FLOOR PUBLIC AREA FURNITURE, POWER & FINISH PLANS PART III
ID105	TYPICAL FLOOR PUBLIC AREA PROPOSED FINISH PLAN
ID200	GROUND & TYPICAL FLOOR PUBLIC AREA ELEVATIONS
ID201	GROUND FLOOR PUBLIC AREA ELEVATIONS
ID202	GROUND & TYPICAL FLOOR PUBLIC AREA & WASHROOMS ELEVATIONS
ID500	GROUND FLOOR MILLWORK DETAILS - GREAT ROOM HOOP FEATURE
ID501	GROUND FLOOR MILLWORK DETAILS - MARKET & BUSINESS CENTRE
ID502	GROUND FLOOR MILLWORK DETAILS - CHECK-IN & RECEPTION DESK
ID503	GROUND FLOOR MILLWORK DETAILS - ACC. VANITY, BREAKFAST & MISCELLANEOUS
ID504	MILLWORK DETAILS - GUEST ROOM & GUEST BATHS
ID505	FLOOR FINISH TRANSITION DETAILS

## SUBMITTAL SCHEDULE

ITEM	REQD	STAMP	NOTES
1	YES		OTHER
2	YES	YES	OTHER
3			
4			
5			

THE ABOVE ITEMS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO PURCHASING OR FABRICATION.

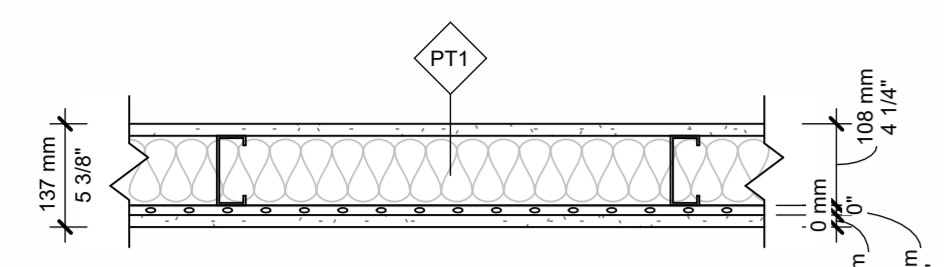
PROJECT NO. 125009

NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 - RENO

ISSUED FOR  
COORDINATION  
COORDINATION

DATE  
2025-10-01  
2025-11-03

## PARTITION TYPES

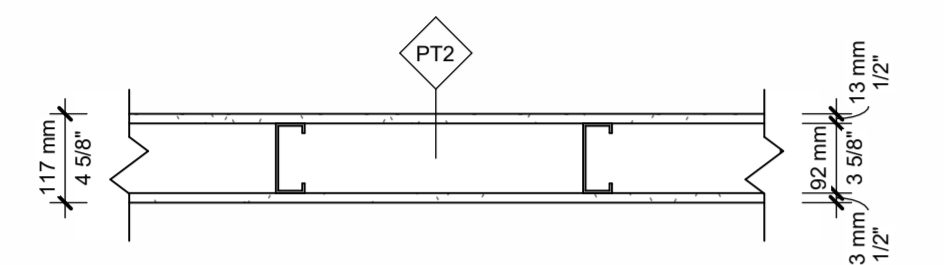


**PT1 - TYPICAL 1 HR. FRR - STC55**

DEMISING WALL BETWEEN GUESTROOMS & BETWEEN GUESTROOM & CORRIDOR

1HR. F.R.R. ULC DESIGN NO. W453  
SOUND TEST RAL-TL83-216, STC 54 (MIN. STC 50)

- 5/8" FIRE RATED GYPSUM BOARD SCREW ATTACHED TO CHANNEL, JOINTS STAGGERED & FINISHED. PERIMETER CALKED AND SEALED.
- 3" SOUND ATTENUATION FIRE BLANKETS BY THERMAFIBER (SAFB) 25" WIDE CREAISED TO FIT
- 3/8" STEEL STUDS @ 24" O/C
- 1/2" RESILIENT CHANNEL @ 24" O/C SCREW ATTACHED TO STUDS
- 5/8" FIRE RATED GYPSUM BOARD SCREW ATTACHED TO CHANNEL, JOINTS STAGGERED & FINISHED. PERIMETER CALKED AND SEALED.



**PT2 - GUESTROOM INTERIOR PARTITION WALL**

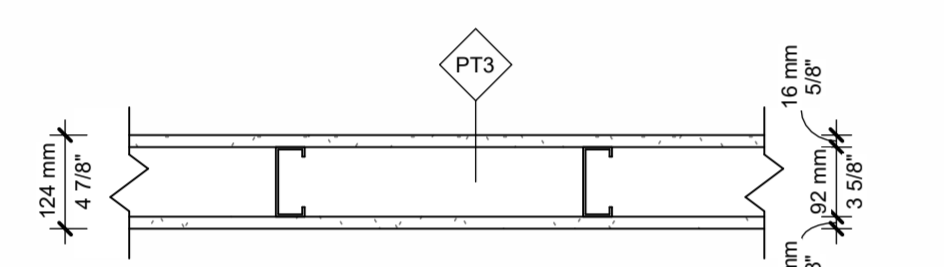
- 1/2" GYPSUM BOARD
- 3/8" STEEL STUDS @ 16" O/C
- 1/2" GYPSUM BOARD

**PT2a - GUESTROOM FURRING WALL**

SAME AS PT2 BUT GYPSUM BOARD ONE SIDE ONLY

**PT2b - GUESTROOM FURRING WALL**

SAME AS PT2b BUT WITH 1 5/8" STEEL STUDS



**PT3 - PUBLIC AREA PARTITION**

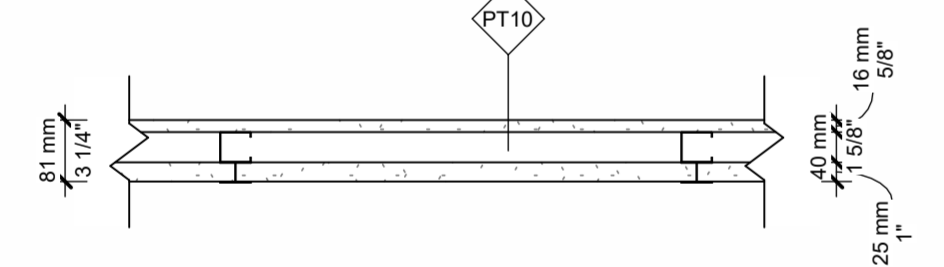
- 5/8" GYPSUM BOARD
- 3/8" STEEL STUDS @ 16" O/C
- 5/8" GYPSUM BOARD

**PT3a - PUBLIC AREA FURRING**

SAME AS PT3 BUT GYPSUM BOARD ONE SIDE ONLY

**PT3b - PUBLIC AREA FURRING**

SAME AS PT3a BUT WITH 1 5/8" STEEL STUDS



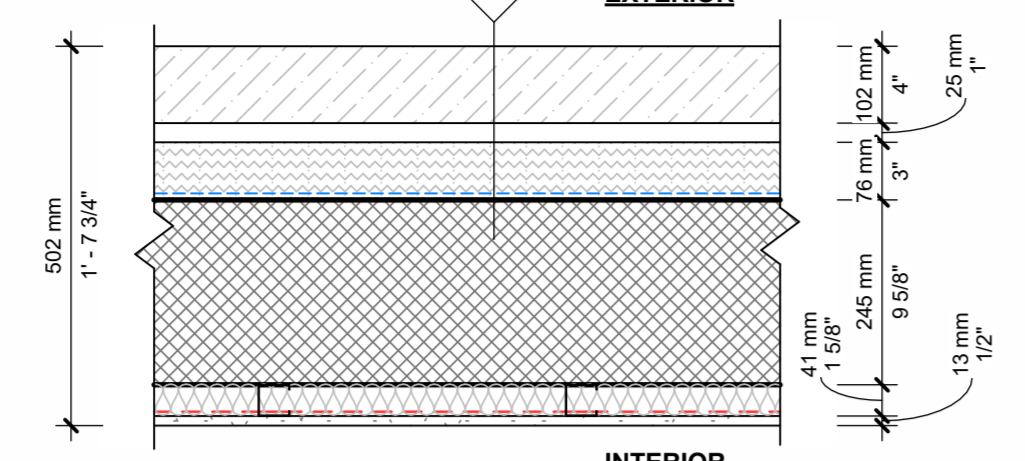
**PT10 1 HR SHAFT WALL (64mm CH STUD)**

1 HR. F.R.R ULC DESIGN NO. W452 SYSTEM A

- 5/8" SHEETROCK GYPSUM FIRECODE CORE PANELS, JOINTS FINISHED
- 2 1/2" CH STEEL STUDS @ 910mm (34") O/C
- 1" SHEETROCK GYPSUM LINER PANEL

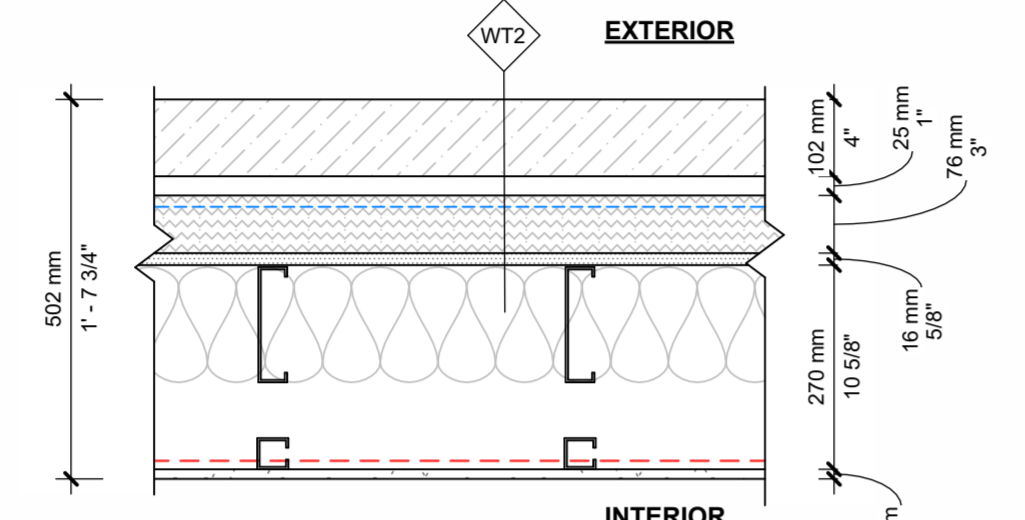
ALL JOINTS AND EDGES TO BE FINISHED AS PER ULC ASSEMBLY.

## EXTERIOR WALL TYPES



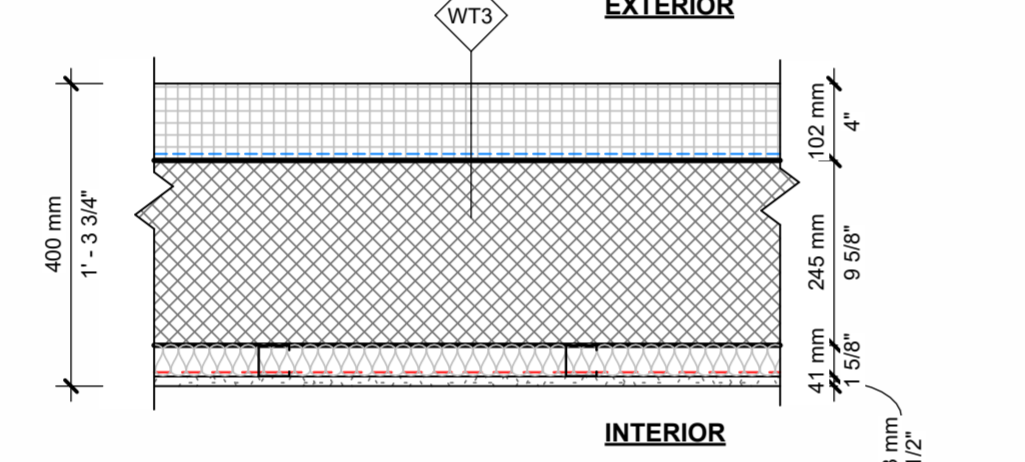
**WT1 EXTERIOR STONE ON CONCRETE BLOCK (GROUND FLOOR)**

- 4" STONE VENEER (BRICK TIE PENETRATIONS SEALED USING DOW 'ENERFOAM' SEALANT
- 1" AIR SPACE
- 3" SEMI RIGID INSULATION BOARD-TYPE: CAVITYROCK BY ROCKWOOL, OR APPROVED EQUAL (R13)
- VAPOUR PERMEABLE AIR BARRIER
- 10" CONCRETE BLOCK
- 1 5/8" STEEL STUDS @ 16" O/C
- BATT INSULATION TO FILL CAVITY (R6)
- VAPOUR RETARDER
- 1/2" GYPSUM BOARD



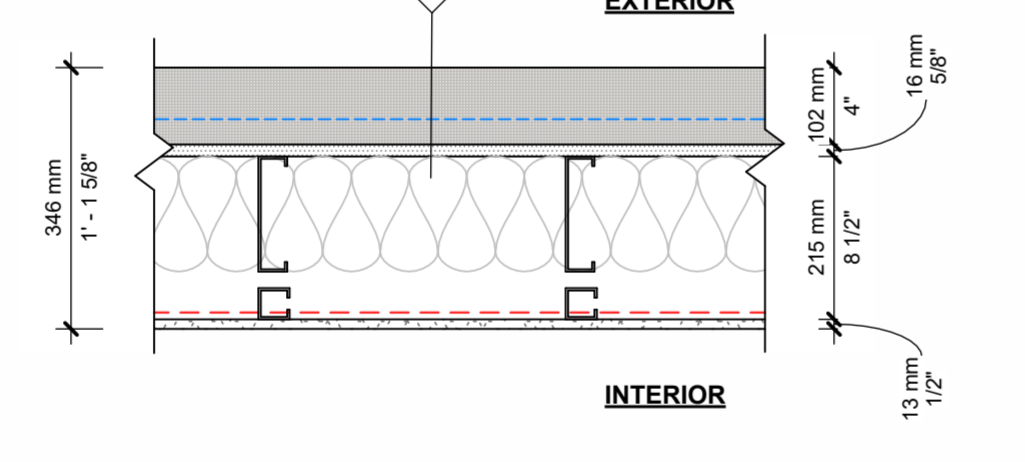
**WT2 EXTERIOR STONE ON METAL STUD (GROUND FLOOR)**

- 4" STONE VENEER (BRICK TIE PENETRATIONS SEALED USING DOW 'ENERFOAM' SEALANT
- 1" AIR SPACE
- 2" SEMI RIGID INSULATION BOARD-TYPE: CAVITYROCK BY ROCKWOOL, OR APPROVED EQUAL (R8.6)
- VAPOUR PERMEABLE AIR BARRIER
- 5/8" EXTERIOR GLASSMATT SHEATHING (DENS GLASS GOLD OR APPROVED EQUAL)
- 8" STEEL STUDS @ 16" O/C
- 1 5/8" STEEL STUD @ 16" O/C (LOCATED TO MAKE INTERIOR GWS ALIGN WITH ADJACENT (WT1) WALL TYPE)
- BATT INSULATION TO FILL CAVITY (R19)
- VAPOUR RETARDER
- 1/2" GYPSUM BOARD



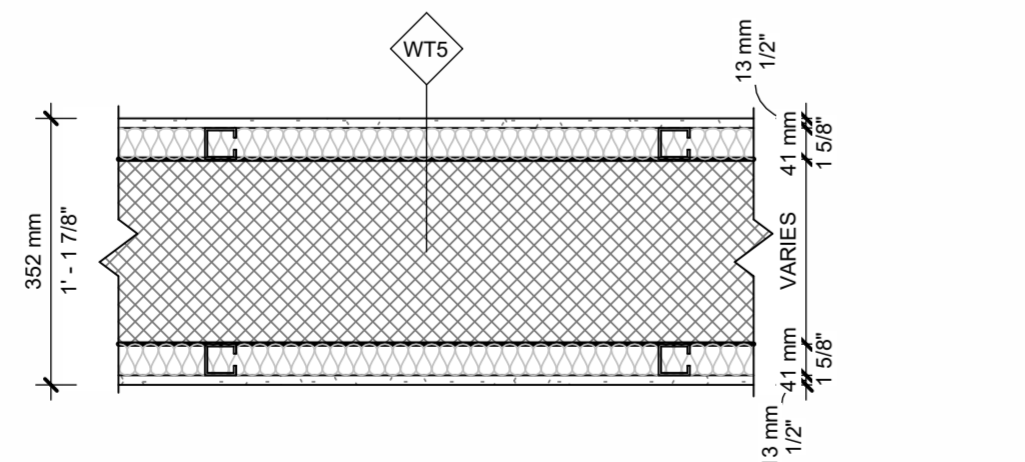
**WT3 EXTERIOR EIFS ON CONCRETE BLOCK (TYPICAL FLOORS)**

- EXTERIOR INSULATION FINISH SYSTEM (EIFS) ON 4" (R13) EXPANDED POLYSTYRENE INSULATION BOARD (EPS) C/W DUAL MOISTURE DRAINAGE & AIR BARRIER
- TYPE: OUTSULATION MD NC SYSTEM BY DRYVIT OR APPROVED EQUAL
- 10" CONCRETE BLOCK
- 1 5/8" STEEL STUDS @ 16" O/C
- BATT INSULATION TO FILL CAVITY (R6)
- VAPOUR RETARDER
- 1/2" GYPSUM BOARD



**WT4 EXTERIOR EIFS ON METAL STUD (TYPICAL FLOORS)**

- EXTERIOR INSULATION FINISH SYSTEM (EIFS) ON 3" (R11) EXPANDED POLYSTYRENE INSULATION BOARD (EPS) C/W DUAL MOISTURE DRAINAGE & AIR BARRIER
- TYPE: OUTSULATION MD NC SYSTEM BY DRYVIT OR APPROVED EQUAL
- 5/8" EXTERIOR GLASSMATT SHEATHING (DENS GLASS GOLD OR APPROVED EQUAL)
- 6" STEEL STUDS @ 16" O/C
- 1 5/8" STEEL STUD @ 16" O/C (LOCATED TO MAKE INTERIOR GWS ALIGN WITH ADJACENT (WT3) WALL TYPE)
- BATT INSULATION TO FILL CAVITY (R19)
- VAPOUR RETARDER
- 1/2" GYPSUM BOARD



**WT5 - TYPICAL 1 HR. FRR. CONCRETE BLOCK WALL - STC 69 (GROUND FLOOR)**

### WALL BETWEEN GUESTROOMS

- 1/2" GYPSUM BOARD
- 1 5/8" STEEL STUDS @ 16" O/C
- SOUND BATT INSULATION CONCRETE BLOCK WALL - FOR THICKNESS SEE STRUCTURAL
- 1 5/8" STEEL STUDS @ 16" O/C
- SOUND BATT INSULATION
- 1/2" GYPSUM BOARD

### PT5a (TYPICAL FLOORS)

SAME AS PT5 BUT WITH 190mm CONCRETE BLOCK

### WT5b (GROUND FLOOR)

SAME AS WT1 BUT WITH ONE SIDE SURRING

### WT5c (TYPICAL FLOORS)

SAME AS WT5b BUT 190mm CONCRETE BLOCK

EXISTING UNIT SCHEDULE	
Name	Count
<b>LEVEL 2</b>	
EXTG. ACC DOUBLE QUEEN	1
EXTG. ACC KING	1
EXTG. DOUBLE QUEEN	1
EXTG. DOUBLE QUEEN EXTENDED	2
EXTG. KING	6
EXTG. KING JACUZZI	1
EXTG. KING SHOTGUN SUITE	5
EXTG. KING SUITE	2
	23
<b>LEVEL 3</b>	
EXTG. ACC DOUBLE QUEEN	1
EXTG. ACC KING	1
EXTG. ACC KING SUITE	1
EXTG. DOUBLE QUEEN EXTENDED	2
EXTG. DOUBLE QUEEN SUITE EXTENDED	3
EXTG. KING	6
EXTG. KING JACUZZI	1
EXTG. KING SHOTGUN SUITE	5
EXTG. KING SUITE	2
	23
<b>LEVEL 4</b>	
EXTG. ACC DOUBLE QUEEN	1
EXTG. ACC KING	1
EXTG. DOUBLE QUEEN EXTENDED	2
EXTG. DOUBLE QUEEN SUITE EXTENDED	4
EXTG. KING	6
EXTG. KING JACUZZI	1
EXTG. KING SHOTGUN SUITE	6
EXTG. KING SUITE	2
	23
<b>LEVEL 5</b>	
EXTG. ACC DOUBLE QUEEN	1
EXTG. ACC KING	1
EXTG. DOUBLE QUEEN EXTENDED	2
EXTG. DOUBLE QUEEN SUITE EXTENDED	4
EXTG. KING	6
EXTG. KING JACUZZI	1
EXTG. KING SHOTGUN SUITE	6
EXTG. KING SUITE	2
	23
<b>LEVEL 6</b>	
EXTG. ACC DOUBLE QUEEN	1
EXTG. ACC KING	1
EXTG. DOUBLE QUEEN EXTENDED	2
EXTG. DOUBLE QUEEN SUITE EXTENDED	4
EXTG. KING	6
EXTG. KING JACUZZI	1
EXTG. KING SHOTGUN SUITE	6
EXTG. KING SUITE	2
	23
Grand total:	115

PROPOSED UNIT SCHEDULE	
Name	Count
<b>LEVEL 1</b>	
DOUBLE QUEEN	4
DOUBLE QUEEN SUITE	1
	5
<b>LEVEL 2</b>	
ACC DOUBLE QUEEN	1
DOUBLE QUEEN	3
DOUBLE QUEEN SUITE	1
	5
<b>LEVEL 3</b>	
ACC DOUBLE QUEEN	1
DOUBLE QUEEN	3
DOUBLE QUEEN SUITE	1
	5
<b>LEVEL 4</b>	
ACC DOUBLE QUEEN	1
DOUBLE QUEEN	3
DOUBLE QUEEN SUITE	1
	5
<b>LEVEL 5</b>	
ACC DOUBLE QUEEN	1
DOUBLE QUEEN	3
DOUBLE QUEEN SUITE	1
	5
<b>LEVEL 6</b>	
ACC DOUBLE QUEEN	1
DOUBLE QUEEN	3
DOUBLE QUEEN SUITE	1
	5
Grand total:	30
<b>TOTAL</b>	<b>145</b>

TOTAL ACCESSIBLE UNIT SCHEDULE	
Name	Count
ACC DOUBLE QUEEN	5
EXTG. ACC DOUBLE QUEEN	5
EXTG. ACC KING	5
EXTG. ACC KING SUITE	2
Grand total:	17

## WALL TYPE NOTES

- WHERE SPRAY FOAM INSULATION IS USED IN EXTERIOR WALLS, IN THE POOL AREA, SPRAY FOAM INSULATION IS TO COMPLETELY FILL STUD CAVITY & VAPOUR BARRIER IS REQUIRED PRIOR TO INSTALLING GYPSUM BOARD
- POOL AREA TO HAVE MOISTURE, MOLD AND MILDEW RESISTANT GYPSUM BOARD ON WALLS AND CEILING TYPE: DENS ARMOR PLUS INTERIOR GUARD BY G-P GYPSUM OR EQUAL.
- POOL TO HAVE PAINTED FINISH ON WALLS AND CEILING THAT PROVIDES VAPOUR BARRIER QUALITIES.
- ALL FIRE RATED PARTITIONS TO HAVE FIRE STOP CALKING AT TOP AND BOTTOM OF GYPSUM BOARD.
- WASHROOM SHOWER ENCLOSURES TO HAVE WATER RESISTANT DENS SHIELD GYPSUM BOARD BY G-P GYPSUM.
- WALLS SEPARATING OFFICE AREAS, PUBLIC WASHROOMS, POOL, FOOD PREP, BOARDROOMS AND MEETING ROOMS FROM PUBLIC AREAS TO ALSO HAVE 3 1/2" SOUND INSULATION.
- NO STEEL OR GYPSUM BOARD ON CONCRETE WALLS REQUIRED IN MECHANICAL/ELECTRICAL ROOMS, STAIRWELLS, ELEVATOR SHAFT, & POOL EQUIPMENT.

BUILDING AREA SUMMARY		
Name	Area	Area (Metric)
<b>ABBREVIATIONS</b>		
ACT	ACCOUSTICAL CEILING TILE	O/C ON CENTER
C.B.	CONCRETE BLOCK	P
CONC. BL.	CONCRETE MASONRY UNIT	PTAC
CMU	CERAMIC TILE	QT
CONC.	CONDENSING UNIT	ST
CW	COMPLETE WITH DRYER	S
D	EXHAUST FAN	RB
EF	EXISTING	RUBBER
EIFS	EXTERIOR INSULATION FINISH SYSTEM	S
EXTG.	EXISTING	SACT
FA	FIRE ALARM	SF
F	FIRE ALARM	SP
FHA	FIRE HOSE CABINET	ST
FHC	FIRE EXTINGUISHER CABINET	T
FEC	FIBERGLASS REINFORCED PANEL	TX
FRP	GYPSUM BOARD	U.N.O.
G.B.	HEAT PUMP	VEND.
GYP. BD.	HOBSE BIB	WD
HP	ICE MACHINE	W
HB	KITCHEN EQUIPMENT SUPPLIER	WASHER
ICE	MAKE-UP AIR	WD
K.E.S.		WV
MO		WVC
M.U.A.		

## SYMBOL LEGEND

Room name	ROOM NAME	X-000	FURNISHINGS REFERENCE
101	ROOM NUMBER		
150 SF	ROOM SQUARE FOOTAGE		
WT1	WALL TYPE		
RT	ROOF TYPE		
101	DOOR NUMBER		
11	WINDOW NUMBER		
XXX	INTERIOR FINISH NUMBER		
X	NOTE TAG		
XXX	EQUIPMENT NUMBER		
200	WASHROOM ACCESSORIES TAG		
EXT	CEILING REFERENCE		
HT	CEILING HEIGHT		
100	NEW/EXTERIOR ELEVATION KEYNOTE		
01	DEMOLITION TAG		
000	MILLWORK TAG		
1	PARKING TAG		

ONTARIO 2024 BUILDING CODE DATA MATRIX		OBC Reference																																																																																					
1	PROJECT NAME & LOCATION NEPEAN HOLIDAY INN EXPRESS 45 ROBERTSON ROAD NEPEAN, ON	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	Part 3 Part 9 Part 11																																																																																				
2	MAJOR OCCUPANCY (S)	Assembly - Group A2 Residential - Group C	3.1.2.1(1)																																																																																				
3	BUILDING AREA	Existing: 1,177 m <sup>2</sup> New: 333.24 m <sup>2</sup> Total: 1,510.24 m <sup>2</sup>	1.4.1.2																																																																																				
4	GROSS AREA	Existing: 6,877.50 m <sup>2</sup> New: 1,984.50 m <sup>2</sup> Total: 8,861.50 m <sup>2</sup>	1.4.1.2																																																																																				
5	NUMBER OF STOREYS	Above Grade: 6 Storeys Below Grade: N/A	1.4.1.2 & 3.2.1.1																																																																																				
6	HEIGHT OF BUILDING	50'-0" (15.3 m) (Top of Roof Slab)	1.4.1.2 & 3.2.1.1																																																																																				
7	NUMBER OF STREETS/ACCESS ROUTES	Facing 1 Street	3.2.2.10 & 3.2.5																																																																																				
8	BUILDING CLASSIFICATION	Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered Group C, up to 6 Storeys, Sprinklered, Noncombustible Construction	3.2.2.4 3.2.2.49																																																																																				
9	SPRINKLER SYSTEM PROPOSED	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20 - 3.2.2.83																																																																																				
10	STANDPIPE REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.8																																																																																				
11	FIRE ALARM REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.4																																																																																				
12	WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7																																																																																				
13	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6																																																																																				
14	CONSTRUCTION PERMITTED CONSTRUCTION ACTUAL	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.43																																																																																				
15	MEZZANINE(S) area	N/A	3.2.1.10(3)-(6)																																																																																				
16	OCCUPANT LOAD based on	<input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> design of building	3.1.17																																																																																				
1st Floor: Occupancy: A2 Load: 234 persons (Existing) Occupancy: C Load: 18 persons																																																																																							
2nd Floor: Occupancy: C Load: 62 persons (46 Existing + 16 New)																																																																																							
3rd Floor: Occupancy: C Load: 62 persons																																																																																							
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5th Floor: Occupancy: C Load: 62 persons																																																																																							
6th Floor: Occupancy: C Load: 62 persons																																																																																							
TOTAL 560 persons																																																																																							
17	BARRIER FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (explain)	3.8																																																																																				
18	HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19																																																																																				
19	Required	Horizontal Assemblies FRR (hour)	Listed Design No. or Description (D-2)																																																																																				
Fire floors: 1 hour Table D-2.2.1.A, 3.2.2.49(3), 2.2.2.4																																																																																							
Resistance roof: no rating Table D-2.2.1.A, 3.2.2.49(3), 2.2.2.4																																																																																							
Rating mezzanine: N/A																																																																																							
(FRR) Supporting Members FRR of Supporting Members Listed Design No. or Description (D-2) Table D-2.2.1, 3.2.2.49(3), 2.2.2.4																																																																																							
floors: 1 hour Table D-2.2.1, 3.2.2.49(3), 2.2.2.4																																																																																							
roof: no rating Table D-2.2.1, 3.2.2.49(3), 2.2.2.4																																																																																							
20	WASHROOM FACILITIES	W.C.s REQUIRED (male/fem.) STAFF	W.C.s PROVIDED (EXISTING) (male/fem.) UNSEX STAFF																																																																																				
1st Floor: Occupancy: A2 3/3 3/3 1 1 3.7.2, 3.4.2.1 number																																																																																							
21 EXITS REQUIRED (from level) No. Exit Width Max Travel (mm per exit) (N to one exit) PROVIDED No. Exit Width (mm per exit) 3.4.2.1(1)(i) location 3.4.2.1(1)(ii) capacity 3.4.2.1(1)(iii) upper levels																																																																																							
1st Floor: 2 250x6.1/2 = 762.5 45 Existing: 2 900 +Proposed: 1 965																																																																																							
2nd to 6th: 2 624x2/2 = 285.2 45 Existing: 1 900 +Proposed: 1 965																																																																																							
22	SPATIAL SEPARATION - Construction of Exterior Walls		3.2.3																																																																																				
<table border="1"> <thead> <tr> <th>Wall</th> <th>Area (m<sup>2</sup>)</th> <th>L.D. (m)</th> <th>L.H. or H.L.</th> <th>Permitted % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (Hours)</th> <th>Listed Design or Description</th> <th>Comb. or Non-Comb. Construction</th> <th>Non-Comb. Const.</th> <th>Comb. or Non-Comb. Cladding</th> <th>Non-Comb. Cladding</th> </tr> </thead> <tbody> <tr> <td>East (existing part ground floor fire compartment)</td> <td>197 m<sup>2</sup></td> <td>4.5 m</td> <td>35%</td> <td>32%</td> <td>45 MIN</td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>East (existing part upper floors individual guestroom fire compartment)</td> <td>10 m<sup>2</sup></td> <td>4.5 m</td> <td>100%</td> <td>&lt; 100%</td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>South</td> <td colspan="11">No change</td> </tr> <tr> <td>East (new ground &amp; upper floors individual guestroom fire compartment)</td> <td>10-15 m<sup>2</sup></td> <td>6.38 m</td> <td>100%</td> <td>&lt; 100%</td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>West</td> <td>922 m<sup>2</sup></td> <td>&gt; 9 m</td> <td>100%</td> <td>&lt; 100%</td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>North</td> <td>424.4 m<sup>2</sup></td> <td>&gt; 9 m</td> <td>100%</td> <td>&lt; 100%</td> <td></td> <td></td> <td></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </tbody> </table>				Wall	Area (m <sup>2</sup> )	L.D. (m)	L.H. or H.L.	Permitted % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. or Non-Comb. Construction	Non-Comb. Const.	Comb. or Non-Comb. Cladding	Non-Comb. Cladding	East (existing part ground floor fire compartment)	197 m <sup>2</sup>	4.5 m	35%	32%	45 MIN			<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	East (existing part upper floors individual guestroom fire compartment)	10 m <sup>2</sup>	4.5 m	100%	< 100%				<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	South	No change											East (new ground & upper floors individual guestroom fire compartment)	10-15 m <sup>2</sup>	6.38 m	100%	< 100%				<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	West	922 m <sup>2</sup>	> 9 m	100%	< 100%				<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	North	424.4 m <sup>2</sup>	> 9 m	100%	< 100%				<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wall	Area (m <sup>2</sup> )	L.D. (m)	L.H. or H.L.	Permitted % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. or Non-Comb. Construction	Non-Comb. Const.	Comb. or Non-Comb. Cladding	Non-Comb. Cladding																																																																												
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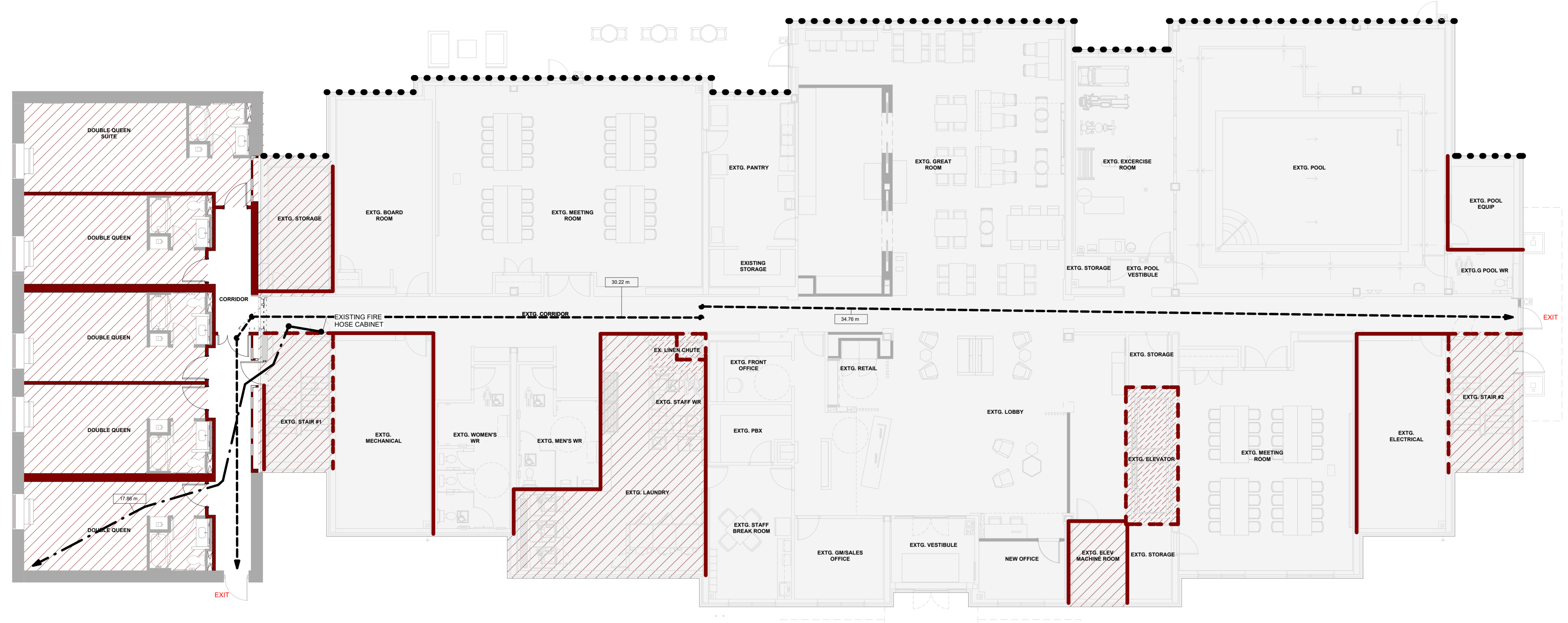
ONTARIO 2024 BUILDING CODE DATA MATRIX		OBC Reference	
1	PROJECT NAME & LOCATION MARRIOTT COURTYARD 864 EXETER DRIVE LONDON, ONTARIO	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	Part 11
2	PROJECT TYPE	RENOVATION & ADDITION	(A)1.1.2
3	BUILDING SIZE	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> >Large	T.11.2.1.1.1
4	EXISTING BUILDING CLASSIFICATION	Change in Major Occupancy Construction index Hazard index	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A N/A
5	RENOVATION TYPE	Basic Renovation <input type="checkbox"/> Extensive Renovation <input checked="" type="checkbox"/>	11.3.3.1 & 11.3.3.2
6	REDUCTION IN PERFORMANCE LEVEL	Structural Increase in occupant load Change in Major Occupancy Plumbing Sewage System	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
7	COMPENSATING CONSTRUCTION	Structural Increase in occupant load Change in Major Occupancy Plumbing Sewage System	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
9	COMPLIANCE ALTERNATIVES PROPOSED	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	TABLE 11.5.1.1.C
C31 3.3.1.9 Existing width of public corridors of not less than 914 mm is acceptable.			
C44 3.4.3.2(7) Existing width of exits acceptable provided the occupant load is not more than 15% above the exit capacity.			
C65 3.8.3.3(1) Existing doorway acceptable, provided not less than 800 mm wide.			
C86 3.8.3.3(1)(A) Existing distance acceptable, provided not less than 1 200 mm plus the width of any door that swings into the space in the path of travel.			
C88 3.8.3.8(6) Existing grab bar is acceptable.			

NO.	ISSUED	DATE
1	COORDINATION	2025-06-23
2	COORDINATION	2025-10-01
3	BRAND REVIEW 100%	2025-10-01
4	COORDINATION	2025-10-01

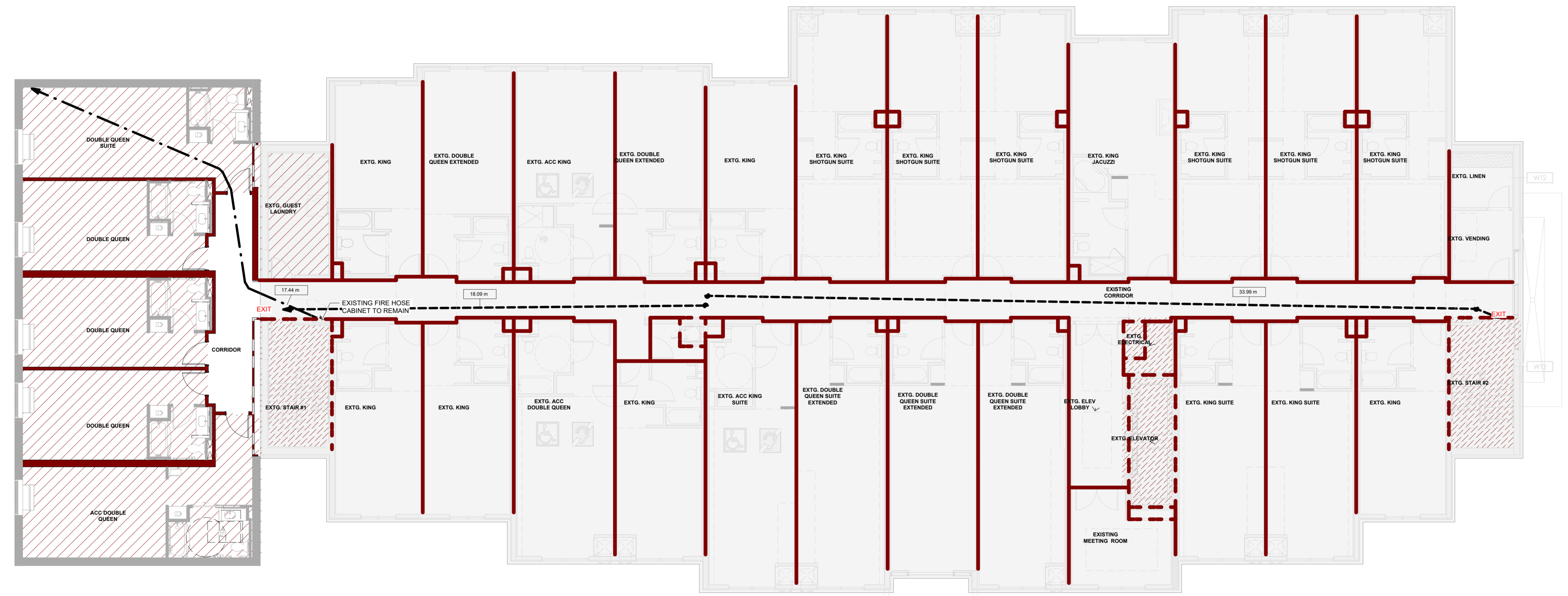
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**Owner**

SCALE



**1 FIRE SEPARATION PLAN - GROUND FLOOR PLAN**  
1 : 100



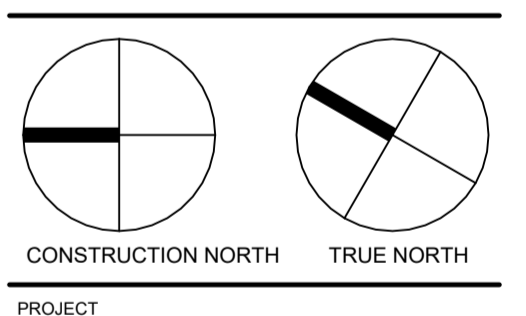
**2 FIRE SEPARATION PLAN - TYPICAL FLOOR PLAN**  
1 : 100

FIRE SEPARATION LEGEND	
	45 MIN FIRE RESISTANCE RATING (EXISTING)
	1 HR FIRE RESISTANCE RATING (EXISTING)
	1 HR FIRE RESISTANCE RATING (PROPOSED)
	2 HR FIRE RESISTANCE RATING (EXISTING)
	2 HR FIRE RESISTANCE RATING (PROPOSED)
	STANDPIPE HOSE LENGTH = 98.4 FT (30M MAX) + 9.8 FT (3M) HOSE STREAM
	MAX. TRAVEL DISTANCE LENGTH = 40M (147'-0")
	FIRE SEPARATED ROOM

FIRE SEPARATION HAVING A FIRE RESISTANCE RATING	
1 HR - SUITE DEMISING WALLS	
1 HR - CORRIDOR WALLS AT SUITES	
1 HR - EXIT STAIRS	
1 HR - STORAGE ROOMS	
1 HR - SERVICE & ELECTRICAL ROOMS	
1 HR - FLOORS	
1 HR - COLUMNS & BEAMS SUPPORTING FLOOR ASSEMBLY	
0 HR - ROOF	

ALL FIRE RATED PARTITIONS TO HAVE FIRE STOP CAULKING AT TOP & BOTTOM OF GYPSUM BOARD. ALL PENETRATIONS TO BE FIRE CALKED AND SEALED WITH UL AND/OR ULC RATED ASSEMBLIES. ALL DUCTS PENETRATING FIRE RATED PARTITIONS TO HAVE FIRE DAMPERS.



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**FIRE SEPARATION  
PLANS**

START DATE  
**JANUARY 2025**

DRAWN BY  
**MW**

CHECKED BY  
**AM**

SCALE  
**As indicated**

PROJECT NO.  
**125009**

DRAWING

**A003**

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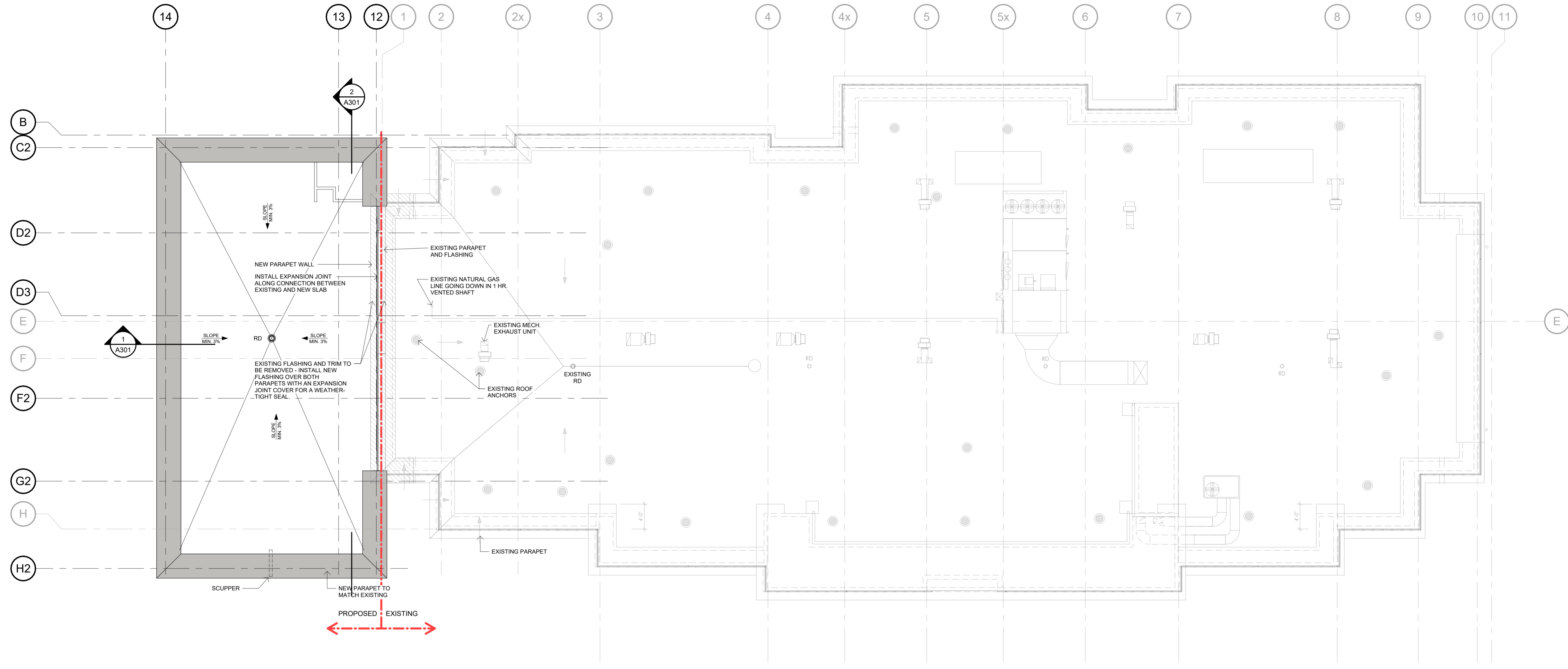


NO.	ISSUED	DATE
1	COORDINATION	2025-09-23
2	COORDINATION	2025-10-01
3	COORDINATION	2025-10-01
4	COORDINATION	2025-11-03
5	COORDINATION	2025-11-17

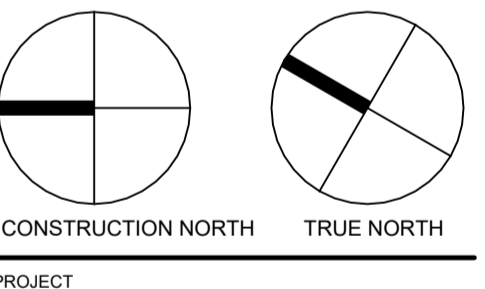
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CLIENT: **Owner**

SCALE:



**1** ROOF DEMO AND PROPOSED PLAN  
A105 1 : 100



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

**ROOF PLAN &  
DETAILS**

START DATE	JANUARY 2025
DRAWN BY	MW/HK
CHECKED BY	LC
SCALE	1 : 100
PROJECT NO.	125009

**A105**

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NO.	ISSUED	DATE
1	10 - CLIENT REVIEW	2025-03-07
2	10 - CLIENT REVIEW	2025-03-22
3	10 - CLIENT REVIEW	2025-04-11
4	COORDINATION	2025-05-23
5	BRAND REVIEW 100%	2025-06-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17

**RCP GENERAL NOTES**

1. ALL HVAC GRILLES TO BE REPLACED WITH NEW
2. EXISTING CEILINGS TO REMAIN (U.N.O.). REPAIR/REPLACE ANY DAMAGED CEILING TILES/GYPSUM BOARD CEILINGS AS REQUIRED.
3. REFINISH GYPSUM BOARD CEILINGS PER LATEST PROT.D.
4. REMOVE ALL CROWN MOULDING TYP. PATCH, REPAIR AND MAKE GOOD SURFACES TO RECEIVE NEW FINISH.
5. PROVIDE NEW LED LAMPS FOR ALL EXISTING GENERAL LIGHT FIXTURES THAT ARE TO REMAIN TYP.

**RCP KEY DEMO NOTES**

1. EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW IN SAME LOCATION
2. EXISTING HVAC GRILLE TO BE REMOVED AND REPLACE WITH NEW TO SUIT, TYP.
3. EXISTING HVAC GRILLE TO BE RELOCATE
4. FLOURESCENT FIXTURES TO BE REPLACED WITH NEW LED FIXTURES IN SAME LOCATIONS, TYP.
5. EXISTING SCUNCES TO BE REMOVED AND REPLACED WITH NEW IN SAME LOCATION
6. EXISTING DIFFUSER TO BE RELOCATED
7. REMOVE EXISTING DIFFUSER AND INSTALL NEW DIFFUSER IN RELOCATED POSITION TO ACCOMMODATE NEW LIGHT FIXTURE.
8. INSTALL NEW POT LIGHTS IN PLACE OF REMOVED FLOURESCENT FIXTURES
9. EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW IN SAME LOCATIONS
10. EXISTING CROWN MOULDING FEATURE LIGHT FIXTURE TO BE REMOVED
11. EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
12. ACOUSTIC CEILING TILES TO BE REMOVED AND REPLACED WITH NEW AS SPECIFIED.

**RCP EXISTING FIXTURES**

- 1' x 4' RECESSED FLUORESCENT LIGHT FIXTURE
- 2' x 4' RECESSED FLUORESCENT LIGHT FIXTURE
- 2' x 2' RECESSED FLUORESCENT LIGHT FIXTURE
- 2' x 2' PARABOLIC FLUORESCENT LIGHT FIXTURE
- 1' x 4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- EXTERIOR PORTE COCHERE COLUMN BRANDED DOWN-LIGHT WALL MOUNTED LIGHTING FIXTURE - 70w
- EXTERIOR FACADE BRANDED UP-LIGHT WALL MOUNTED LIGHTING FIXTURE - 150w
- EXTERIOR WALL MOUNTED LIGHTING FIXTURE
- RECESSED EXTERIOR METAL HALIDE LIGHT FIXTURE
- RECESSED DOWNLIGHT
- CROWN MOULDING
- SURFACE MOUNT CEILING FIXTURE
- PENDANT
- RECESSED WALL WASHER
- WALL SCONCE
- EMERGENCY LIGHTING
- CEILING MOUNTED EXIT SIGN
- SMOKE DETECTOR
- CONCEALED SPRINKLER HEAD
- WALL MOUNTED EXHAUST FAN
- CEILING MOUNTED EXHAUST FAN
- SUPPLY AIR REGISTER
- LINEAR DIFFUSER
- CEILING MOUNTED RETURN AIR GRILL
- CEILING MATERIAL
- CEILING HEIGHT
- TEXTURED CEILING SPRAY ON CONCRETE STRUCTURE OR C.B.
- SUSPENDED GYPSUM BOARD CEILING/BULKHEAD
- EXPOSED TO STRUCTURE ABOVE - PAINTED
- SUSPENDED ACOUSTIC CEILING TILE
- VINYL FACED CEILING TILE
- EXTERIOR INSULATION FINISH SYSTEM

**RCP PROPOSED FIXTURES**

- RECESSED DOWNLIGHT
- RECESSED DOWNLIGHT - WALL WASHER INCANDESCENT
- RECESSED DOWNLIGHT - WALL WASHER INCANDESCENT
- PROPOSED 42" PARALLAX CHANDELIER
- SEMI-FLUSHMOUNT LIGHT AT LOBBY LOUNGE EXP2-403.1

**RCP DEMOLISHED FIXTURES**

- 2' x 2' PARABOLIC FLUORESCENT LIGHT FIXTURE TO BE REMOVED
- RECESSED DOWNLIGHT TO BE REMOVED
- CROWN MOULDING TO BE REMOVED
- PENDANT LIGHT TO BE REMOVED

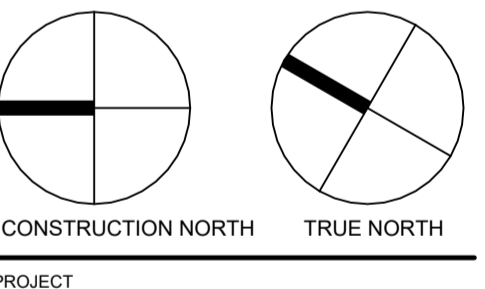


**1** GROUND FLOOR DEMOLITION RCP  
1:100

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SCALE



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**REFLECTED CEILING DEMOLITION PLANS**

START DATE  
**JANUARY 2025**

DRAWN BY  
**MW/HK**

CHECKED BY  
**LC**

SCALE  
**1 : 100**

PROJECT NO.  
**125009**

**A110a**

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**RCP GENERAL NOTES**

1. ALL HVAC GRILLES TO BE REPLACED
2. EXISTING CEILINGS TO REMAIN (U.O.) - REPAIR/REPLACE ANY DAMAGED CEILING TILES/GYPSUM BOARD CEILINGS AS REQUIRED.
3. REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
4. REMOVE ALL CROWN MOLDING TYP. PATCH, REPAIR AND MAKE GOOD SURFACES TO RECEIVE NEW FINISH
5. PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP.

**RCP KEY NOTES**

1. NEW CEILING
2. NEW LIGHT FIXTURES, TYP.
3. NEW HVAC GRILL TO REPLACE EXISTING
4. NEW TV FEATURE WALL W/ WOOD CANOPY DETAIL
5. NEW LED FIXTURES
6. NEW SCANCES TO BE PLACED IN SAME LOCATION OF EXISTING SCANCES
7. JOINTS AT 4' TYPICAL
8. NEW DIFFUSER TO BE PLACED AT SAME LOCATION OF EXISTING DIFFUSER
9. GREAT ROOM HOOP FEATURE
10. NEW LOCATION OF EXISTING DIFFUSER
11. INSTALL NEW POT LIGHTS IN PLACE OF REMOVED FLUORESCENT FIXTURES TYP.
12. POWER REQUIRED FOR ILLUMINATED SIGNATURE BACK WALL PANEL LOCATED BEHIND FRONT DESK
13. RELOCATE EXISTING HVAC GRILL
14. NEW ACOUSTIC CEILING TILES AS SPECIFIED, TYP.
15. EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
16. SUSPENSION CANOPY MOUNTED TO STRUCTURE/CEILING TILES. ENSURE ALL CABLES ARE PLUMB ON ALL CORNERS OF THE FIXTURE, TYP.
17. RECESSED ELECTRICAL JUNCTION BOX WITH MOUNTED SUSPENSION CANOPY BEYOND

**RCP EXISTING FIXTURES**

- 1" X 4" RECESSED FLUORESCENT LIGHT FIXTURE
- 2" X 4" RECESSED FLUORESCENT LIGHT FIXTURE
- 2" X 2" RECESSED FLUORESCENT LIGHT FIXTURE
- 2" X 2" PARABOLIC FLUORESCENT LIGHT FIXTURE
- 1" X 4" SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- EXTERIOR PORTE COCHERE COLUMN BRANDED DOWN-LIGHT WALL MOUNTED LIGHTING FIXTURE - 70W
- EXTERIOR FACADE BRANDED UP-LIGHT WALL MOUNTED LIGHTING FIXTURE - 10W
- EXTERIOR WALL MOUNTED LIGHTING FIXTURE
- RECESSED EXTERIOR METAL HALIDE LIGHT FIXTURE
- RECESSED DOWNLIGHT
- CROWN MOLDING
- SURFACE MOUNT CEILING FIXTURE
- PENDANT
- RECESSED WALL WASHER
- WALL SCANCE
- EMERGENCY LIGHTING
- CEILING MOUNTED EXIT SIGN
- SMOKE DETECTOR
- CONCEALED SPRINKLER HEAD
- WALL MOUNTED EXHAUST FAN
- CEILING MOUNTED EXHAUST FAN
- SUPPLY AIR REGISTER
- LINEAR DIFFUSER
- CEILING MOUNTED RETURN AIR GRILL
- CEILING MATERIAL
- CEILING HEIGHT
- TXT TEXTURED CEILING SPRAY ON CONCRETE STRUCTURE OR G.B.
- GB SUSPENDED GYPSUM BOARD CEILING/BULKHEAD
- EXP EXPOSED TO STRUCTURE ABOVE - PAINTED
- SACT SUSPENDED ACOUSTIC CEILING TILE
- VFCCT VINYL FACED CEILING TILE
- EFS EXTERIOR INSULATION FINISH SYSTEM

**RCP PROPOSED FIXTURES**

- RECESSED DOWNLIGHT
- RECESSED DOWNLIGHT - WALL WASHER INCANDESCENT
- RECESSED DOWNLIGHT - WALL WASHER INCANDESCENT
- PROPOSED 42" PARALLAX CHANDELIER
- SEMI-FLUSHMOUNT LIGHT AT LOBBY LOUNGE EXP2-403.1

**RCP DEMOLISHED FIXTURES**

- 2" X 2" PARABOLIC FLUORESCENT LIGHT FIXTURE TO BE REMOVED.
- RECESSED DOWNLIGHT TO BE REMOVED.
- CROWN MOLDING TO BE REMOVED.
- PENDANT LIGHT TO BE REMOVED.

**RCP FINISH NOTES**

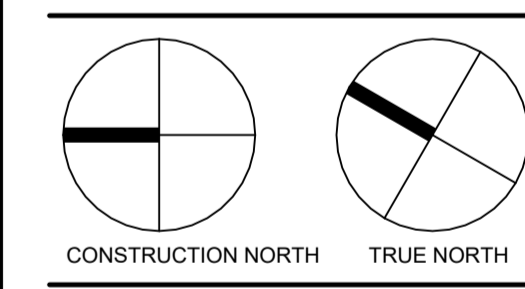
1. ALL EXISTING AND NEW GWB CEILINGS TO BE CW PAINTED FINISH EXP2-P70 TYP. U.O.N.
2. WHERE ACT IS SPECIFIED, LAYOUT OF ACT TILES TO BE CENTRED ON CEILING OPENING TYP. U.O.N.

NO.	ISSUED	DATE
1	10 - CLIENT REVIEW	2025-03-07
2	10 - CLIENT REVIEW	2025-03-22
3	BRAND REVIEW #2	2025-06-11
4	COORDINATION	2025-06-23
5	COORDINATION	2025-06-23
6	BRAND REVIEW 100%	2025-10-01
7	COORDINATION	2025-10-01
8	CLIENT REVIEW	2025-10-24
9	COORDINATION	2025-11-03
10	COORDINATION	2025-11-17

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CLIENT: \_\_\_\_\_  
Owner: \_\_\_\_\_

SCALE: \_\_\_\_\_



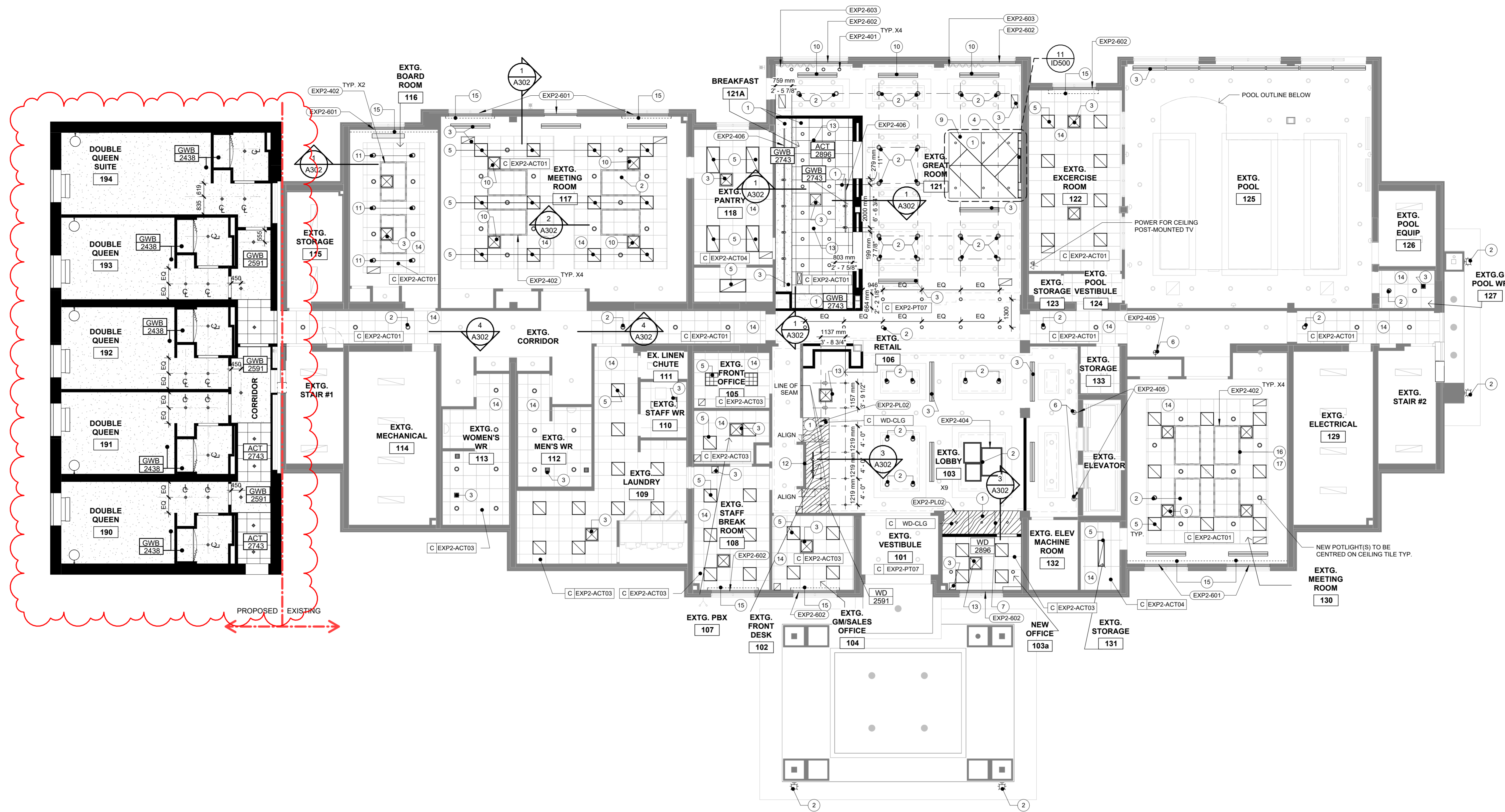
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

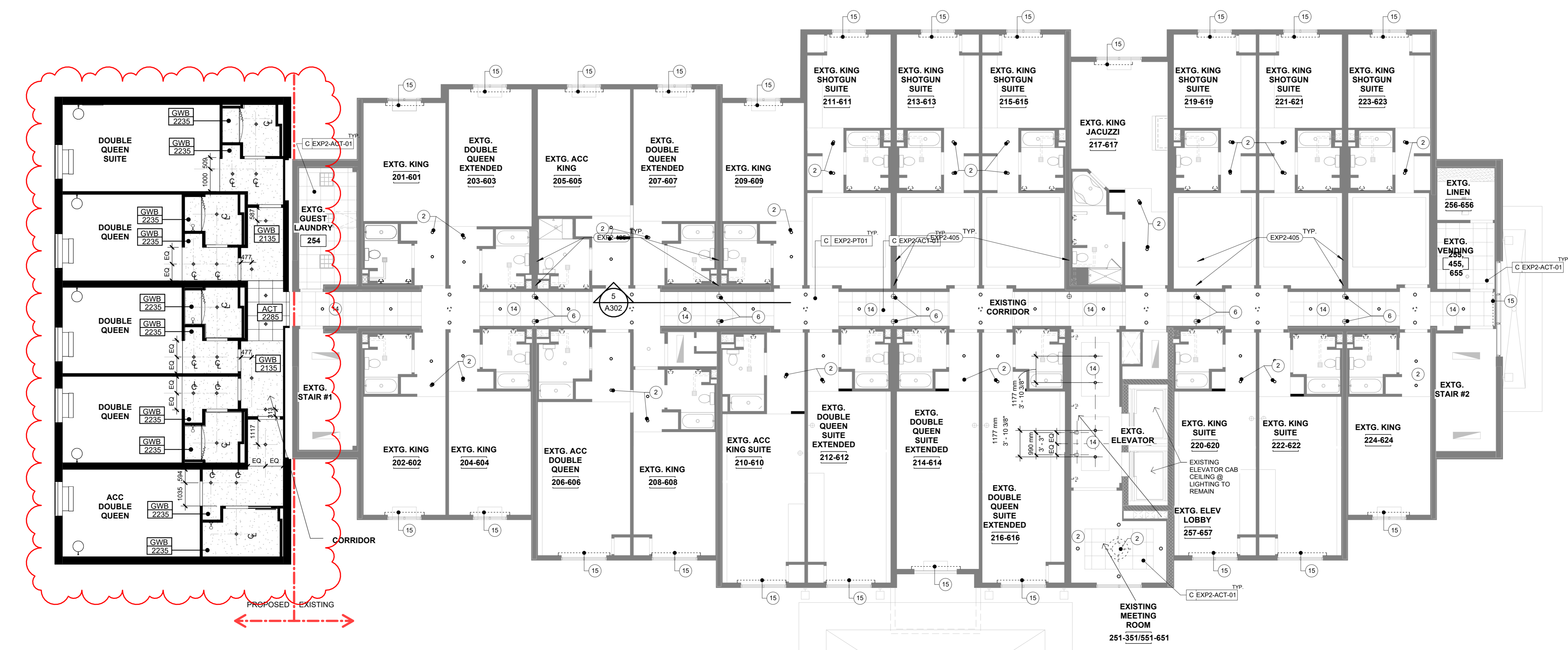
**PROPOSED REFLECTED CEILING PLANS**

START DATE: JANUARY 2025  
DRAWN BY: MWH/K  
CHECKED BY: LC  
SCALE: 1 : 100  
PROJECT NO.: 125009

**A110b**



**1 GROUND FLOOR PROPOSED RCP**  
A110b 1:100



**2 2ND-6TH TYPICAL FLOOR PROPOSED RCP**  
A110b 1:100

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NO.	ISSUED	DATE
1	CLIENT REVIEW	2025-01-28
2	COORDINATION	2025-02-23
3	BRAND REVIEW	2025-02-26
4	BRAND REVIEW 100%	2025-10-01
5	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

**FINISH LEGEND - ADDITION**

- A1 EIFS LIGHT GRAY  
Drvt - Colour: Sandblast HEIK-09-10228
- A2 EIFS WARM BROWN  
Drvt - Colour: Sandblast HEIK-10-10228
- A3 EIFS DARK GRAY  
Drvt - Colour: Sandblast HEIK-11-10228
- A4 EIFS GRAY  
Drvt - Colour: Sandblast HEIK-12-10228
- A5 NEW STONE TO MATCH EXISTING  
Drvt - Colour: Sandblast HEIK-12-10228
- A6 EIFS TRIM GRAY  
Drvt - Colour: Sandblast HEIK-12-10228
- A7 NEW EXTERIOR DOOR COLOUR TO MATCH ADJACENT WALL. SEE DOOR SCHEDULE FOR SPECIFICATIONS.
- GLAZING WITH BIRD FRIENDLY FRITTING PER OTTAWA BIRD-SAFE DESIGN GUIDELINES. FRIT TO BE WHITE AND FOLLOW BELOW DETAILED SPECS.

**ELEVATION KEY NOTES - RENOVATION**

- 1 EXISTING FACADE TO BE PAINTED: LIGHT GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 2 EXISTING FACADE TO BE PAINTED: DARK GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 3 EXISTING FACADE TO BE PAINTED: GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 4 EXISTING FACADE TO BE PAINTED: WARM BROWN / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE
- 5 EXISTING CANOPY TO BE PAINTED: BLACK TO MATCH ALLICORBOND PLUS CLASSIC COLLECTION - GRAPHITE MICA PVD# 2 GLOSS 25-35
- 6 EXISTING STONE TO REMAIN AS IS
- 7 PAINT EXISTING EIFS TRIMS TO MATCH ADJACENT WALL FINISHES, AS NOTED ON ELEVATIONS.
- 8 EXISTING GLAZING AND MULLIONS TO REMAIN AS IS
- 9 EXISTING SPANDREL AND MULLIONS TO REMAIN AS IS
- 10 PAINT EXISTING VTAC COVERS / MECHANICAL GRILLS TO MATCH ADJACENT WALL COLOUR
- 11 PAINT EXISTING DOOR TO MATCH ADJACENT WALL COLOUR
- 12 EXISTING SIGNAGE TO REMAIN AS IS
- 13 NEW WINDOW AND LOUVER TO MATCH EXISTING DESIGN & COLOUR WITH BIRD-SAFE TREATMENT
- 14 NEW GLASS EXTERIOR DOOR COLOUR TO MATCH EXISTING DOORS/FRAMES. SEE DOOR SCHEDULE FOR DESIGN & SPECIFICATIONS.
- 15 PREFINISHED ALUMINIUM DOOR & FRAME TO REMAIN AS IS
- 16 REPLACE EXISTING COLUMN DECORATIVE LIGHTS WITH NEW BRONZE 3000K LIGHT (2" HIGH)
- 17 EXISTING LIGHTING FIXTURE (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED.
- 18 EXISTING MECHANICAL LOUVER (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED AND RELOCATED AS REQUIRED. REFER TO MECHANICAL DRAWINGS FOR RELOCATING AND FINAL LOCATION.
- 19 EXISTING DOORS AND WINDOWS (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED FOR NEW ADDITION, TYP.

DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED. ISSUED FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. NECESSARY. AVOID COPYRIGHT INFRINGEMENT. INNOCENT INFRINGEMENT IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

CLIENT: **Owner**

SCALE:

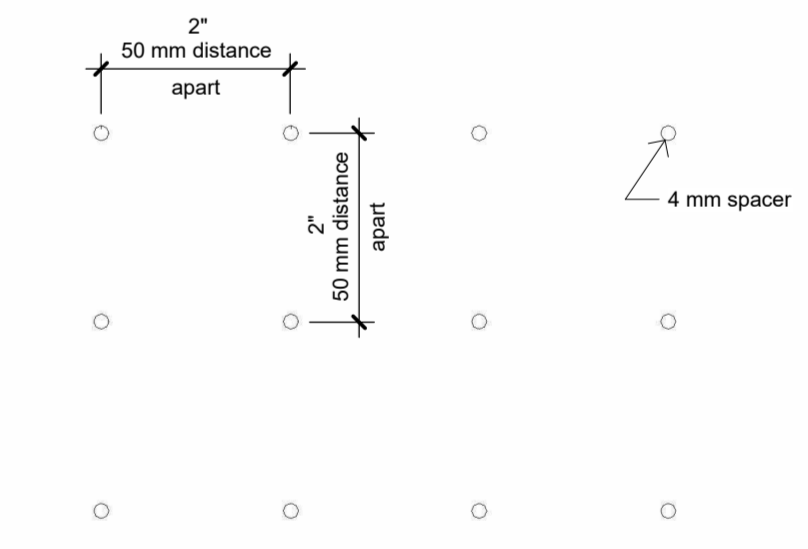
**BIRD-SAFE GLAZING NOTE:**

FOR THE NEW ADDITION PART OF THE BUILDING, ALL VISION GLAZING WITHIN THE FIRST 16 ft FROM FINISHED GRADE (OR TO THE HEIGHT OF ADJACENT MATURE TREE CANOPY, WHICHEVER IS GREATER) SHALL INCLUDE BIRD-SAFE TREATMENT (FRITTED GLASS) IN ACCORDANCE WITH THE CITY OF OTTAWA BIRD-SAFE DESIGN GUIDELINES.

TREATMENT TO CONSIST OF HIGH-CONTRAST, 4 MM DIAMETER DOTS, SPACED AT MAXIMUM 50 MM X 50 MM, APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS. PATTERN SHALL COVER A MINIMUM OF 90% OF EACH GLAZED AREA.

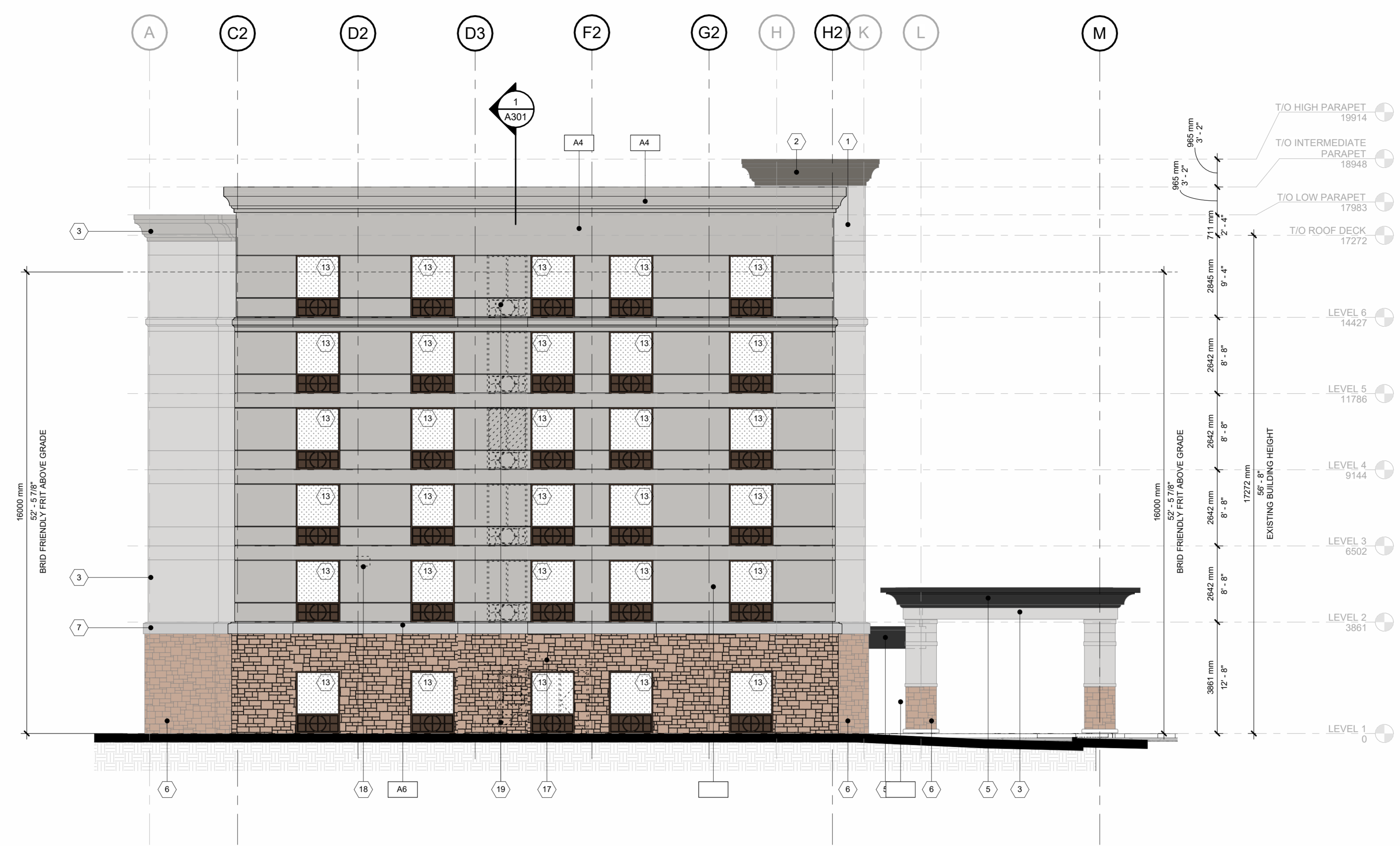
**SPECIFICATIONS FOR EFFECTIVE VISUAL MARKERS:**

- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
- MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS.
- ANY PATTERN OF VISUAL MARKER IS ACCEPTABLE (I.E. LINES, DOTS, ETC.) AS LONG AS A MAXIMUM SPACING OF 50 mm BY 50 mm IS USED (SEE FIGURE BELOW).
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 mm DIAMETER, OR 2 mm WIDE BY 8 mm LONG FOR LINEAR ELEMENTS.



**GENERAL NOTE:**

THE BUILDING CONSISTS OF TWO PARTS: THE NEW ADDITION AND THE EXISTING PIP BUILDING. EACH WILL PROCEED THROUGH ITS OWN SEPARATE BUILDING PERMIT AND REGULATORY APPROVAL PROCESS.



**1 PROPOSED NORTH ELEVATION**  
A201 1:100



**3 PROPOSED WEST ELEVATION**  
A201 1:100

PROJECT: **NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

**EXTERIOR ELEVATION I**

START DATE: **JANUARY 2025**  
DRAWN BY: **MW/HK**  
CHECKED BY: **LC**  
SCALE: **1:100**  
PROJECT NO.: **125009**

DRAWING: **A201**

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NO.	ISSUED	DATE
1	CLIENT REVIEW	2025-01-28
2	COORDINATION	2025-02-23
3	BRAND REVIEW	2025-02-23
5	BRAND REVIEW 100%	2025-10-01
4	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

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CLIENT: **Owner**

SCALE:

PROJECT: **NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

**EXTERIOR ELEVATION II**

START DATE: **JANUARY 2025**  
DRAWN BY: **MW/HK**  
CHECKED BY: **LC**  
SCALE: **1 : 100**  
PROJECT NO.: **125009**

**A202**

**FINISH LEGEND - ADDITION**

- A1 EIFS LIGHT GRAY  
Drvt - Colour: Sandblast HEIK-09-10228
- A2 EIFS WARM BROWN  
Drvt - Colour: Sandblast HEIK-10-10228
- A3 EIFS DARK GRAY  
Drvt - Colour: Sandblast HEIK-11-10228
- A4 EIFS GRAY  
Drvt - Colour: Sandblast HEIK-12-10228
- A5 NEW STONE TO MATCH EXISTING  
Drvt - Colour: Sandblast HEIK-12-10228
- A6 EIFS TRIM GRAY  
Drvt - Colour: Sandblast HEIK-12-10228
- A7 NEW EXTERIOR DOOR COLOUR TO MATCH ADJACENT WALL. SEE DOOR SCHEDULE FOR SPECIFICATIONS.
- GLAZING WITH BIRD FRIENDLY FRITTING PER OTTAWA BIRD-SAFE DESIGN GUIDELINES. FRIT TO BE WHITE AND FOLLOW BELOW DETAILED SPECS.

**ELEVATION KEY NOTES - RENOVATION**

- 1 EXISTING FACADE TO BE PAINTED: LIGHT GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE SW 7666 RHINESTONE
- 2 EXISTING FACADE TO BE PAINTED: DARK GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE SW 7165 AFRICAN GRAY
- 3 EXISTING FACADE TO BE PAINTED: GRAY / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE SW 7034 LAXY GRAY
- 4 EXISTING FACADE TO BE PAINTED: WARM BROWN / SHERWIN WILLIAMS - ULTRACRETE TEXTURE COATING FINE SW 6330 TRUE PENNY
- 5 EXISTING CANOPY TO BE PAINTED: BLACK TO MATCH ALLICORBOND PLUS CLASSIC COLLECTION - GRAPHITE MICA PVD# 2 GLOSS 25-35
- 6 EXISTING STONE TO REMAIN AS IS
- 7 PAINT EXISTING EIFS TRIMS TO MATCH ADJACENT WALL FINISHES, AS NOTED ON ELEVATIONS.
- 8 EXISTING GLAZING AND MULLIONS TO REMAIN AS IS
- 9 EXISTING SPANDREL AND MULLIONS TO REMAIN AS IS
- 10 PAINT EXISTING VTAC COVERS / MECHANICAL GRILLS TO MATCH ADJACENT WALL COLOUR
- 11 PAINT EXISTING DOOR TO MATCH ADJACENT WALL COLOUR
- 12 EXISTING SIGNAGE TO REMAIN AS IS
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- 14 NEW GLASS EXTERIOR DOOR. COLOUR TO MATCH EXISTING DOORS/FRAMES. SEE DOOR SCHEDULE FOR DESIGN & SPECIFICATIONS.
- 15 PREFINISHED ALUMINIUM DOOR & FRAME TO REMAIN AS IS
- 16 REPLACE EXISTING COLUMN DECORATIVE LIGHTS WITH NEW BRONZE 3000K LED 10" HIGH
- 17 EXISTING LIGHTING FIXTURE (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED.
- 18 EXISTING MECHANICAL LOUVER (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED AND RELOCATED AS REQUIRED. REFER TO MECHANICAL DRAWINGS FOR REPORTING AND FINAL LOCATION.
- 19 EXISTING DOORS AND WINDOWS (SHOWN DOTTED, EXISTING WALL BEYOND) TO BE REMOVED FOR NEW ADDITION, TYP.

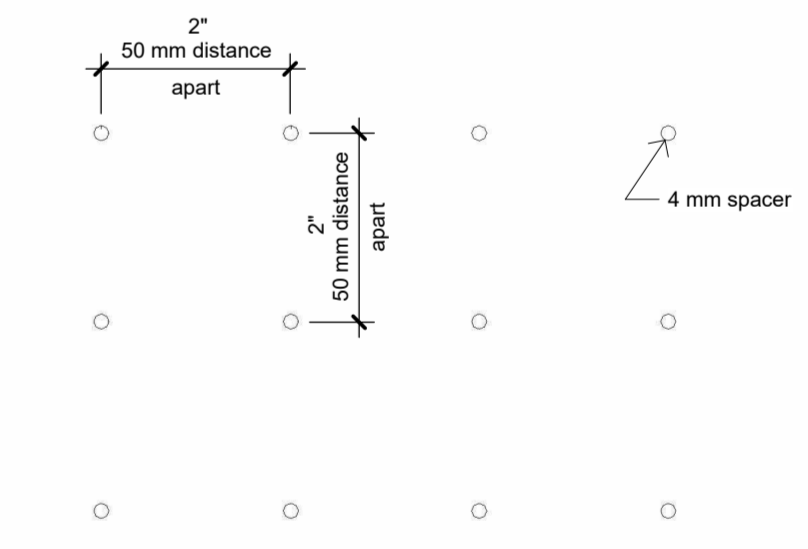
**BIRD-SAFE GLAZING NOTE:**

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TREATMENT TO CONSIST OF HIGH-CONTRAST, 4 MM DIAMETER DOTS, SPACED AT MAXIMUM 50 MM X 50 MM, APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS. PATTERN SHALL COVER A MINIMUM OF 90% OF EACH GLAZED AREA.

**SPECIFICATIONS FOR EFFECTIVE VISUAL MARKERS:**

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- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 mm DIAMETER, OR 2 mm WIDE BY 8 mm LONG FOR LINEAR ELEMENTS.



**GENERAL NOTE:**

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**2 A202** PROPOSED SOUTH ELEVATION  
1 : 100



**1 A202** PROPOSED EAST ELEVATION  
1 : 100

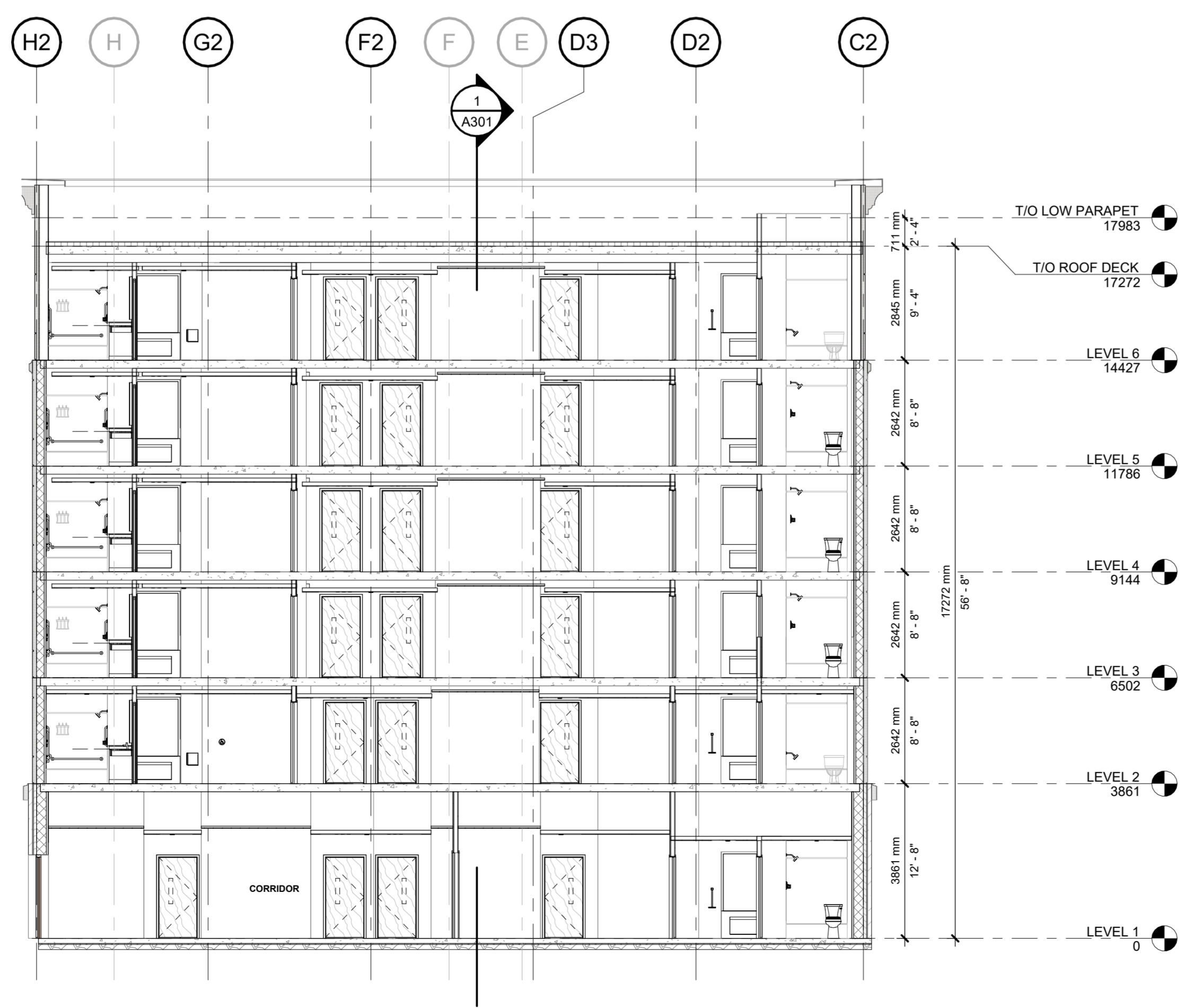
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NO.	ISSUED	DATE
1	COORDINATION	2025-06-23
3	BRAND REVIEW 100%	2025-10-01
2	COORDINATION	2025-10-01
4	COORDINATION	2025-11-03
5	COORDINATION	2025-11-17

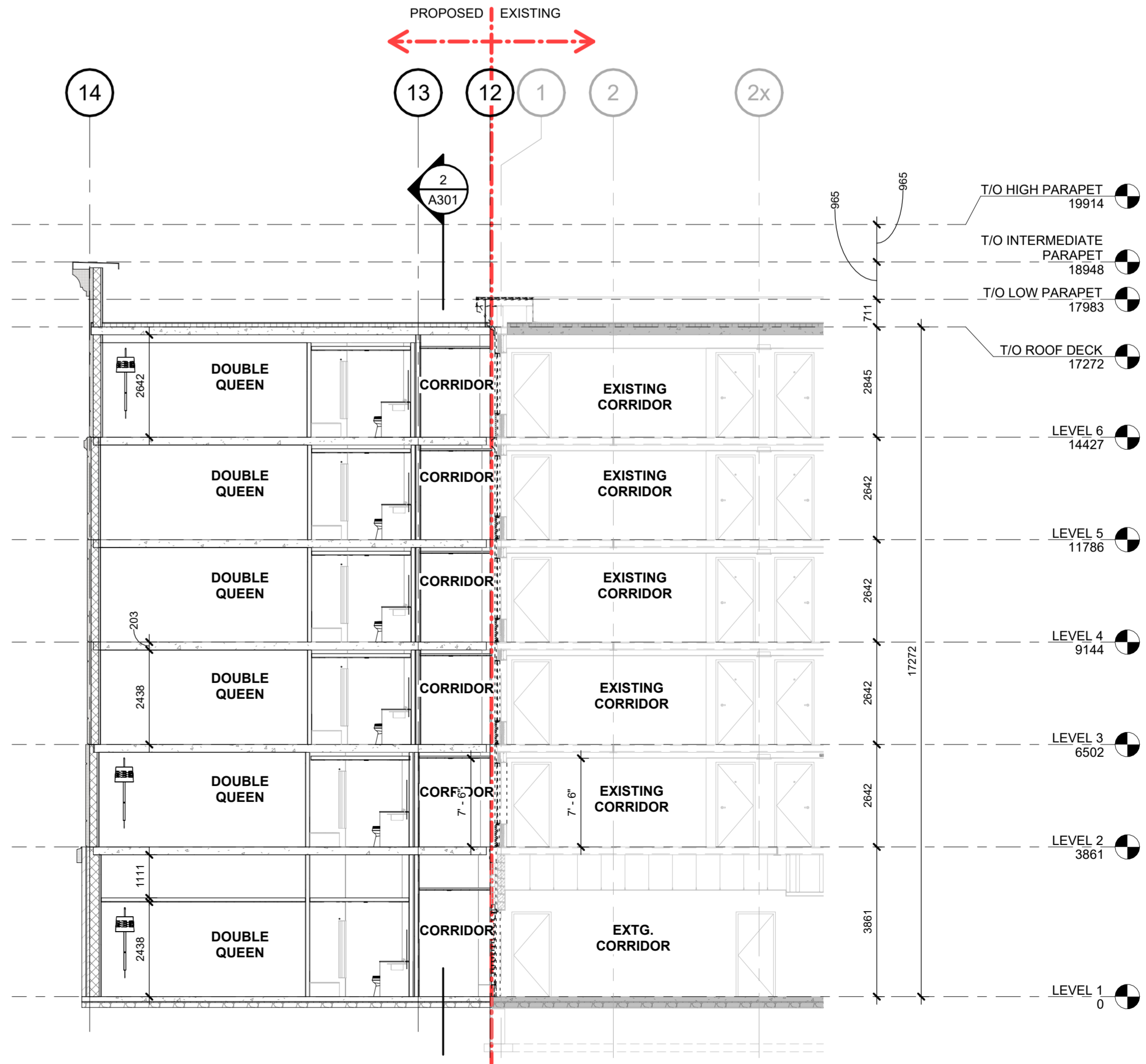
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CLIENT  
**Owner**

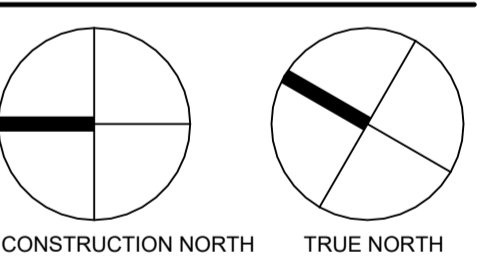
SEAL



**2 SECTION THROUGH NEW GUESTROOMS**  
A301 1:100



**1 SECTION THROUGH CORRIDOR OF NEW AND EXISTING**  
A301 1:100 REF.:1 / A100



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

**BUILDING SECTIONS**

START DATE: **JANUARY 2025**  
DRAWN BY: **Author**  
CHECKED BY: **Checker**  
SCALE: **1:100**  
PROJECT NO.: **125009**

**A301**

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NO.	ISSUED	DATE
1	COORDINATION	2025-06-23
2	COORDINATION	2025-10-01
3	COORDINATION	2025-10-01
4	COORDINATION	2025-11-03
5	COORDINATION	2025-11-17

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CLIENT

Owner

SEAL

PROJECT

**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

SHEET NAME

**CEILING DETAILS**

START DATE

JANUARY 2025

DRAWN BY

AM

CHECKED BY

LC

SCALE

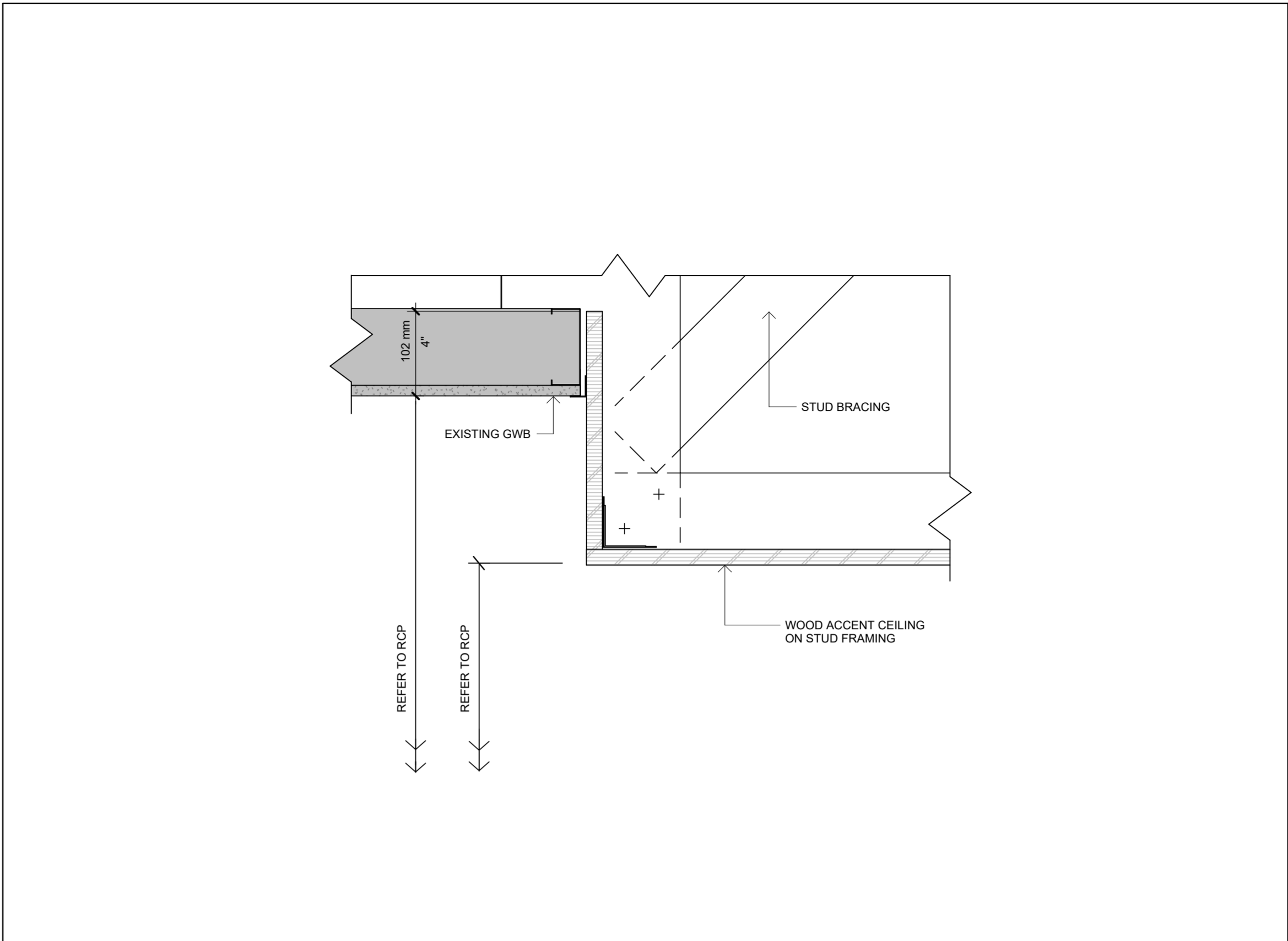
1 : 5

PROJECT NO.

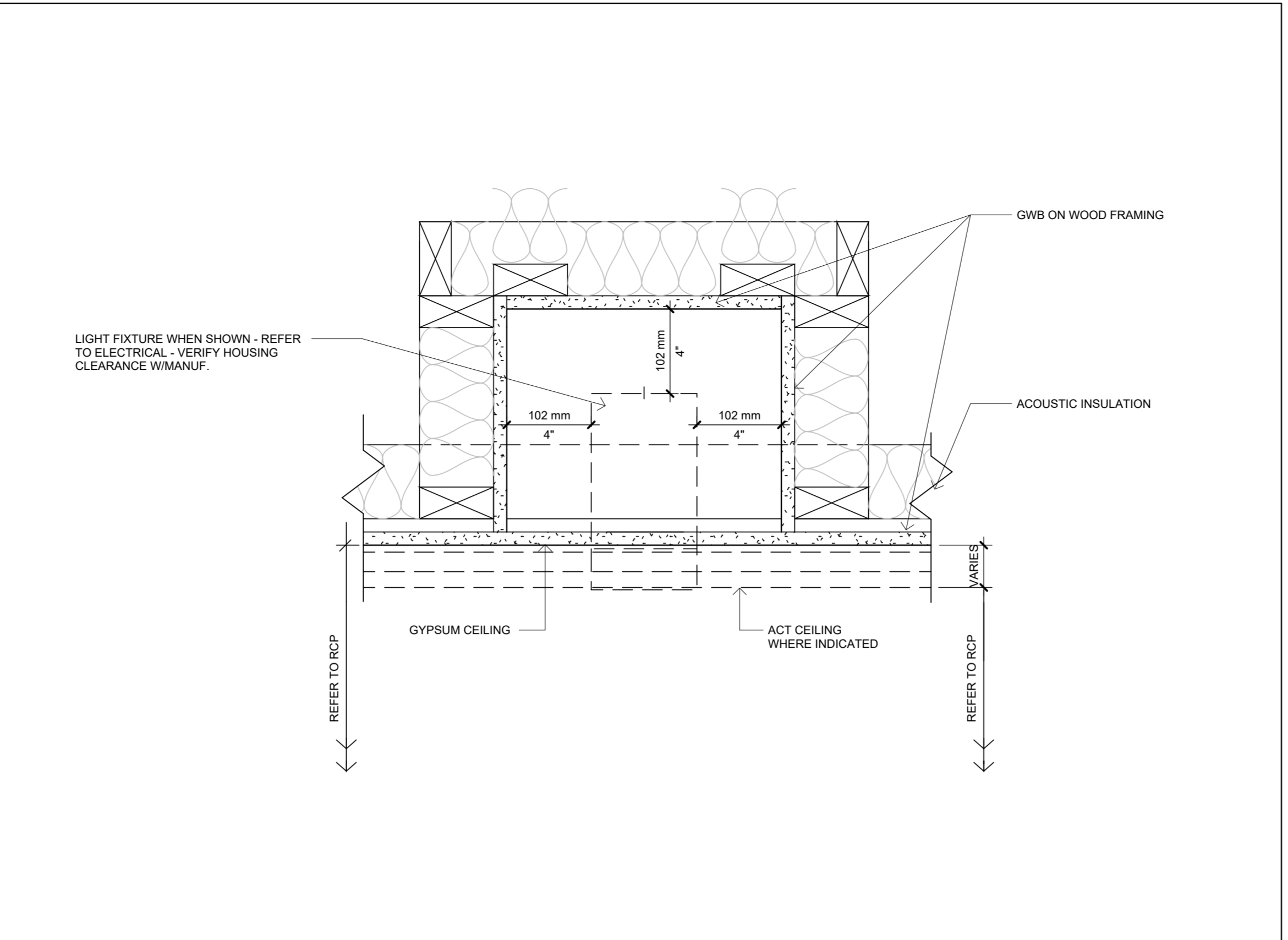
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DRAWING

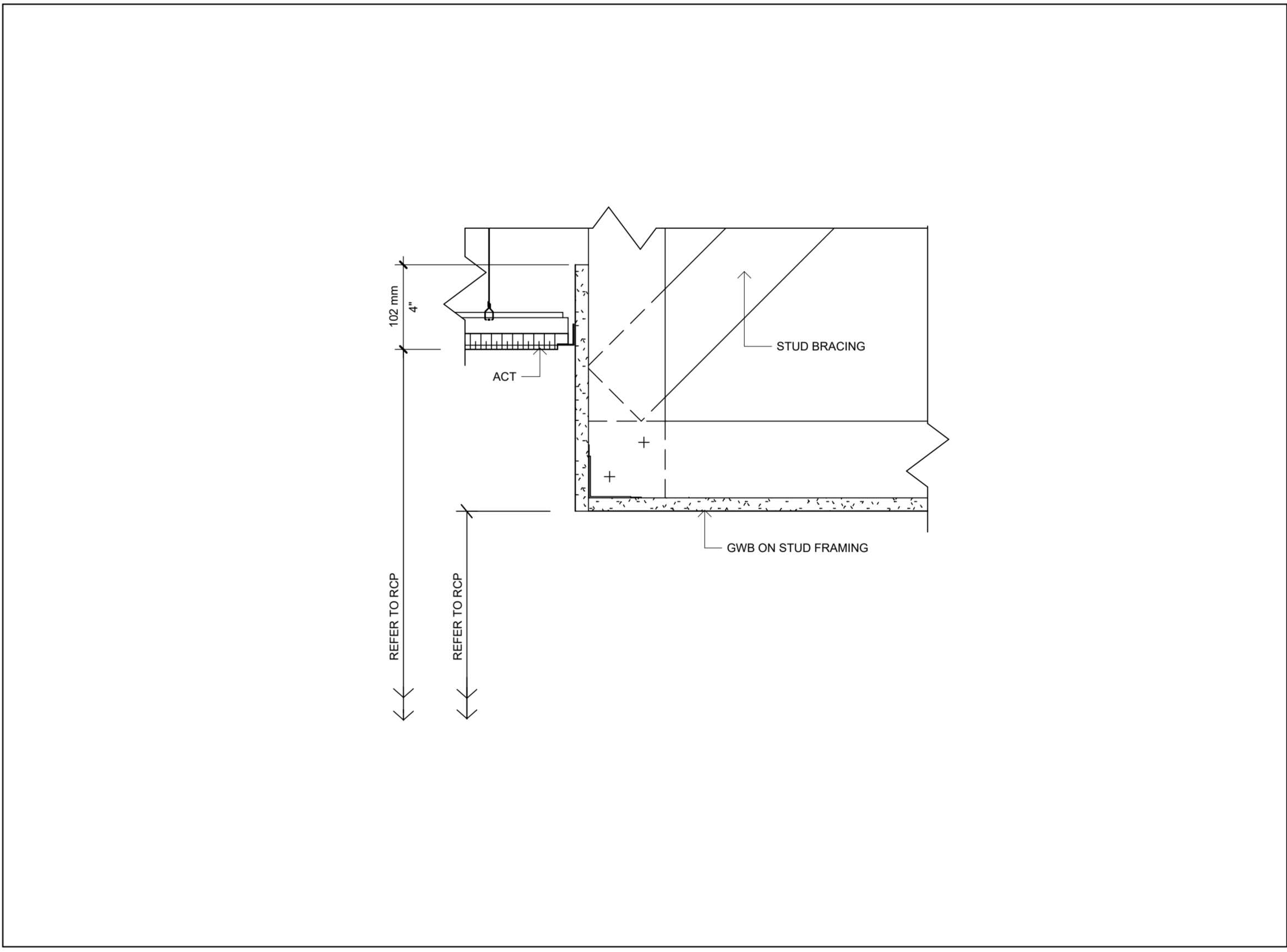
**A302**



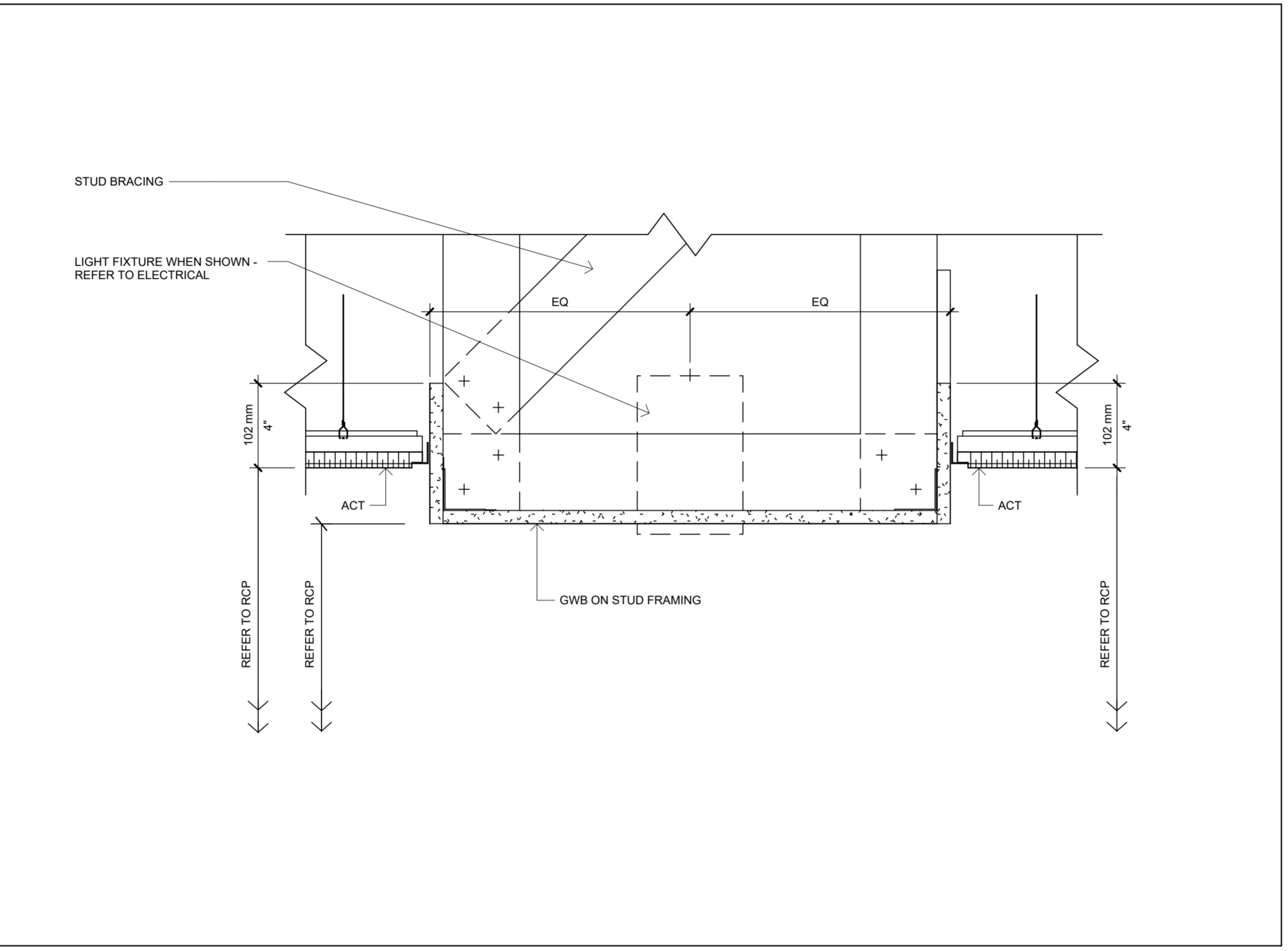
**3 CEILING TRANSITION ACT/WD**  
A302 1 : 5



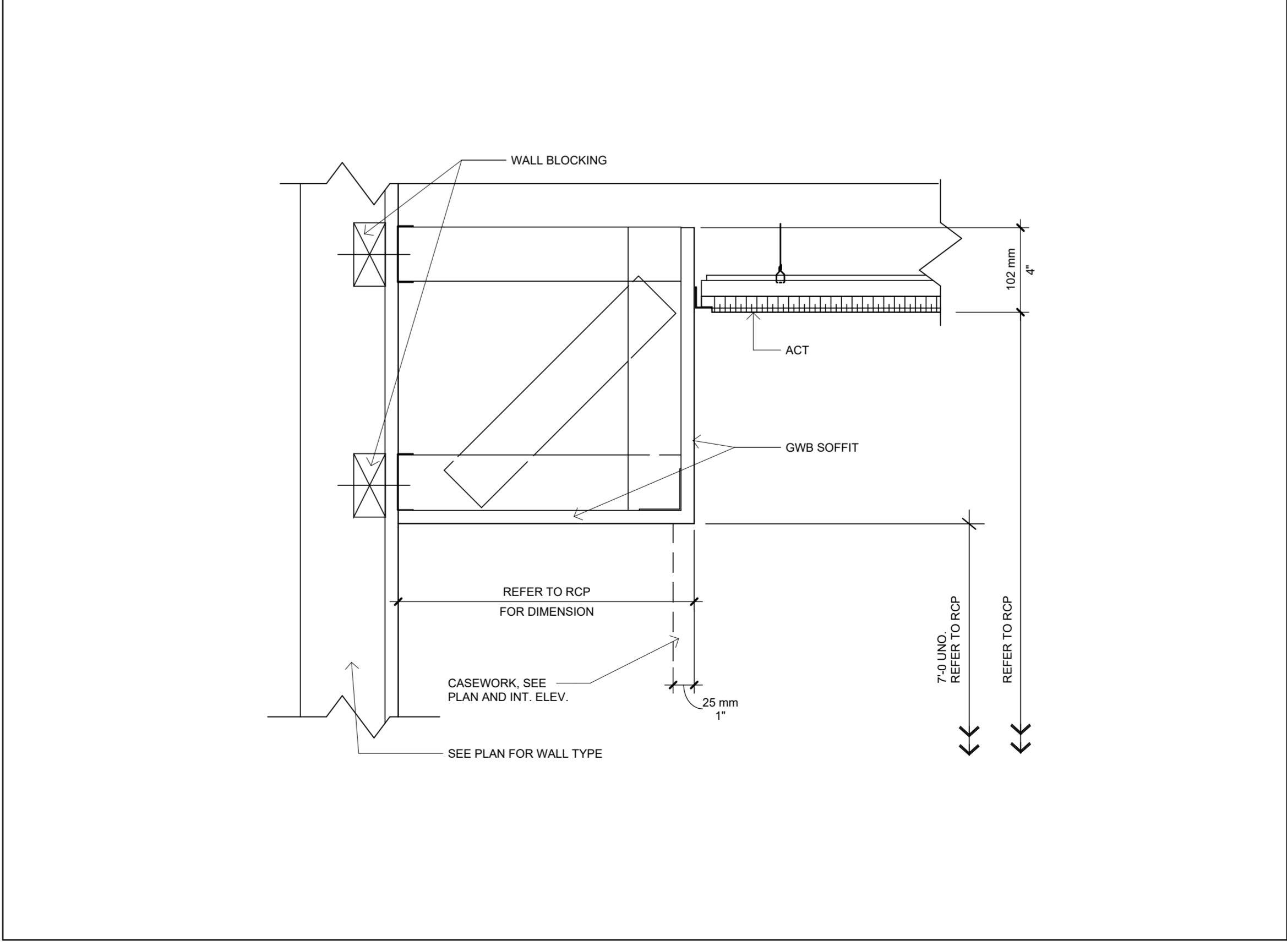
**6 CEILING RECESSED FIXTURES TYP.**  
A302 1 : 5



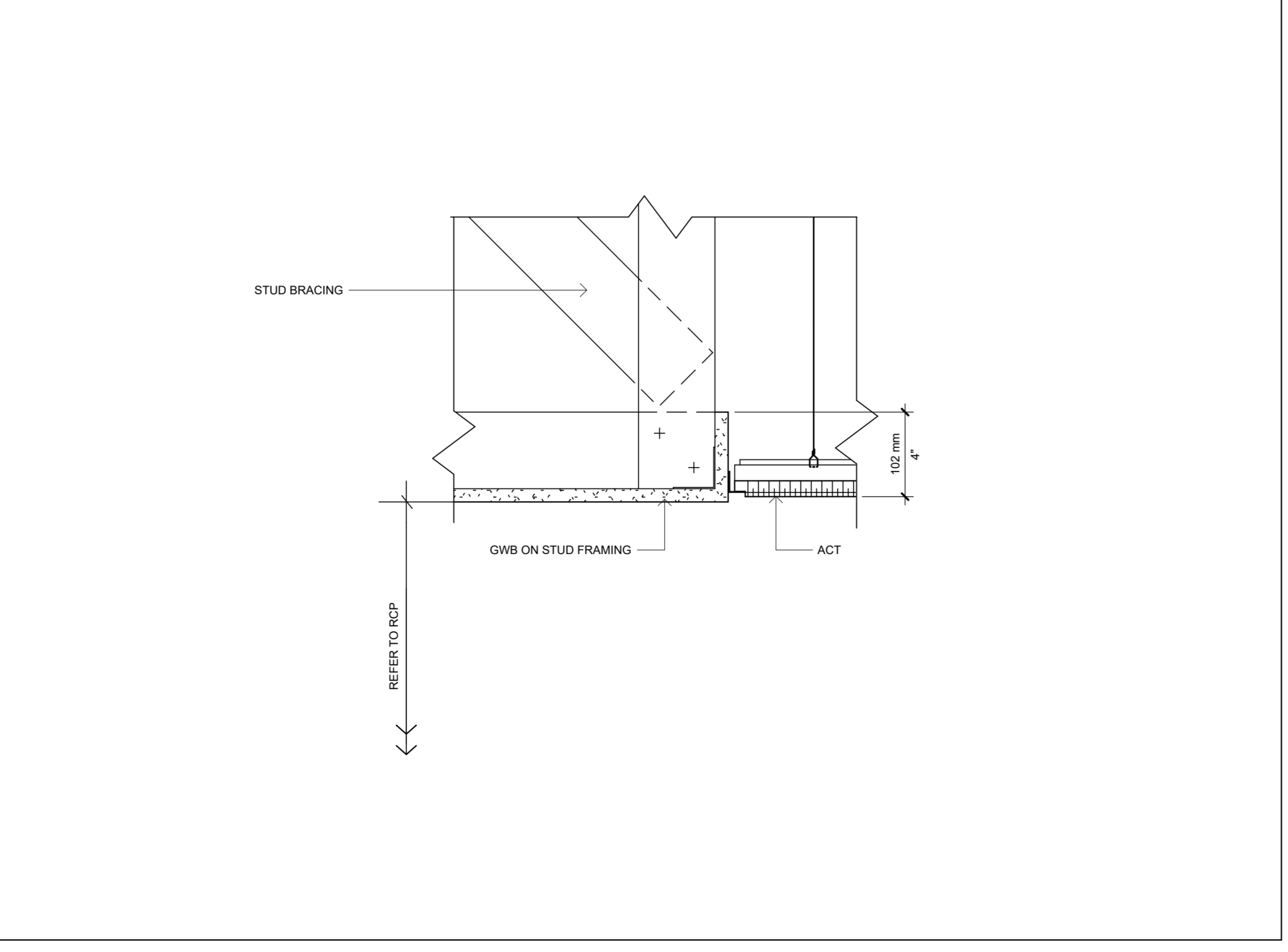
**2 CEILING TRANSITION ACT/GWB**  
A302 1 : 5



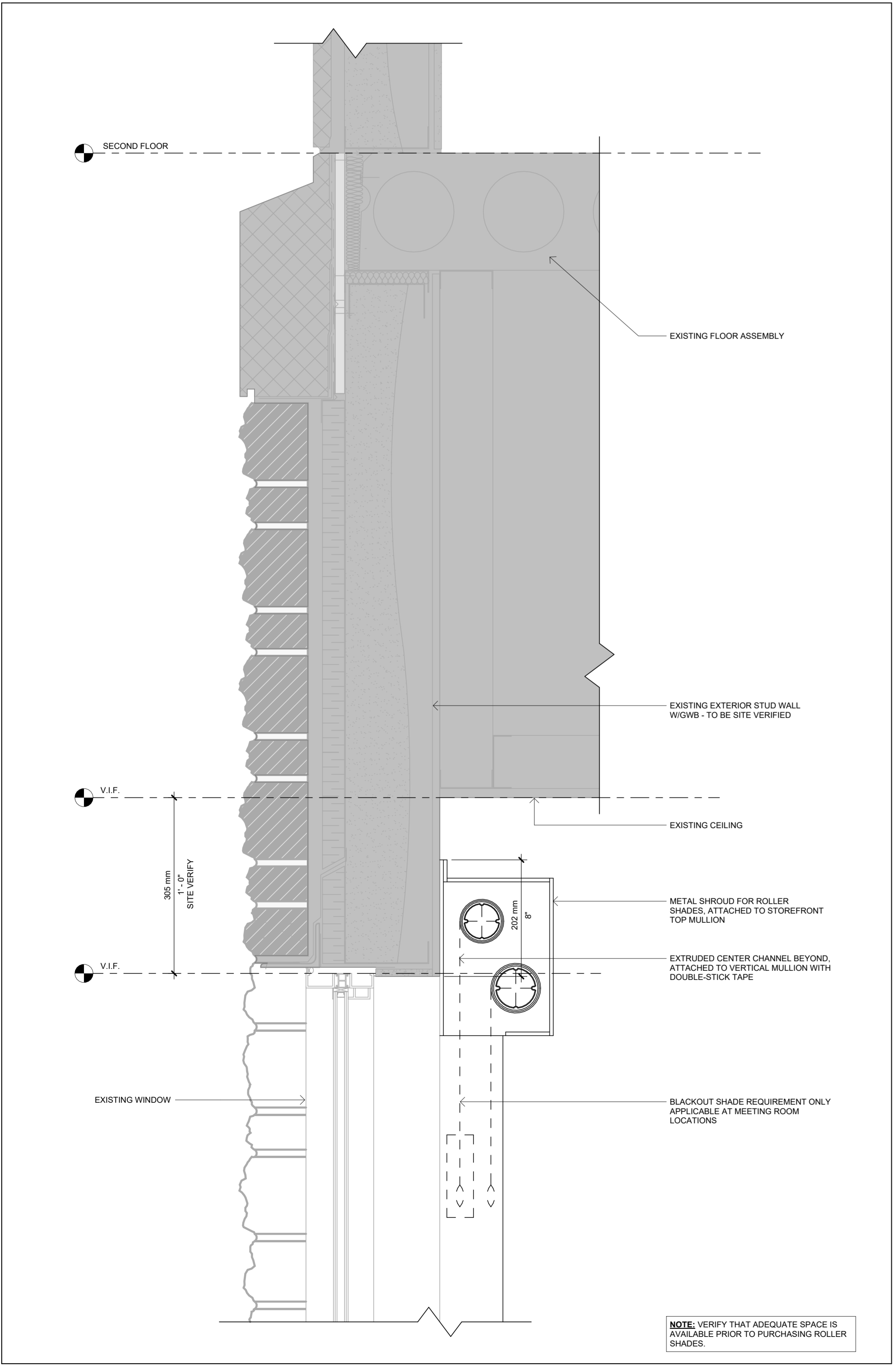
**5 CEILING SOFFIT WITH LIGHT FIXTURE**  
A302 1 : 5



**1 CEILING SOFFITS AT WALL**  
A302 1 : 5



**4 CEILING TRANSITION FLUSH**  
A302 1 : 5



**7 EXTERIOR WALL SECTION @ PUBLIC AREA STOREFRONT HEAD**  
A302 1 : 5

NOTE: VERIFY THAT ADEQUATE SPACE IS AVAILABLE PRIOR TO PURCHASING ROLLER SHADES.

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**EXISTING DOOR SCHEDULE**

MARK	DOOR				FINISH	TYPE	GLAZING	LABEL	FRAME		HDW	REMARKS
	WIDTH	HEIGHT	THICK.	MATERIAL					TYPE	MATERIAL		
GUESTROOMS/SUITES												
A - CORRIDOR TO BEDROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	20 MIN.	A	HOLLOW METAL	1	NOTE 5
B - BEDROOM TO BATH ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	A	HOLLOW METAL	2	
C - BEDROOM TO BEDROOM CONNECTING	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	45 MIN.	A	HOLLOW METAL	4	NOTE 5
D - BEDROOM TO BATHROOM (LACUZE)	PAR 1'-6"	4'-6"	-	-	PAINTED	E	-	-	NONE	-	9	GPR. BD. OPENING
E - BEDROOM TO CLOSET	1'-10"	6'-6"	-	-	MIRROR	E-1	-	-	-	-	9	CUSTOM MIRROR DOOR + GPR. BD. OPENING
F - BEDROOM TO CLOSET	3'-4"	6'-6"	-	-	MIRROR	E-1	-	-	-	-	9	CUSTOM MIRROR DOOR + GPR. BD. OPENING
GROUND FLOOR												
E1010 VESTIBULE (EXTERIOR)	PAR 2'-6" x 7'-0"	-	-	ALUMINUM GLASS	REFINISHED	G	TEMP/INSUL	-	-	ALUMINUM	5	10'-0" WIDE AUTOMATIC SLIDING DOOR UNIT / NOTE 4
E1014 VESTIBULE	PAR 2'-6" x 7'-0"	-	-	ALUMINUM GLASS	REFINISHED	G	TEMP	-	-	ALUMINUM	5	10'-0" WIDE AUTOMATIC SLIDING DOOR UNIT / NOTE 2 & 4
E102 FRONT DESK	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	-	HOLLOW METAL	11	PROVIDE AUTOMATIC DOOR OPER. (B.F. REG.)
E104 CMA / SALES OFFICE	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	A	-	-	-	HOLLOW METAL	13	
E107 PK	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	-	-	HOLLOW METAL	10	
E108 STAFF BREAK ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	A	-	-	-	HOLLOW METAL	15	-
E108A STAFF BREAK ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	WIRED GLASS	3/4 HOUR	A	HOLLOW METAL	10	c/w VISION LIFE
E109 LAUNDRY	3'-6"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	20	
E109A DRESS	2'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	-	-	HOLLOW METAL	23	
E110 STAFF WIR	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	-	-	HOLLOW METAL	3	
E111 LINEN CHUTE	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	1-1/2 HOUR	A	HOLLOW METAL	25	
E112 MEN'S WASH ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	-	HOLLOW METAL	14	PROVIDE VENTED LOUVER
E113 WOMEN'S WASH ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	-	HOLLOW METAL	14	PROVIDE VENTED LOUVER
E114 MECHANICAL ROOM	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	19	
E115 STORAGE	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	23	
E116 BOARD ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	A	-	-	-	HOLLOW METAL	16	NOTE 3
E116A BOARD ROOM CLOSET	2'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	-	HOLLOW METAL	12	
E117 MEETING ROOM	2'-3/4"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	B	-	-	-	HOLLOW METAL	17	NOTE 3
E117A MEETING ROOM STORAGE	2'-2"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	B	-	-	-	HOLLOW METAL	10A	
E117B MEETING ROOM (EXTERIOR)	3'-0"	7'-0"	-	ALUMINUM GLASS	REFINISHED	D	TEMP/INSUL	-	-	ALUMINUM	8	EXTERIOR INSULATED DOOR & FRAME, OPAQUE TINT TO DR. + SIDING
E118 PANTRY	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	A	-	-	-	HOLLOW METAL	10	
E118A PANTRY	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	-	HOLLOW METAL	10	
E121 GREAT ROOM (EXTERIOR)	3'-0"	7'-0"	-	ALUMINUM GLASS	REFINISHED	D	TEMP/INSUL	-	-	ALUMINUM	8	EXTERIOR INSULATED DOOR AND FRAME
E122 DRESSING ROOM	3'-0"	6'-6"	-	ALUMINUM GLASS	REFINISHED	D	TEMP	-	-	ALUMINUM	6	NOTE 2
E123 STORAGE CLOSET	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	-	-	HOLLOW METAL	10	
E123A LOCKER ROOM	3'-0"	6'-6"	1-3/4"	ALUMINUM GLASS	REFINISHED	D	TEMP	-	-	ALUMINUM	6	NOTE 2
E124 INDOOR POOL (EXTERIOR)	3'-0"	6'-6"	1-3/4"	ALUMINUM GLASS	REFINISHED	D	TEMP/INSUL	-	-	ALUMINUM	8	EXTERIOR INSULATED DOOR AND FRAME
E126 POOL EQUIPMENT	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	23	SOUND SEAL
E127 POOL WASH ROOM	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	-	-	HOLLOW METAL	3	
E128 CORRIDOR (EXTERIOR) - TO BE REMOVED	3'-0"	7'-2"	-	ALUMINUM GLASS	REFINISHED	D	TEMP/INSUL	-	-	ALUMINUM	8	NOTE 2
E129 ELECTRICAL ROOM	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	23	
E130 MEETING ROOM	2'-3/4"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	B	-	-	-	HOLLOW METAL	17	NOTE 3
E130A MEETING ROOM STORAGE	2'-2"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	B	-	-	-	HOLLOW METAL	10A	
E131 MEETING ROOM	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	A	-	-	-	HOLLOW METAL	10	
E132 ELEVATOR MACHINE ROOM	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	A	-	3/4 HOUR	A	HOLLOW METAL	23	SOUND SEAL
E133 LUGGAGE STORAGE	3'-0"	6'-6"	1-3/4"	SOLID CORE WOOD	SPANED/URBATHANE	A	-	-	-	HOLLOW METAL	10	
E131A STAFF #1	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	WIRED GLASS	1-1/2 HOUR	A	HOLLOW METAL	25	c/w VISION LIFE
E131A STAFF #1 (EXTERIOR) - TO BE REMOVED	3'-0"	7'-2"	-	HOLLOW METAL	PAINTED	F	WIRED GLASS	1-1/2 HOUR	A	HOLLOW METAL	25	EXTERIOR INSULATED DOOR AND FRAME
E132A STAFF #2	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	WIRED GLASS	1-1/2 HOUR	A	HOLLOW METAL	25	c/w VISION LIFE
E132B STAFF #2 (EXTERIOR) - TO BE REMOVED	3'-0"	7'-2"	-	HOLLOW METAL	PAINTED	F	WIRED GLASS	1-1/2 HOUR	A	HOLLOW METAL	24	EXTERIOR INSULATED DOOR AND FRAME
UPPER FLOORS												
E1312, E1313, E1314, E1315, E1314 STAR #1	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	WIRED GLASS	1-1/2 HOUR	A	HOLLOW METAL	25	c/w VISION LIFE
E1321, E1324, E1325, E131 STAR #2	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	WIRED GLASS	1-1/2 HOUR	A	HOLLOW METAL	25	c/w VISION LIFE
E131, E1311, E1312, E131 MEETING ROOM	2'-3/4"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	B	-	-	-	HOLLOW METAL	10	
E41 ELECTRICAL ROOM	2'-3/4"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F-1	-	3/4 HOUR	B	HOLLOW METAL	10A	
E29, E30, E42, E52, E42 ELECTRICAL	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	10	
E293, E333, E433, E533, E633 LINEN CHUTE	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	10	
E254 GUEST LAUNDRY	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	H	-	3/4 HOUR	A	HOLLOW METAL	19	
E255, E455, E555 WARDING	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	H	WIRED GLASS / TEMP	3/4 HOUR	A	HOLLOW METAL	15	
E354, E454, E554, E654 STORAGE	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	10	
E256, E355, E455, E555, E654 LINEN	3'-0"	6'-6"	1-3/4"	HOLLOW METAL	PAINTED	F	-	3/4 HOUR	A	HOLLOW METAL	10	
E257, E357, E457, E557, E657 ELEVATOR LOBBY	2'-3/4"	6'-6"	1-3/4"	SOLID CORE WOOD	PAINTED	C	GLASS / TEMP	-	-	HOLLOW METAL	26	DOORS TO BE RELEASED IN THE EVENT OF A FIRE & CONNECTED TO FIRE ALARM SYSTEM

**PROPOSED DOOR SCHEDULE**

Type Mark	LOCATION	WIDTH	HEIGHT	THICK NESS	DOOR			FRAME		FIRE RATING	HARDWARE	COMMENTS
					TYPE	MATERIAL	FINISH	TYPE	MATERIAL			
01 GROUND LEVEL												
11C	CORRIDOR TO LOBBY	1320	2135	45	D7	HM		A	HM	45 MIN.	20	
11D	LOBBY TO EXTERIOR	965	2030	45	D3	HM		A	HM	21		
103A	NEW OFFICE	915	2030	45	D2	SCD		A	HM	14		PROVIDE THROW DEADBOLT/LATCH/BOLT
121A	BREAKFAST	1725	2285	45	D6	SCD		A	HM	22		SLIDING POCKET DOORS
128	CORRIDOR TO EXTERIOR	915	2185	45	D3	ALUM/GLASS	PREFINISHED	C	ALUM		9	COLOUR TO MATCH THE EXISTING ALUM. DOORS
S11B	STAIR	965	2030	45	D5	HM		A	HM	45 MIN.	20	
S21B	STAIR EXTERIOR	915	2185	45	D2	HM		A	HM	21		
02 GUESTROOMS												
G01A	GUESTROOM ENTRY	965	2030	45	D1	SCD		A	HM	20 MIN.	1A	
G01B	ACC GUESTROOM ENTRY	965	2030	45	D1	SCD		A	HM	20 MIN.	1B	
G02A	GUESTROOM WASHROOM	915	2030	45	D4	<varies>		<varies>	<varies>		2	
G02B	ACC WASHROOM	1015	2030	45	D4	SCD		D	N/A		3	

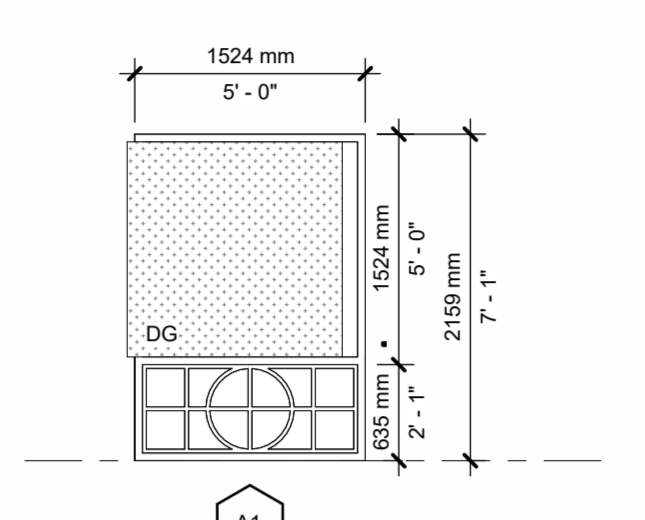
**DOOR FINISH NOTES:**

- EXISTING & NEW PUBLIC AREA SOLID CORE WOOD DOORS TO BE CW EXP2-PL30 FINISH TYP. U.O.N.
- EXISTING & NEW PUBLIC AREA HOLLOW METAL DOORS TO BE CW EXP2-F130 FINISH TYP. U.O.N.
- NEW DOOR 121A POCKET DOORS & DOOR FRAMES AT BREAKFAST AREA TO BE CW EXP2-W022 FINISH TYP.
- DOOR 118 ON GROUND FLOOR BETWEEN BREAKFAST & PANTRY TO BE CW EXP2-F130 FINISH TYP. U.O.N.
- ALL EXISTING DOORS TO REMAIN TO BE REFINISHED LIKE NEW

**DOOR HARDWARE FINISH NOTES:**

- HARDWARE FINISHES AND BASE METALS SHALL BE LISTED BELOW, UNLESS OTHERWISE INDICATED.
- EXTERIOR HINGES - US22D ON STAINLESS STEEL
  - INTERIOR HINGES - US22D ON BRASS OR BRONZE
  - FLUSH BOLTS - US22D ON BRASS OR BRONZE
  - ELECTRONIC LOCKS - SEE IHG ELECTRONIC DOOR LOCKS GUIDE
  - EXIT DEVICES - 33 SERIES SPRAYED ALUMINUM
  - PULLS, PUSH PLATES/BARS - US22D ON STAINLESS STEEL
  - COORDINATORS - US22D ON STEEL
  - CLOSERS - SPRAYED ALUMINUM
  - OVERHEAD STOPHOLDERS - US22D ON BRASS OR BRONZE
  - NICK PLATE - US22D ON STAINLESS STEEL
  - DOOR EDGE GUARDS - US22D ON STAINLESS STEEL
  - ARMOR PLATES - US22D ON STAINLESS STEEL
  - STOPS, HOLDERS - US22D ON BRASS OR BRONZE
  - MISCELLANEOUS - US22D ON BRASS OR BRONZE
- HARDWARE ON ALUMINUM DOORS SHALL MATCH FINISH OF DOORS AND FRAME.
- US32 AND US32D SOLID 18-8 CHROMIUM-NICKEL, 300 SERIES, "AUSTENITIC", NON-MAGNETIC
  - STRAIGHT CHROME-IRON (MAGNETIC) ARE NOT ACCEPTABLE, EXCEPT AS HINGE PINS
  - FOR ITEMS NOT AVAILABLE IN US32 OR US32D PROVIDE US26 OR US26D

**WINDOW SCHEDULE**



**GENERAL NOTES**

- VERIFY ALL ROUGH OPENING DIMENSIONS AS REQUIRED TO MATCH WINDOW SIZES AS SHOWN.
  - ALL STOREFRONT & WINDOWS LOCATED ON EXTERIOR WALLS SHALL HAVE INSULATED GLAZING.
  - WINDOW MULLIONS NOT DIMENSIONED ARE ASSUMED TO BE 50mm
  - ALL WINDOWS TO BE REFINISHED ALUMINUM THERMALLY BROKEN FRAMES WITH SEALED DOUBLE GLAZING UNLESS NOTED OTHERWISE.
  - GLAZING AT EXTERIOR DOORS & SIDELITE TO BE TEMPERED
  - GLAZING AT INTERIOR DOOR & SIDELITE TO BE CLEAR TEMPERED
- NEW WINDOW AND LOUVER TO MATCH EXISTING DESIGN & COLOUR WITH FRETTED GLASS PER CITY OF OTTAWA BIRD-SAFE DESIGN GUIDELINES.

**WINDOW SCHEDULE ABBREVIATIONS**

- DG - CLEAR DOUBLE GLAZING
- US32 AND US32D SOLID 18-8 CHROMIUM-NICKEL, 300 SERIES, "AUSTENITIC", NON-MAGNETIC
  - STRAIGHT CHROME-IRON (MAGNETIC) ARE NOT ACCEPTABLE, EXCEPT AS HINGE PINS
  - FOR ITEMS NOT AVAILABLE IN US32 OR US32D PROVIDE US26 OR US26D

**PROPOSED DOOR HARDWARE SCHEDULE**

SET #	DESCRIPTION	SET #	DESCRIPTION	SET #	DESCRIPTION	SET #	DESCRIPTION
SET #1	CORRIDOR TO GUEST BEDROOM	SET #11	3 EA. HINGES	SET #22	OMITTED	SET #33	3 EA. HINGES
SET #2	BEDROOM TO BATH	SET #12	3 EA. HINGES	SET #23	3 EA. HINGES	SET #34	3 EA. HINGES
SET #3	BEDROOM TO BEDROOM	SET #13	3 EA. HINGES	SET #24	3 EA. HINGES	SET #35	3 EA. HINGES
SET #4	BEDROOM TO BEDROOM	SET #14	3 EA. HINGES	SET #25	3 EA. HINGES	SET #36	3 EA. HINGES
SET #5	BEDROOM TO BEDROOM	SET #15	3 EA. HINGES	SET #26	3 EA. HINGES	SET #37	3 EA. HINGES
SET #6	BEDROOM TO BEDROOM	SET #16	3 EA. HINGES	SET #27	3 EA. HINGES	SET #38	3 EA. HINGES
SET #7	BEDROOM TO BEDROOM	SET #17	3 EA. HINGES	SET #28	3 EA. HINGES	SET #39	3 EA. HINGES
SET #8	BEDROOM TO BEDROOM	SET #18	3 EA. HINGES	SET #29	3 EA. HINGES	SET #40	3 EA. HINGES
SET #9	BEDROOM TO BEDROOM	SET #19	3 EA. HINGES	SET #30	3 EA. HINGES	SET #41	3 EA. HINGES
SET #10	BEDROOM TO BEDROOM	SET #20	3 EA. HINGES	SET #31	3 EA. HINGES	SET #42	3 EA. HINGES
SET #11	BEDROOM TO BEDROOM	SET #21	3 EA. HINGES	SET #32	3 EA. HINGES	SET #43	3 EA. HINGES
SET #12	BEDROOM TO BEDROOM	SET #22	3 EA. HINGES	SET #33	3 EA. HINGES	SET #44	3 EA. HINGES
SET #13	BEDROOM TO BEDROOM	SET #23	3 EA. HINGES	SET #34	3 EA. HINGES	SET #45	3 EA. HINGES
SET #14	BEDROOM TO BEDROOM	SET #24	3 EA. HINGES	SET #35	3 EA. HINGES	SET #46	3 EA. HINGES
SET #15	BEDROOM TO BEDROOM	SET #25	3 EA. HINGES	SET #36	3 EA. HINGES	SET #47	3 EA. HINGES
SET #16	BEDROOM TO BEDROOM	SET #26	3 EA. HINGES	SET #37	3 EA. HINGES	SET #48	3 EA. HINGES
SET #17	BEDROOM TO BEDROOM	SET #27	3 EA. HINGES	SET #38	3 EA. HINGES	SET #49	3 EA. HINGES
SET #18	BEDROOM TO BEDROOM	SET #28	3 EA. HINGES	SET #39	3 EA. HINGES	SET #50	



**GUEST ROOM KEY NOTES**

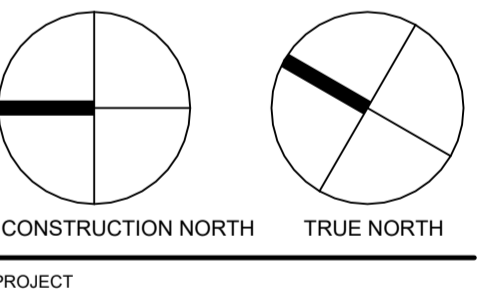
- 1 EXISTING VANITY, MIRROR AND LIGHT TO BE REPLACED WITH NEW
- 2 EXISTING CLOSET TO BE NEW REFRESHMENT COUNTER
- 3 ALL EXISTING CASEGOOD, FURNITURE AND DECORATIVE LIGHTING TO BE REMOVED AND REPLACED WITH NEW
- 4 EXISTING MILLWORK TO BE REPLACED WITH NEW
- 5 EXISTING CLOSET TO BE REPLACED WITH NEW MILLWORK

NO.	ISSUED	DATE
1	00 - CLIENT REVIEW	2025-05-22
2	COORDINATION	2025-06-23
3	COORDINATION	2025-10-01
4	COORDINATION	2025-10-01
5	COORDINATION	2025-11-03
6	COORDINATION	2025-11-17

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CLIENT  
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SCALE



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RENO**

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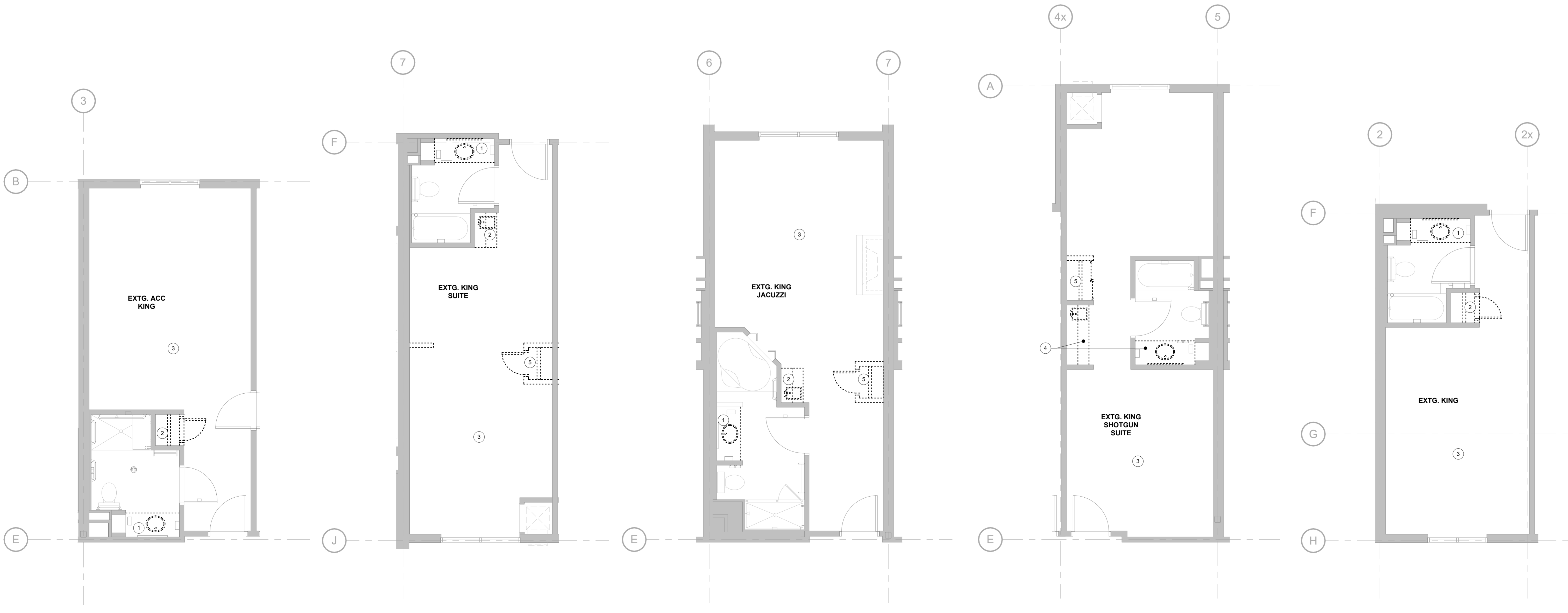
**ENLARGED SUITE'S  
FLOOR PLAN**

START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

**A701**



8 EXTG. ACC. DOUBLE QUEEN 1:50  
6 EXTG. DOUBLE QUEEN EXTENDED SUITE 1:50  
4 EXTG. DOUBLE QUEEN EXTENDED ROOM 1:50  
2 EXTG. ACC. KING SUITE 1:50



9 EXTG. ACC. KING 1:50  
7 EXTG. KING SUITE 1:50  
5 EXTG. KING JACUZZI ROOM 1:50  
3 EXTG. KING SHOTGUN SUITE 1:50  
1 EXTG. KING ROOM 1:50

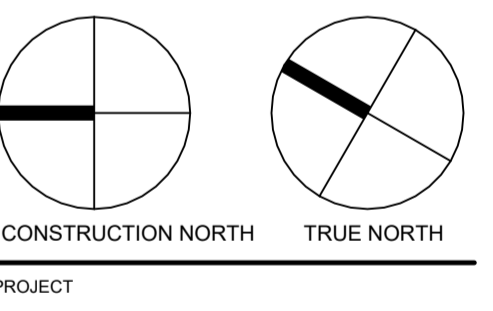
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NO.	ISSUED	DATE
1	ID - CLIENT REVIEW	2025-05-22
2	COORDINATION	2025-06-23
4	BRAND REVIEW 10%	2025-10-01
3	COORDINATION	2025-10-01
5	COORDINATION	2025-11-03
6	COORDINATION	2025-11-17

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2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

**ENLARGED SUITE'S  
FLOOR PLAN**

START DATE  
**JANUARY 2025**

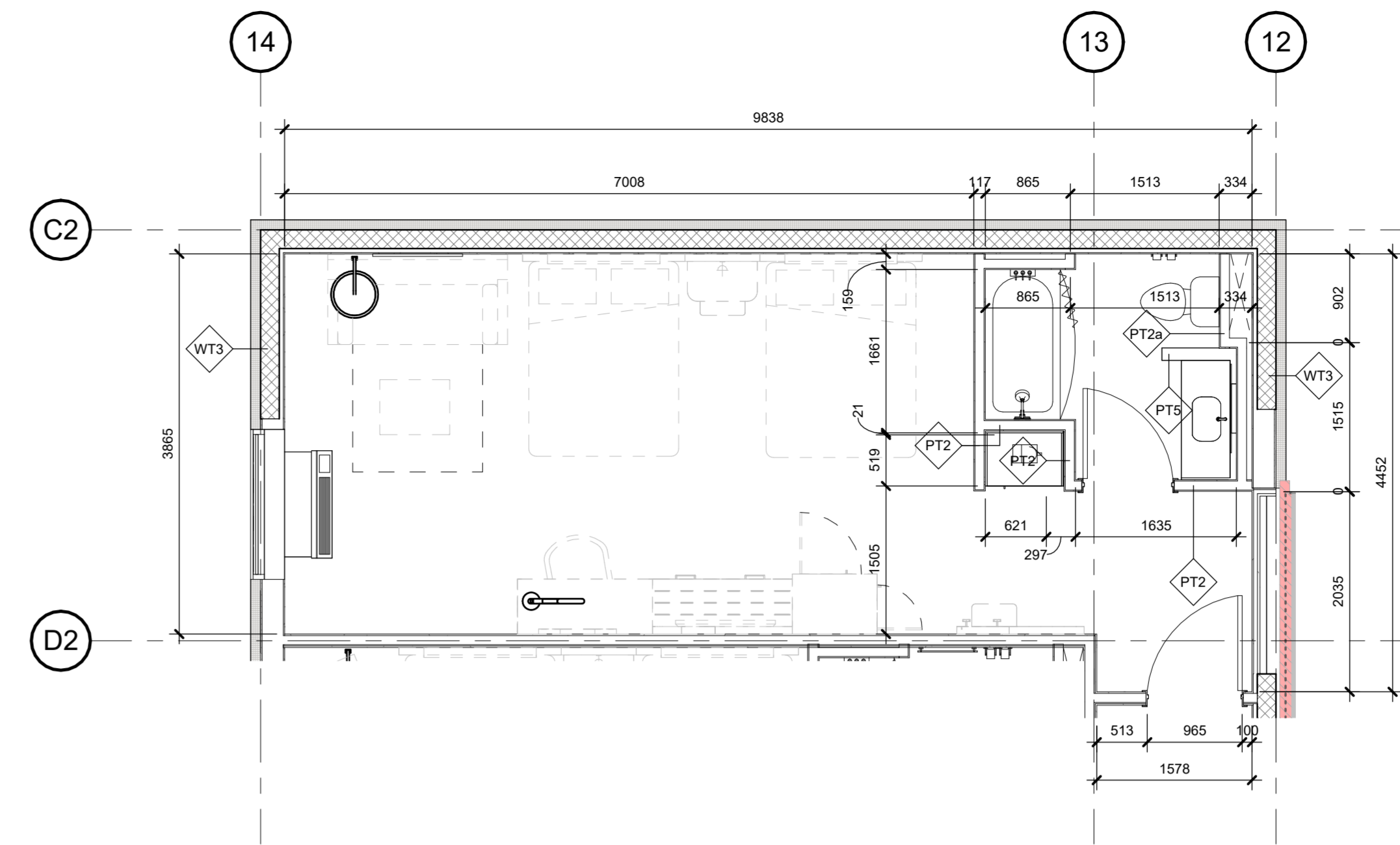
DRAWN BY  
**AM**

CHECKED BY  
**LC**

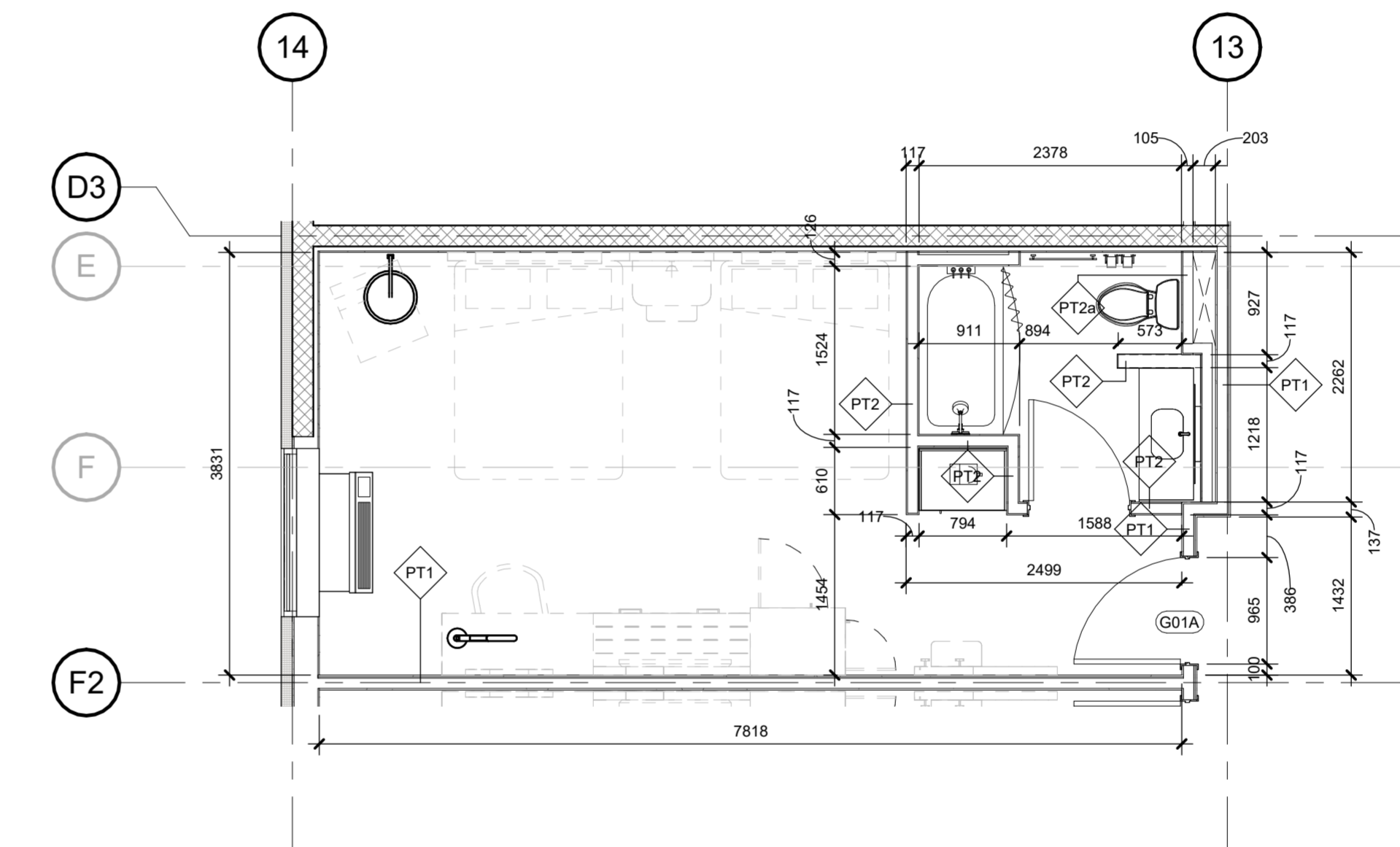
SCALE  
**1 : 50**

PROJECT NO.  
**125009**

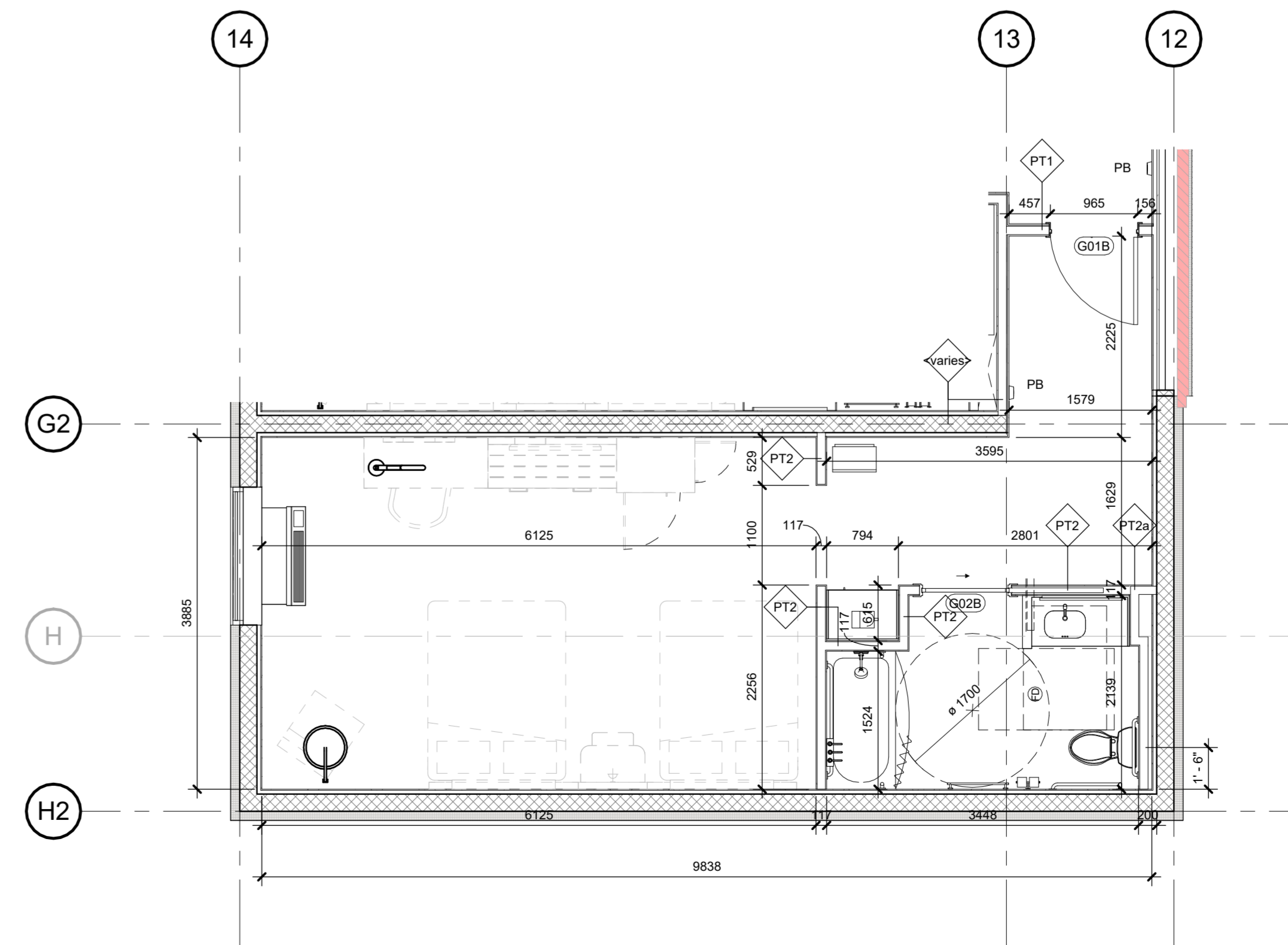
DRAWING  
**A702**



**3 DOUBLE QUEEN SUITE**  
A702 1 : 50



**2 DOUBLE QUEEN**  
A702 1 : 50



**1 ACC. DOUBLE QUEEN**  
A702 1 : 50

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**RCP GENERAL NOTES**

1. REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
2. REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
3. PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
4. REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
5. WHERE REQUIRED, PROVIDE 12"x12" FDBW - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
6. RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- 1 EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- 2 REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- 3 EXISTING WALL SCOURCE TO BE REMOVED

**POWER PLAN NOTES**

- 1 (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- 2 (STANDARD) AT COFFEE MAKER
- 3 (STANDARD) AT REFRIGERATOR
- 4 NOT USED
- 5 (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- 6 (OPTIONAL) VOICEDATA RECEPTACLE. TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- 7 OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER SIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK, AS REQUIRED.
- 8 NOT USED
- 9 GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- 10 ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AHDRWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- 11 IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

NO.	ISSUED	DATE
1	ID - CLIENT REVIEW	2025-05-22
2	BRAND REVIEW R2	2025-06-11
3	COORDINATION	2025-06-23
4	BRAND REVIEW 100%	2025-10-01
5	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

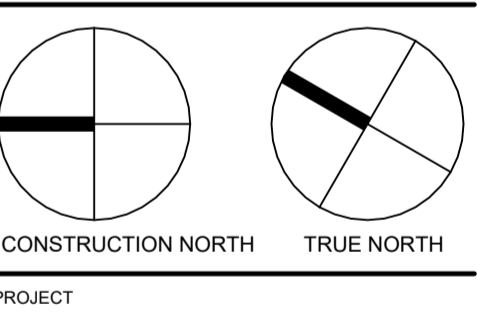
DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP.

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CLIENT

Owner

SCALE



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**ENLARGED SUITE -  
EXISTING KING  
PARTITION, POWER  
& BLOCKING**

START DATE  
JANUARY 2025

DRAWN BY  
AM

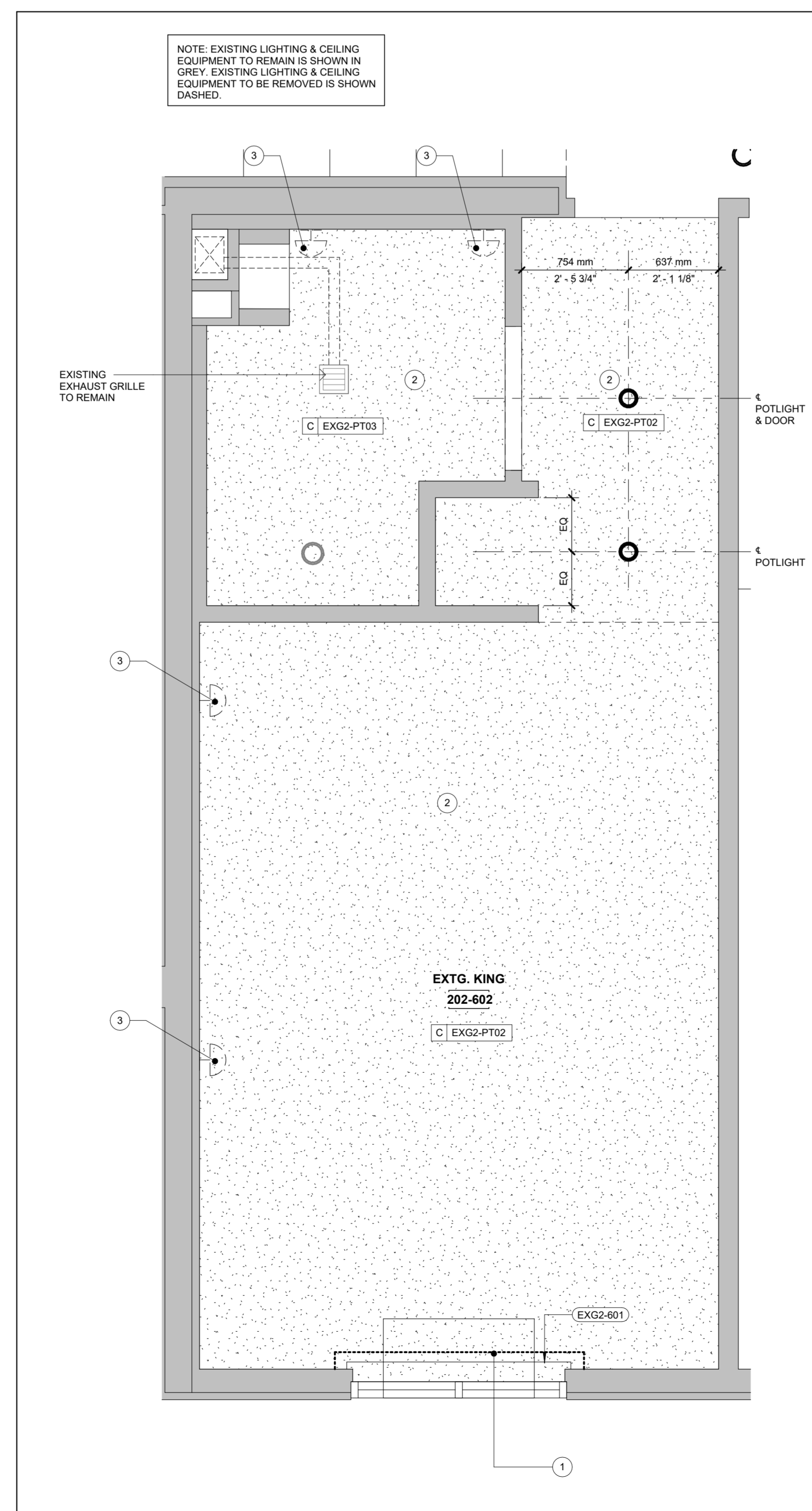
CHECKED BY  
LC

SCALE  
As indicated

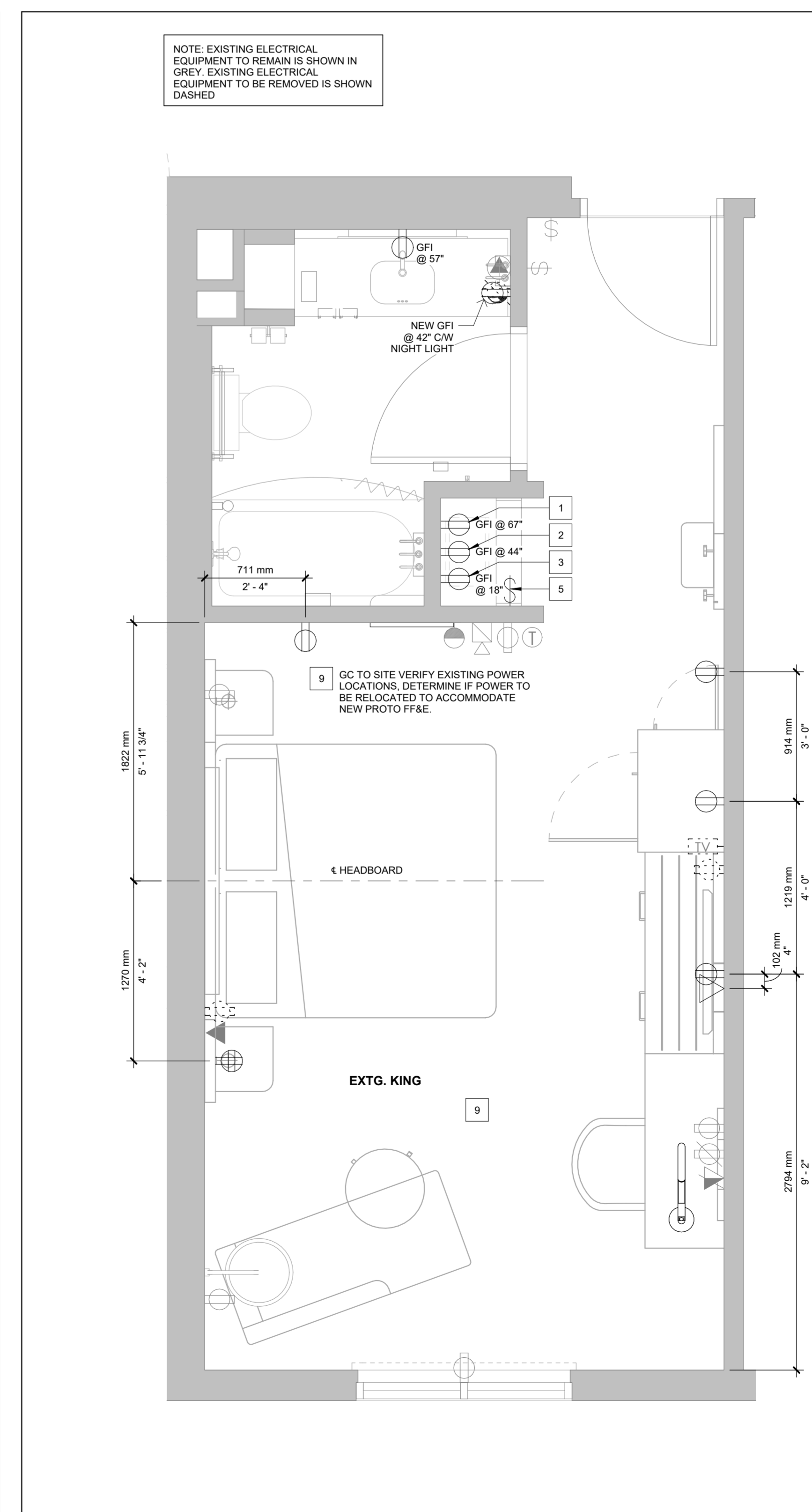
PROJECT NO.  
125009

DRAWING

**A703.1**



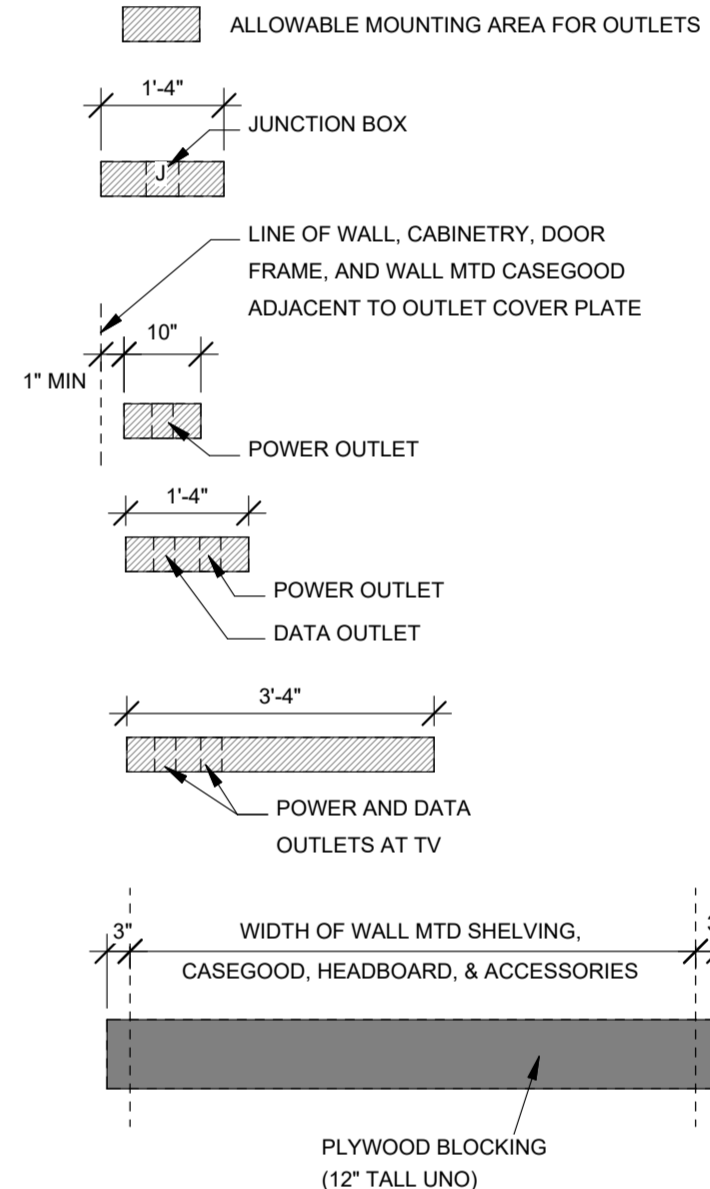
**2** EXTG. KING ROOM RCP  
A703.1 1:25



**1** EXTG. KING ROOM POWER  
A703.1 1:25

**BLOCKING AND ALLOWABLE MOUNTING AREA**

BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



C:\Users\ahamood\Documents\125009 - Nepean - Building\RVT25-0025-03-10\_JamshoomA703.rvt

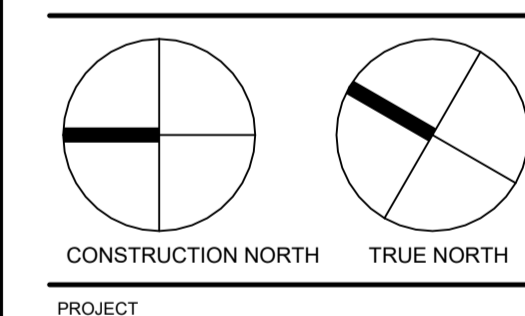
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NO.	ISSUED	DATE
1	00 - CLIENT REVIEW	2025-03-07
2	01 - CLIENT REVIEW	2025-05-22
3	02 - BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
5	BRAND REVIEW 100%	2025-10-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17

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CLIENT: **Owner**

SCALE:



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**ENLARGED SUITE - EXISTING KING FF&E, FINISH PLAN & ELEVATIONS**

START DATE: **JANUARY 2025**

DRAWN BY: **KR**

CHECKED BY: **LC**

SCALE: **As indicated**

PROJECT NO.: **125009**

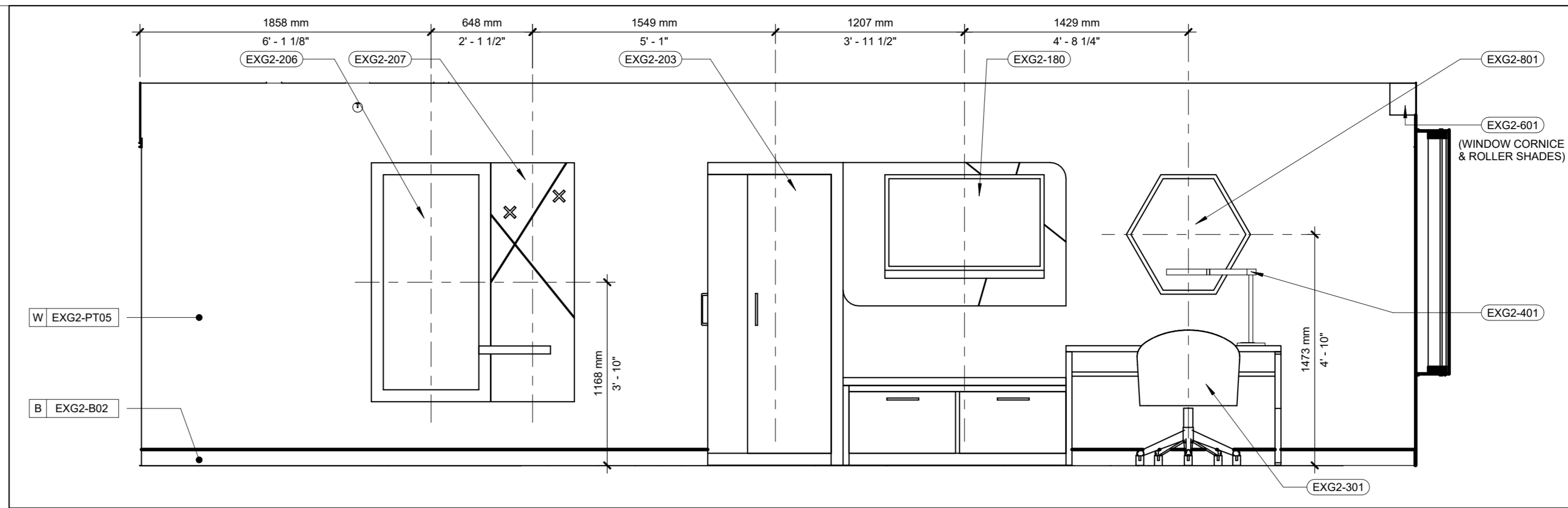
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**A703.2**

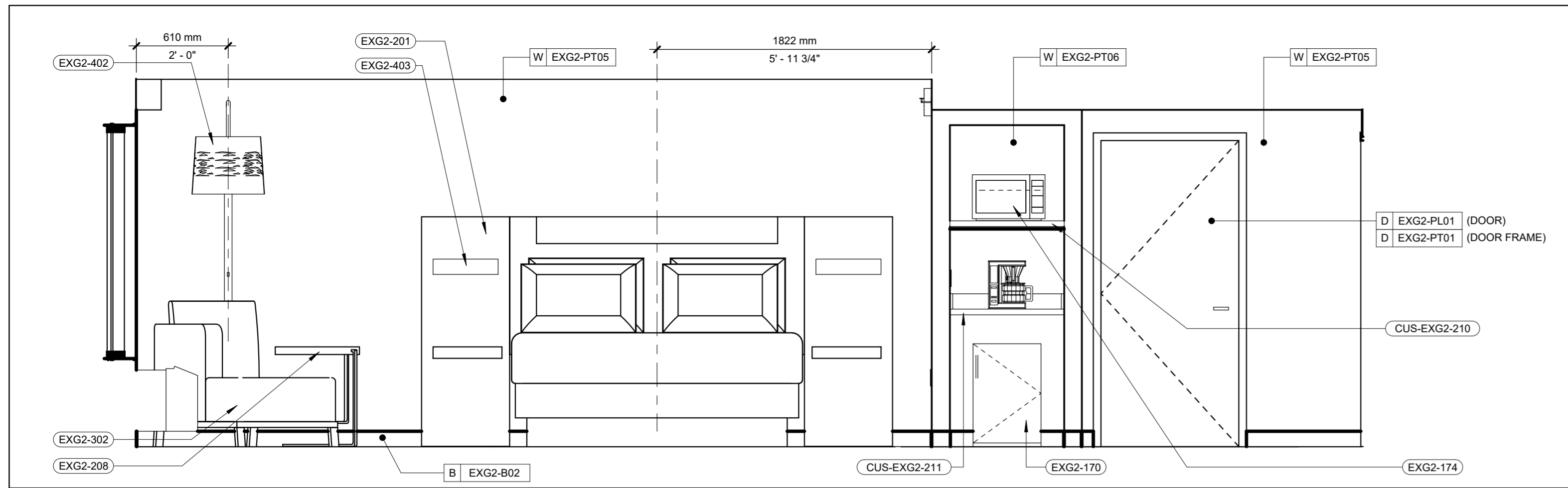
- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
  - SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS.

**FLOOR LEGEND**

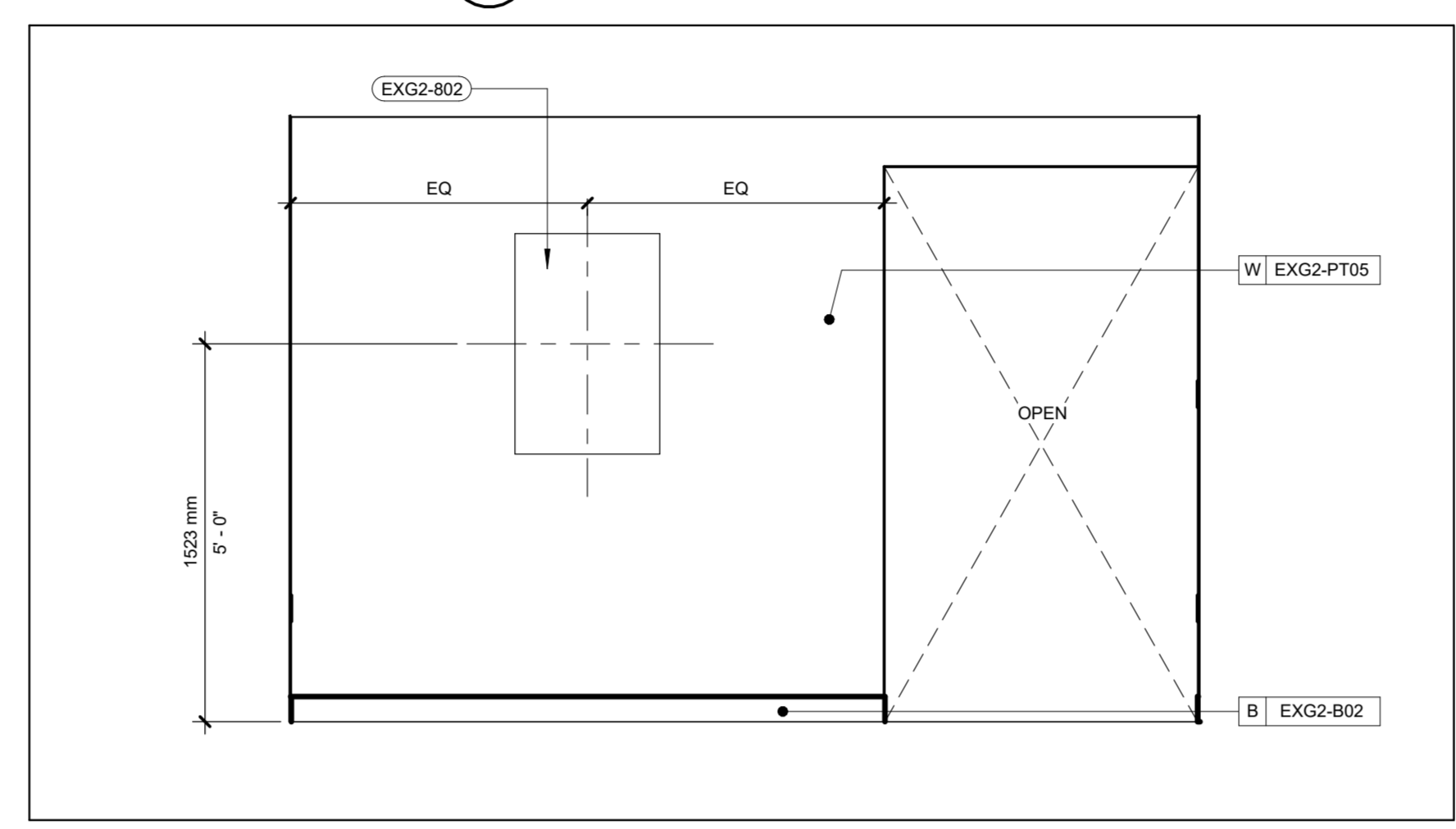
	12' x 24' CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12' x 12' CERAMIC TILE-(EXP2-T02)
	6' x LINEAR VINYL FLOORING-(EXP2-VF01)
	12' x 24' CERAMIC TILE-(EXP2-T01)
	12' x 12' VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6' x 48' VINYL FLOORING-(EXP2-VF03)
	12' x 24' STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES



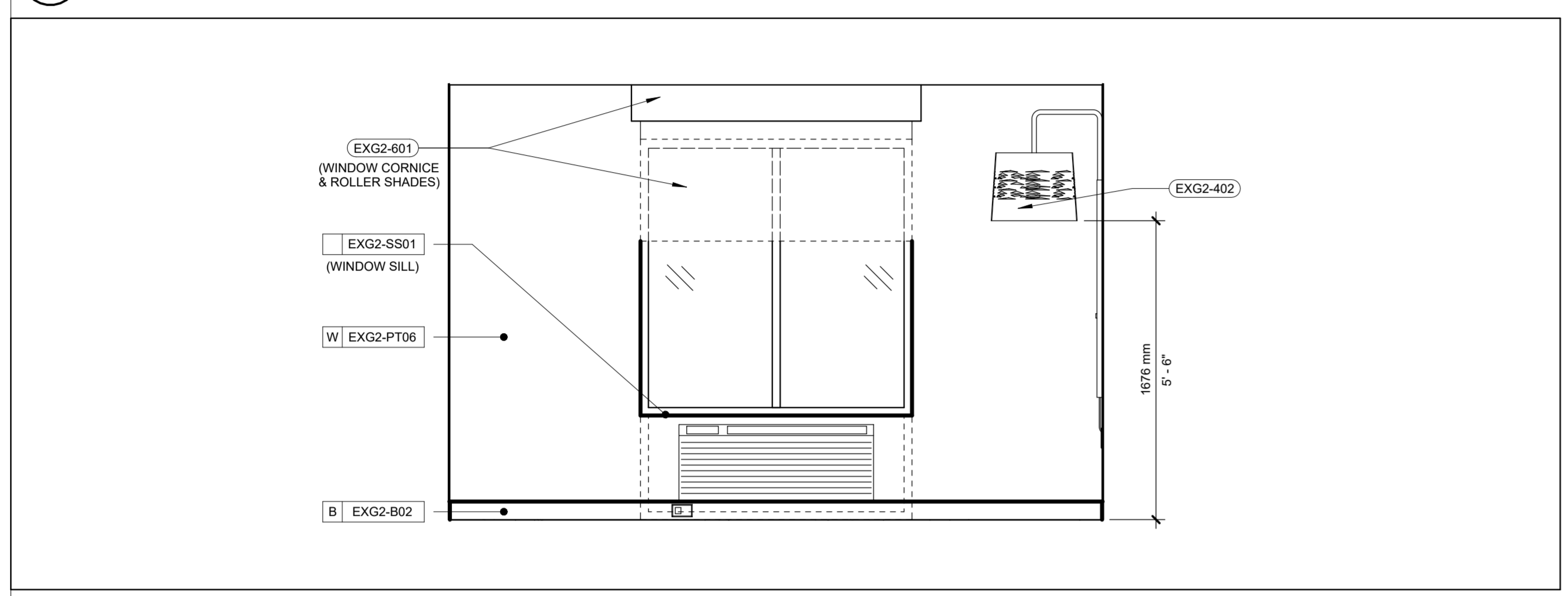
**6 KING - FUNCTIONAL RACK WALL - FF&E**  
A703.2 1 : 25



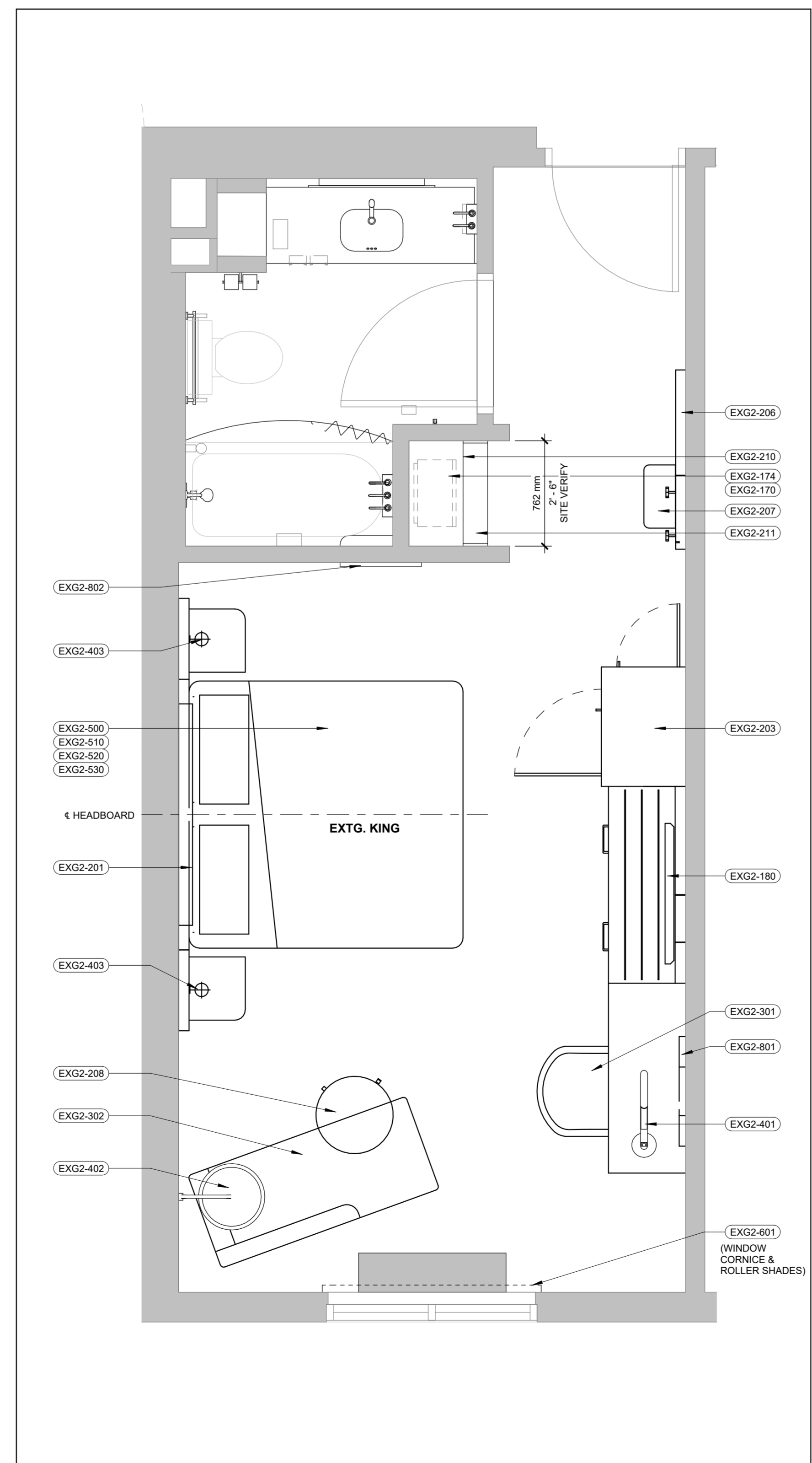
**7 KING - HEADBOARD WALL - FF&E**  
A703.2 1 : 25



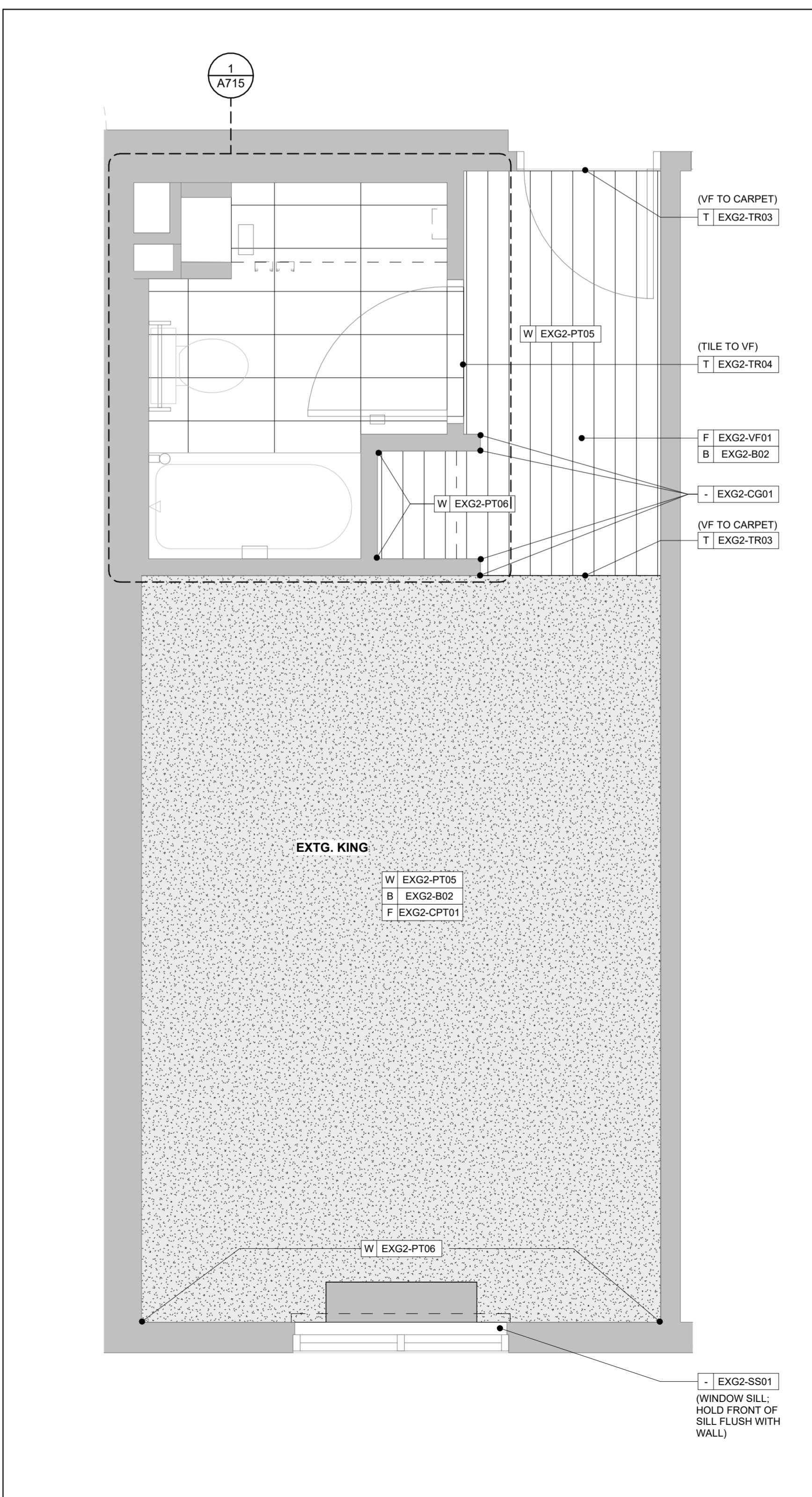
**4 KING - ENTRY WALL - FF&E**  
A703.2 1 : 25



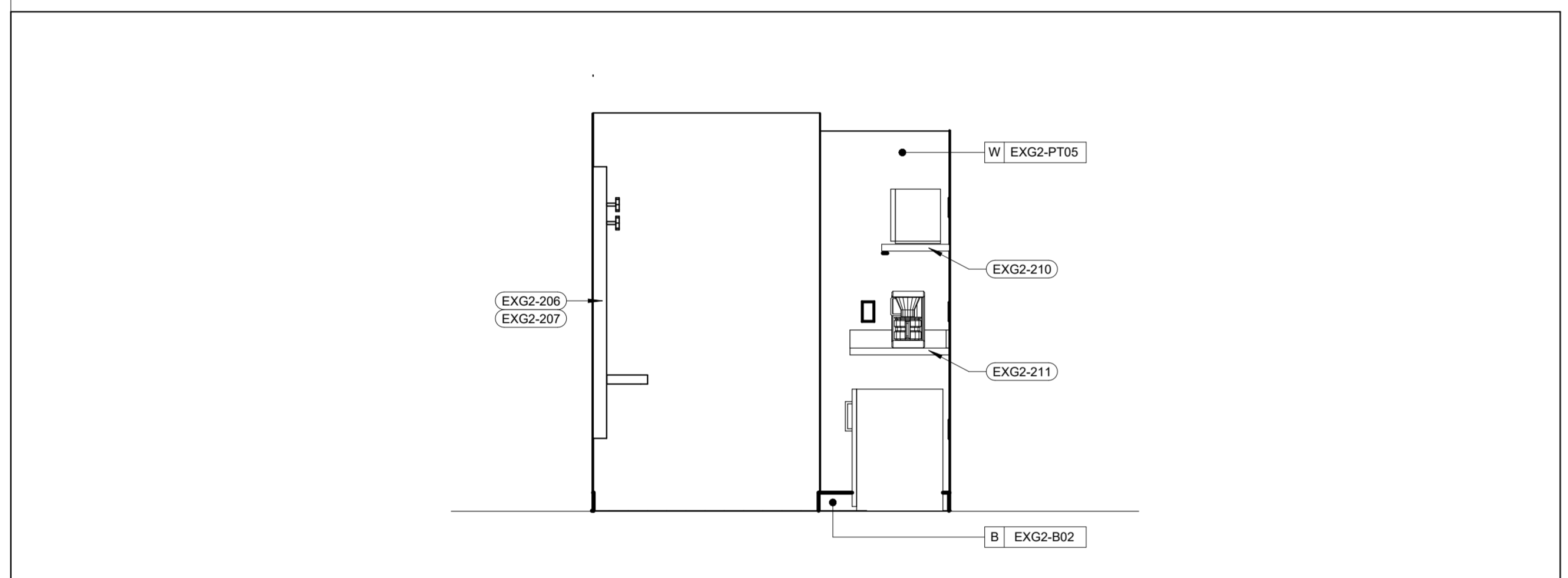
**5 KING - WINDOW WALL - FF&E**  
A703.2 1 : 25



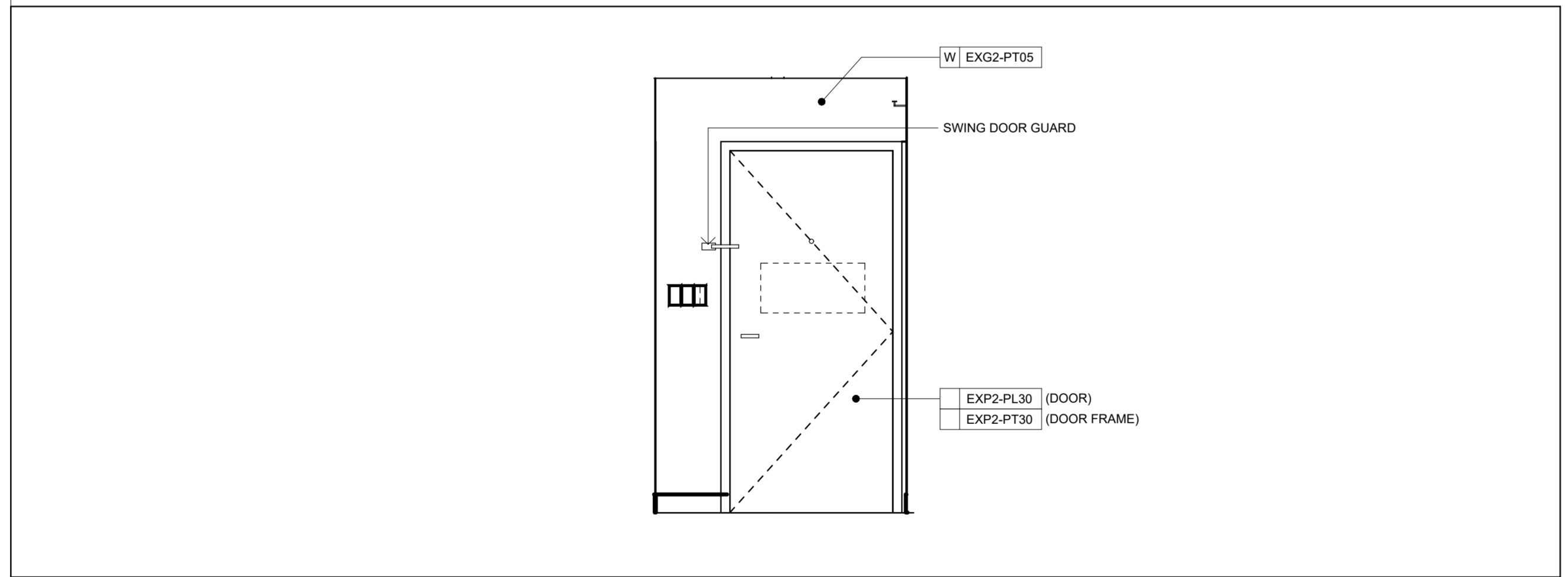
**2 EXTG. KING ROOM FF&E**  
A703.2 1 : 25



**1 EXTG. KING ROOM FF&E FINISH PLAN**  
A703.2 1 : 25



**3 KING - REFRESHMENT ZONE WALL - FF&E**  
A703.2 1 : 25



**8 KING - ENTRY DOOR WALL - FF&E**  
A703.2 1 : 25

**RCP GENERAL NOTES**

1. REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
2. REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
3. PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
4. REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
5. WHERE REQUIRED, PROVIDE 12"x12" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
6. RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- 1 EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- 2 REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- 3 EXISTING WALL SCOURCE TO BE REMOVED

**POWER PLAN NOTES**

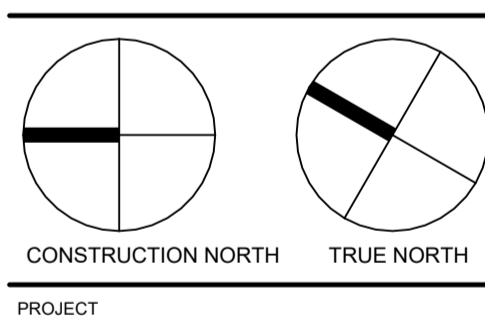
- 1 (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- 2 (STANDARD) AT COFFEE MAKER
- 3 (STANDARD) AT REFRIGERATOR
- 4 NOT USED
- 5 (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
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- 9 GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
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- 11 IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

NO.	ISSUED	DATE
1	10 - CLIENT REVIEW	2025-05-22
2	BRAND REVIEW R2	2025-06-11
3	COORDINATION	2025-06-23
4	BRAND REVIEW 100%	2025-10-01
5	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

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CLIENT  
**Owner**

SCALE



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

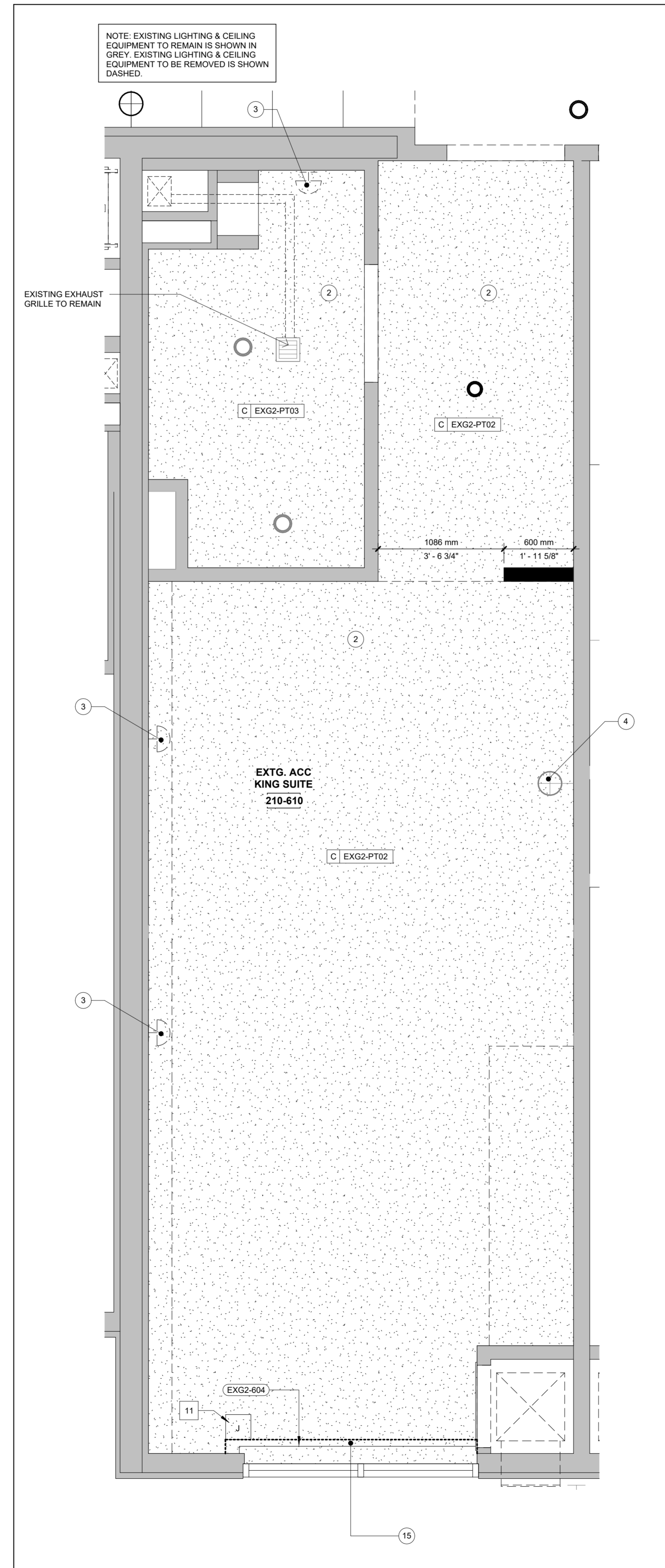
2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

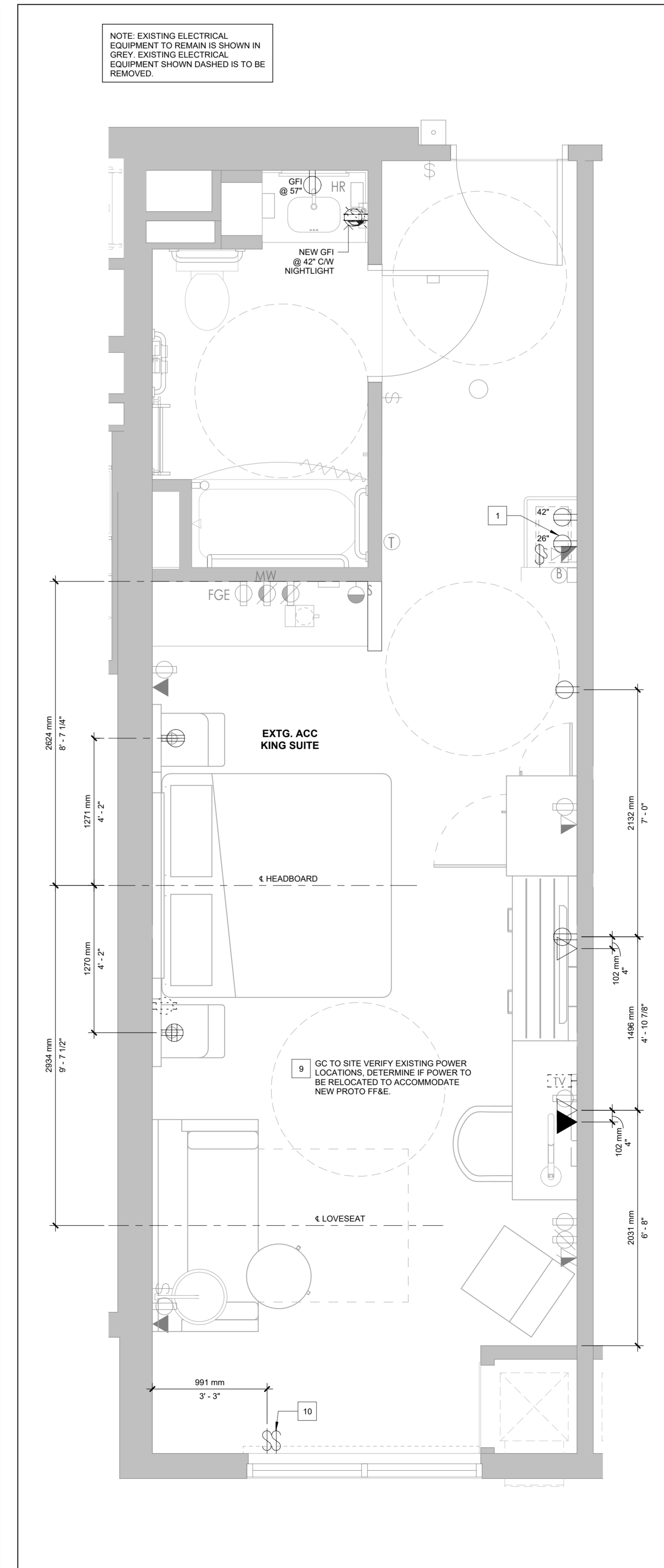
**ENLARGED SUITE -  
EXISTING ACC. KING  
SUITE PARTITION,  
POWER & BLOCKING**

START DATE  
**JANUARY 2025**  
DRAWN BY  
**AM**  
CHECKED BY  
**LC**  
SCALE  
**As indicated**  
PROJECT NO.  
**125009**

DRAWING  
**A704.1**



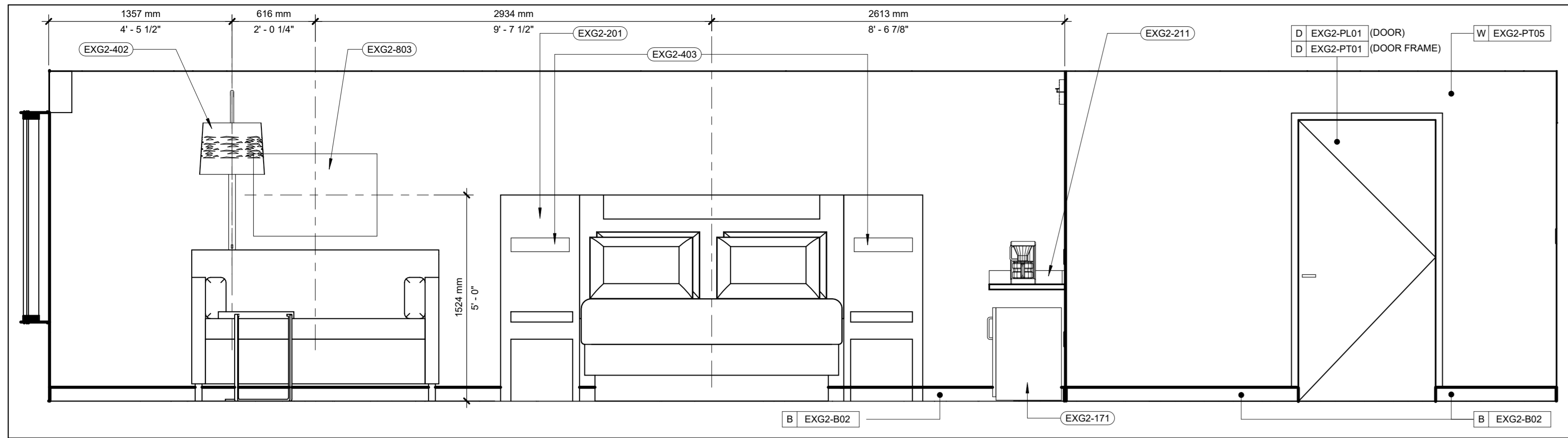
**2** EXTG. ACC. KING SUITE RCP  
A704.1 1:25



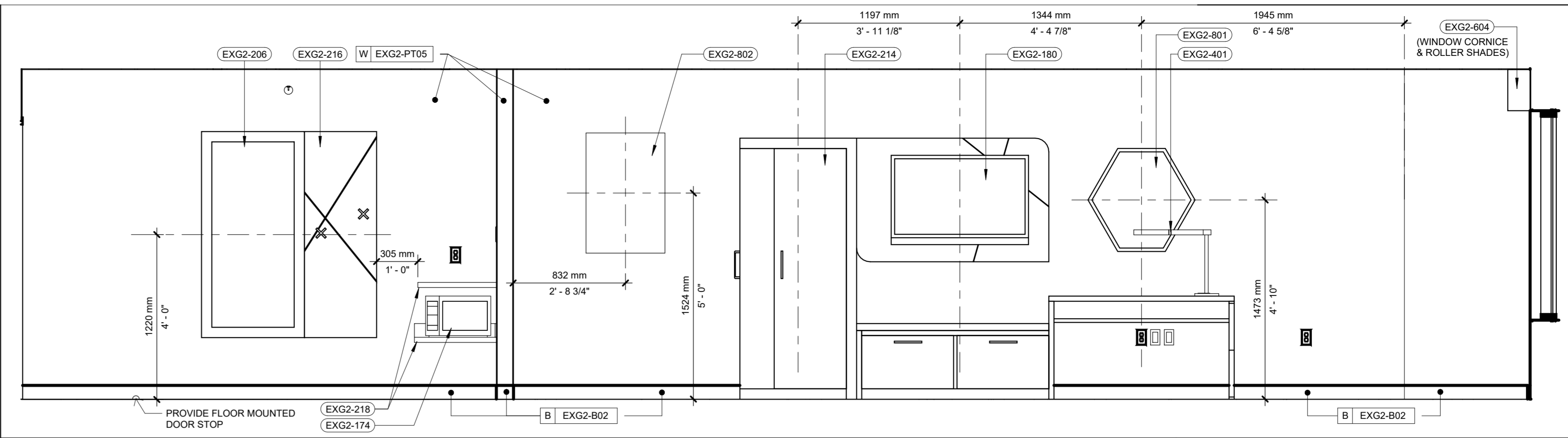
**1** EXTG. ACC. KING SUITE POWER  
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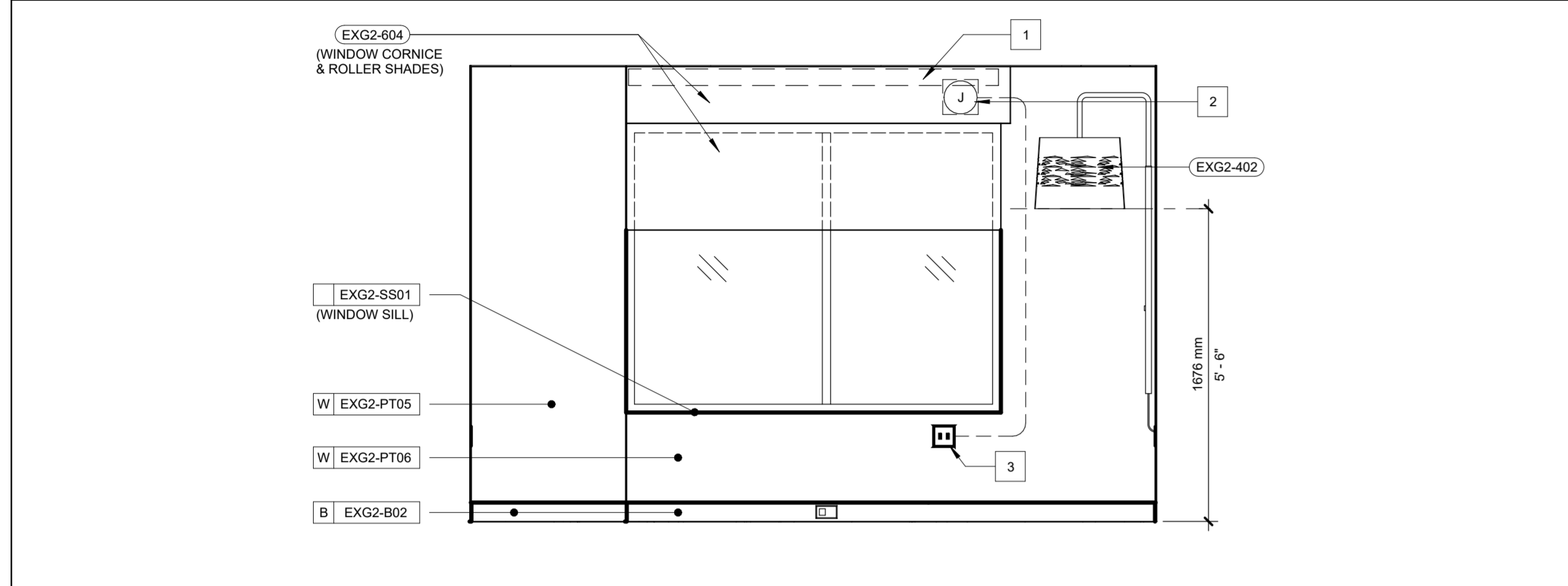
NO.	ISSUED	DATE
1	0 - CLIENT REVIEW	2025-03-07
2	0 - CLIENT REVIEW	2025-05-22
3	0 - BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
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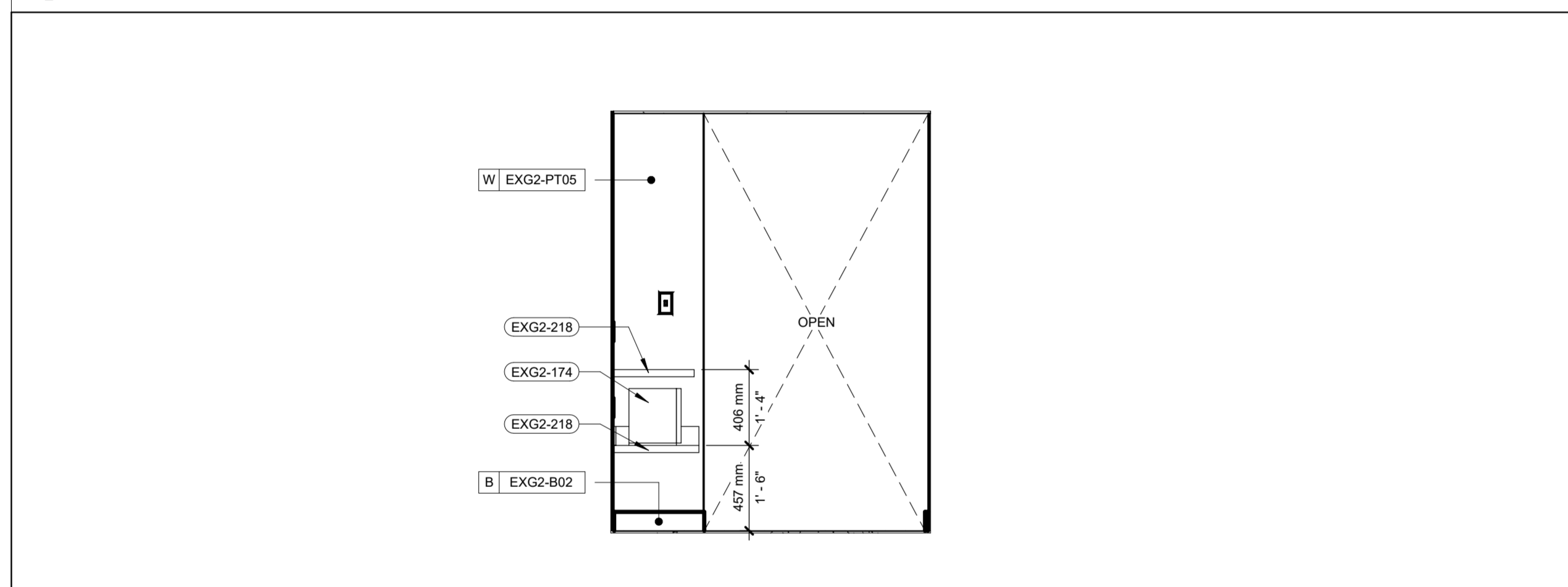
**7 KING SUITE ACC - HEADBOARD WALL - FF&E**  
 1 : 25



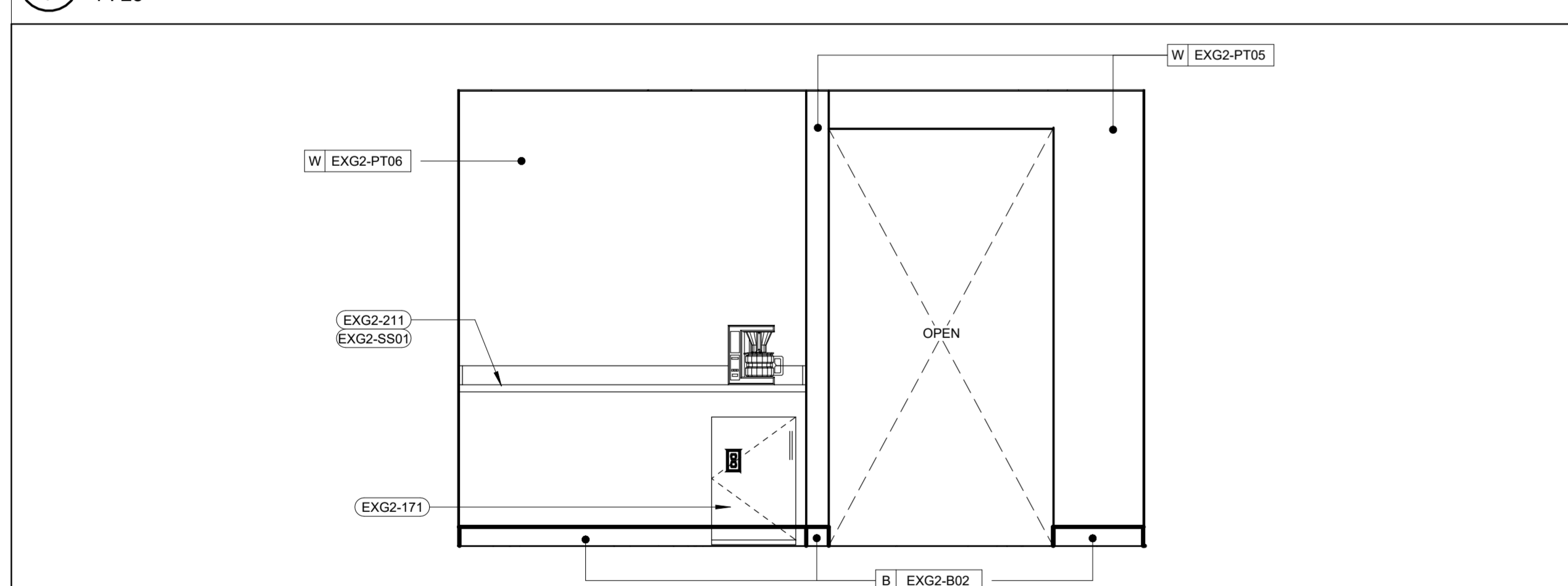
**8 KING SUITE ACC - FUNCTIONAL RACK WALL - FF&E**  
 1 : 25



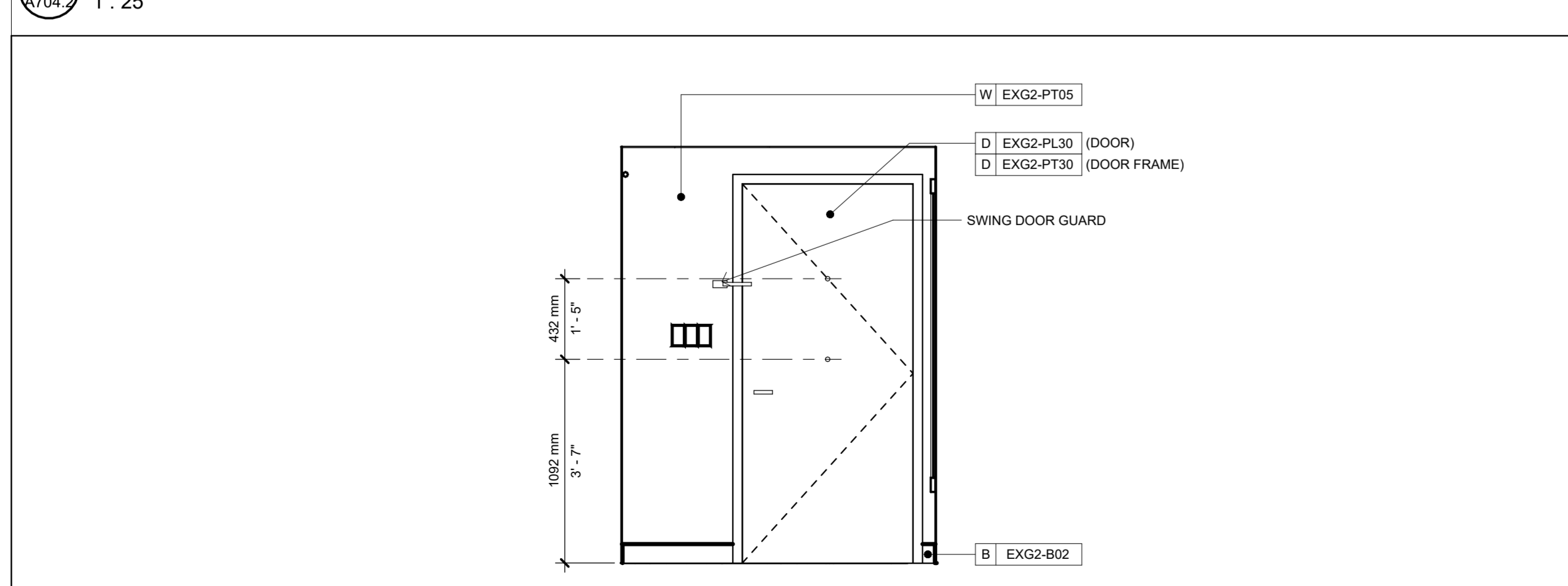
**6 KING SUITE ACC - WINDOW WALL - FF&E**  
 1 : 25



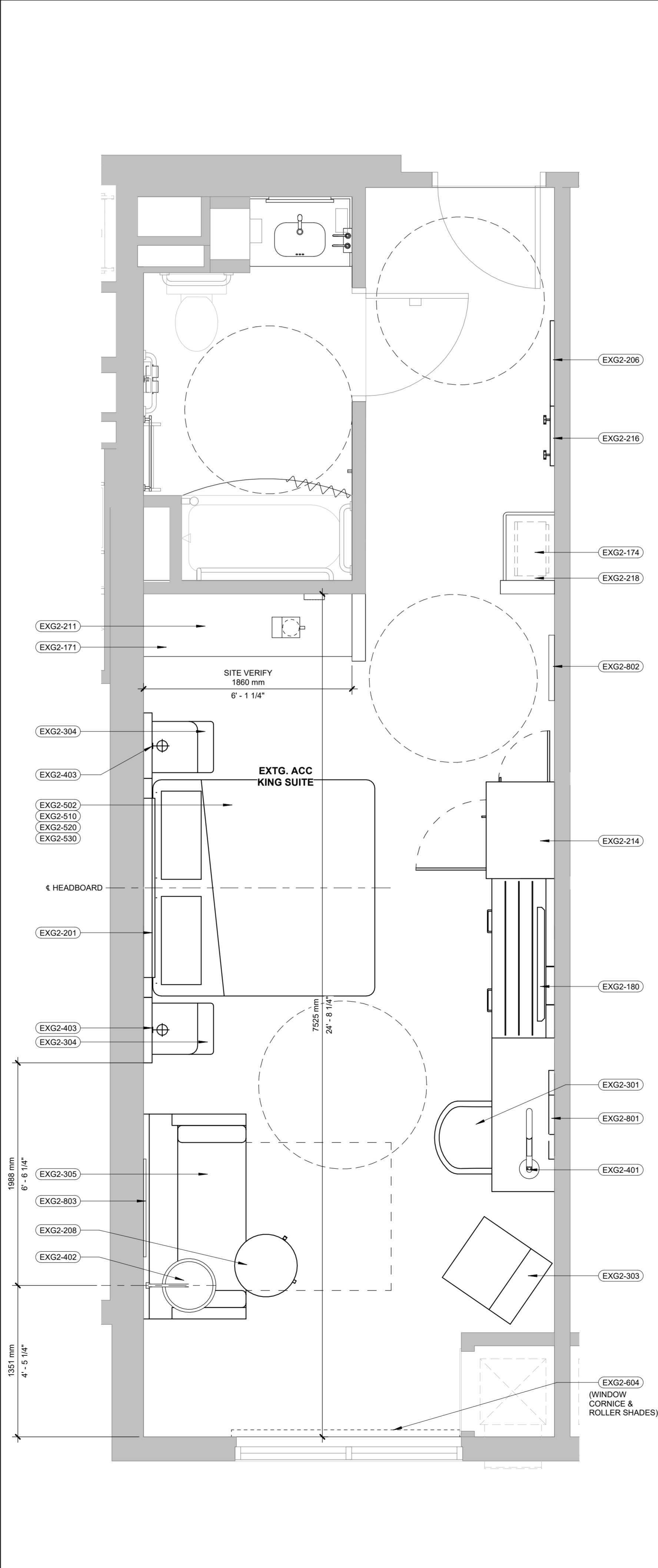
**5 KING SUITE ACC - REFRESHMENT ZONE WALL - FF&E**  
 1 : 25



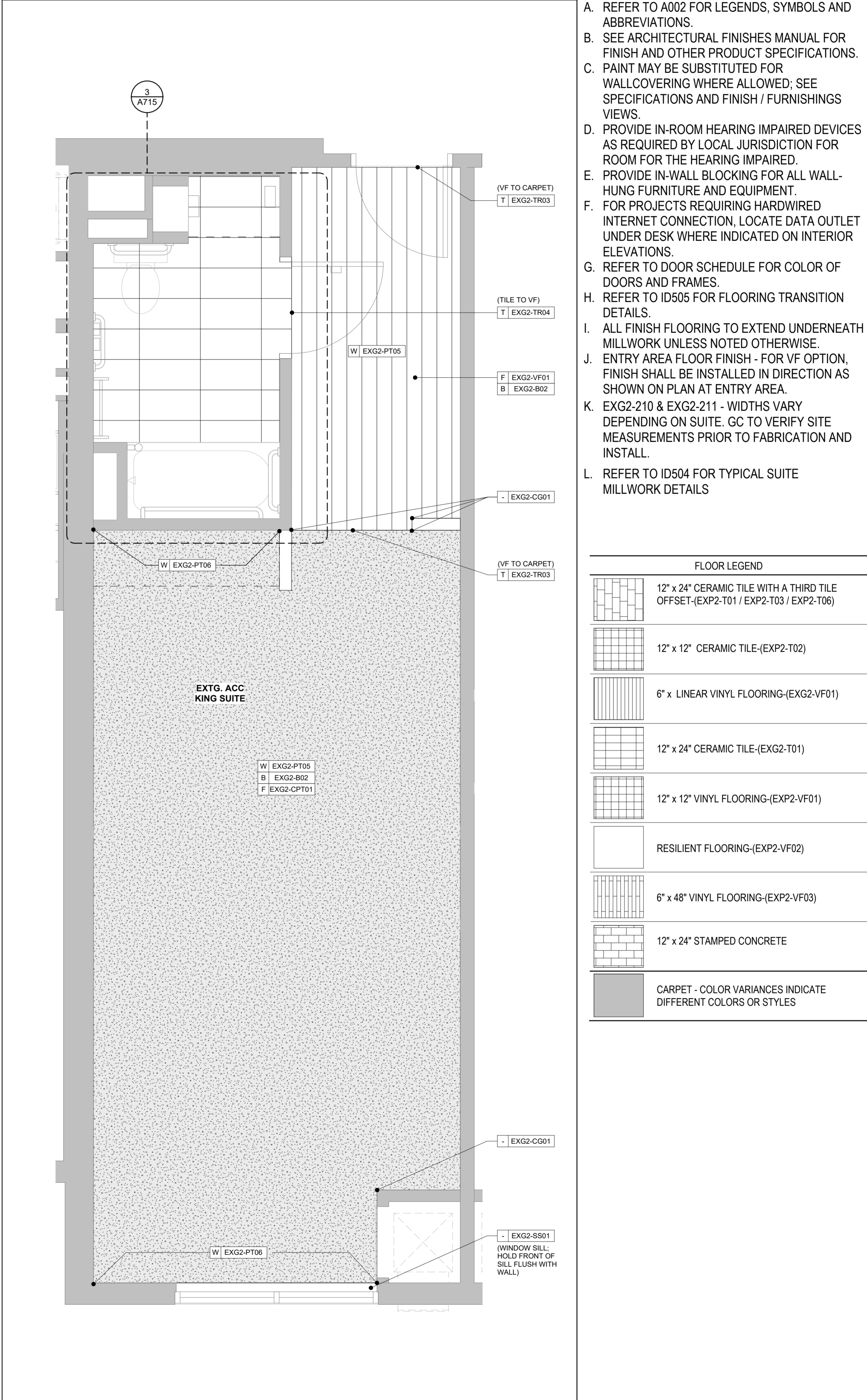
**4 KING SUITE ACC - WING WALL - FF&E**  
 1 : 25



**3 KING SUITE ACC - ENTRY DOOR WALL - FF&E**  
 1 : 25



**2 EXTG. ACC. KING SUITE FF&E**  
 1 : 25



**1 EXTG. ACC. KING SUITE FINISH PLAN**  
 1 : 25

- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
  - SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
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  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS.

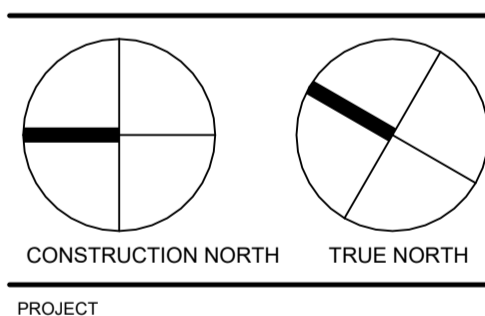
**FLOOR LEGEND**

	12' x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12' x 12" CERAMIC TILE-(EXP2-T02)
	6' x LINEAR VINYL FLOORING-(EXG2-VF01)
	12' x 24" CERAMIC TILE-(EXG2-T01)
	12' x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6' x 48" VINYL FLOORING-(EXP2-VF03)
	12' x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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CLIENT: **Owner**

SCALE:



PROJECT: **NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

SHEET NAME:

ENLARGED SUITE - EXISTING ACC. KING SUITE FF&E, FINISH PLAN & ELEVATIONS

START DATE: **JANUARY 2025**  
 DRAWN BY: **AM**  
 CHECKED BY: **LC**  
 SCALE: **As indicated**  
 PROJECT NO.: **125009**

DRAWING: **A704.2**

C:\Users\ahood\Documents\25009 - Nepean - Bldg\KING SUITE (2025-03-10)\_chamberlainA704.2.rvt

**RCP GENERAL NOTES**

1. REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
2. REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
3. PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
4. REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
5. WHERE REQUIRED, PROVIDE 12"x12" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
6. RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

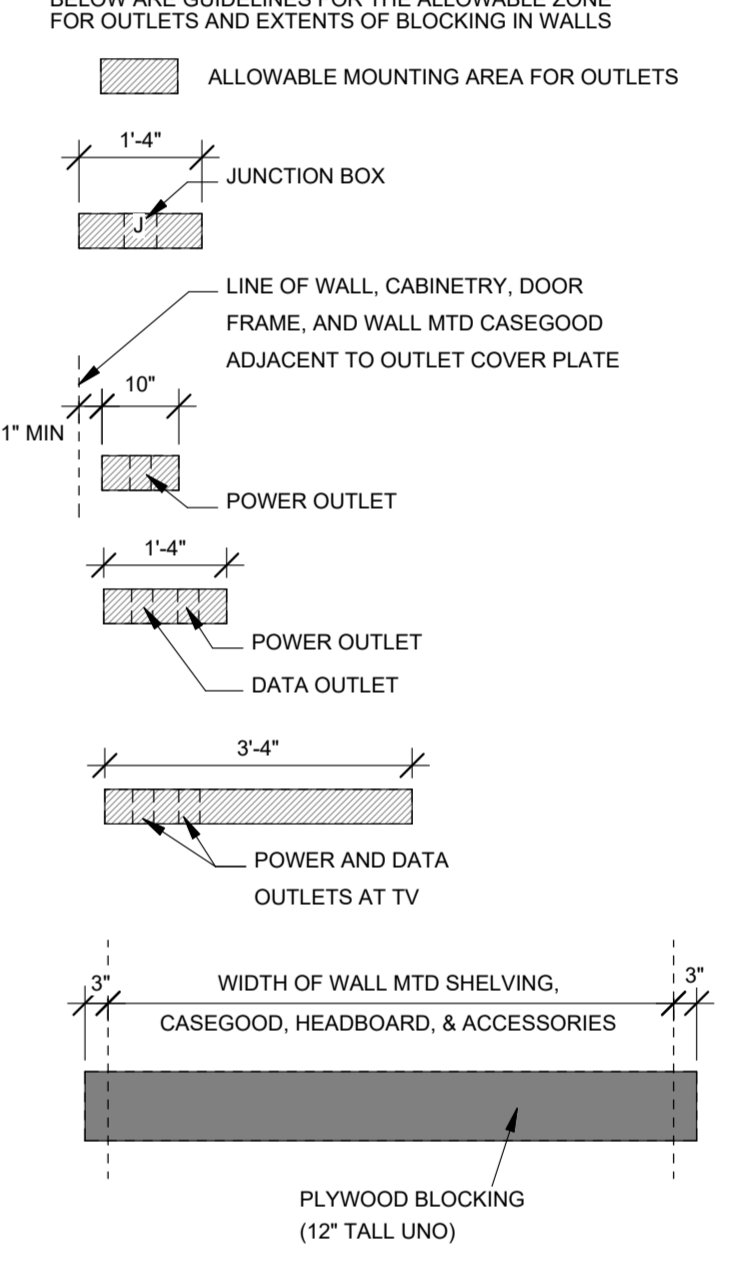
**RCP KEY NOTES**

- 1 EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- 2 REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- 3 EXISTING WALL SCORCE TO BE REMOVED

**POWER PLAN NOTES**

- 1 (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
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- 3 (STANDARD) AT REFRIGERATOR
- 4 NOT USED
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- 10 ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AHRWDIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- 11 IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

**BLOCKING AND ALLOWABLE MOUNTING AREA**



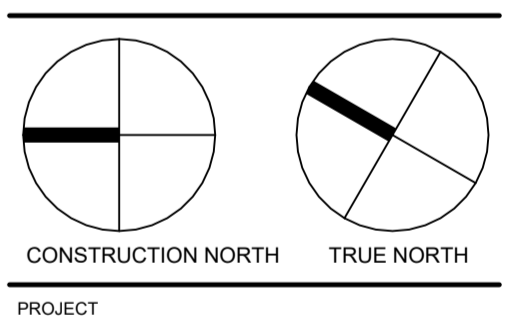
NO.	ISSUED	DATE
1	ISSUED	2025-05-22
2	ISSUED	2025-06-11
3	ISSUED	2025-06-23
4	ISSUED	2025-06-23
5	ISSUED	2025-06-23
6	ISSUED	2025-06-23
7	ISSUED	2025-06-23

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CLIENT: **Owner**

SCALE:



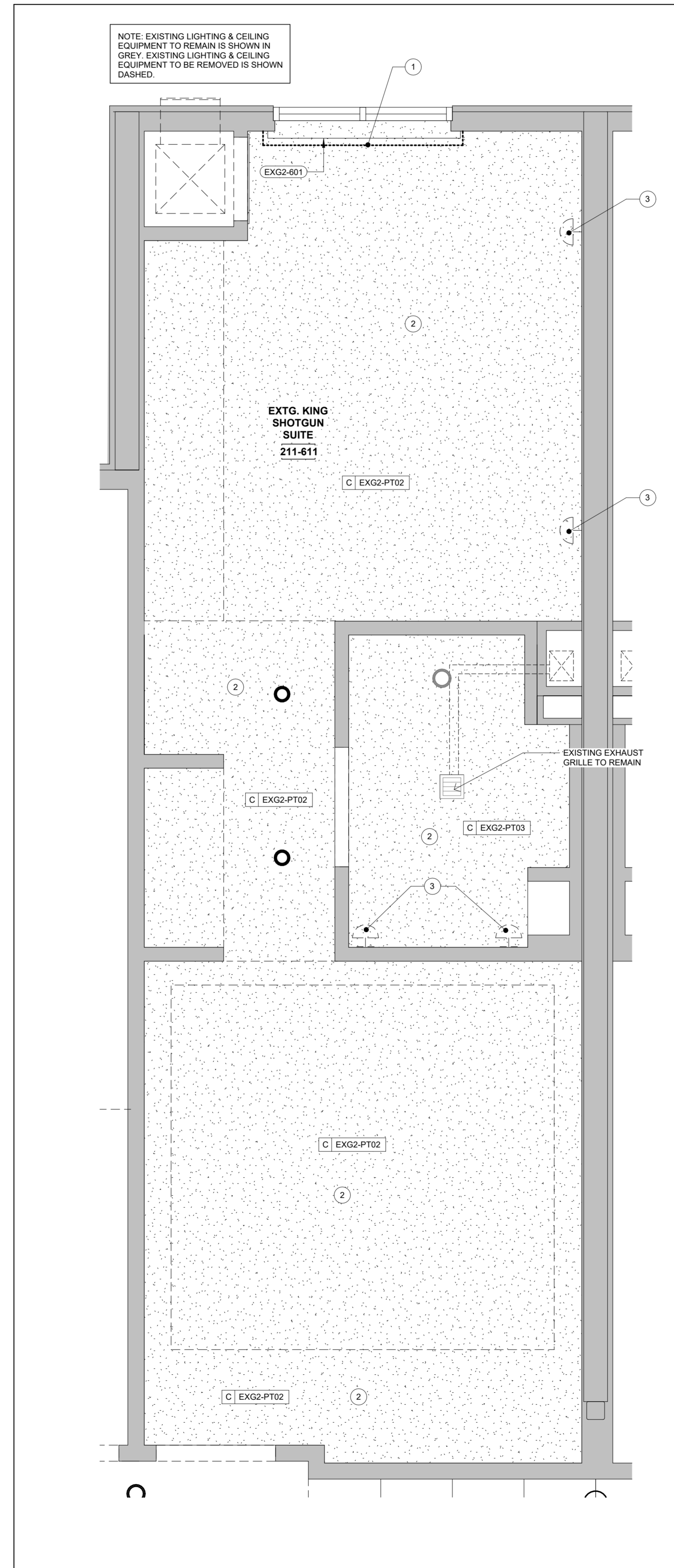
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

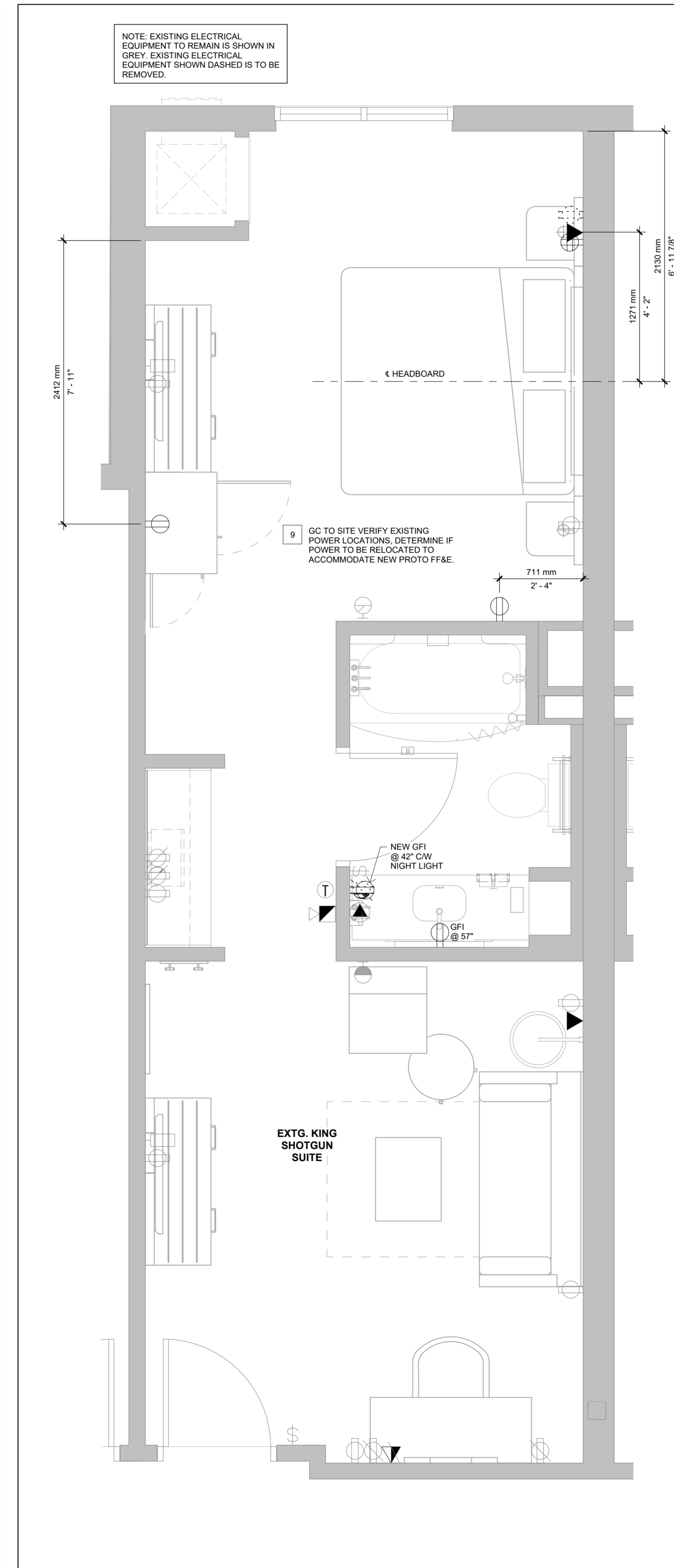
**ENLARGED SUITE - EXISTING KING SHOTGUN SUITE PARTITION, POWER & BLOCKING**

START DATE: **JANUARY 2025**  
 DRAWN BY: **AM**  
 CHECKED BY: **LC**  
 SCALE: **As indicated**  
 PROJECT NO.: **125009**

**A705.1**



**2** EXTG. KING SHOTGUN SUITE RCP  
 A705.1 1:25



**1** EXTG. KING SHOTGUN SUITE POWER  
 A705.1 1:25

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NO.	ISSUED	DATE
1	ID - CLIENT REVIEW	2025-03-07
2	ID - CLIENT REVIEW	2025-05-22
3	BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
5	BRAND REVIEW 100%	2025-10-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17

- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
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  - SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS.

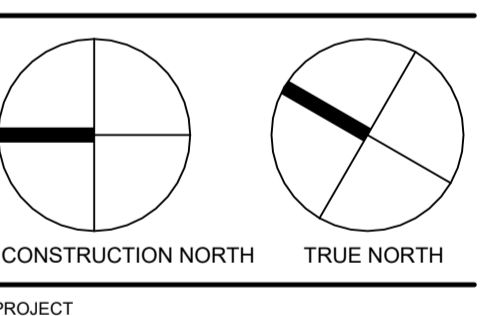
**FLOOR LEGEND**

	12' x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12' x 12" CERAMIC TILE-(EXP2-T02)
	6' x LINEAR VINYL FLOORING-(EXG2-VF01)
	12' x 24" CERAMIC TILE-(EXG2-T01)
	12' x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6' x 48" VINYL FLOORING-(EXP2-VF03)
	12' x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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CLIENT  
**Owner**

SCALE



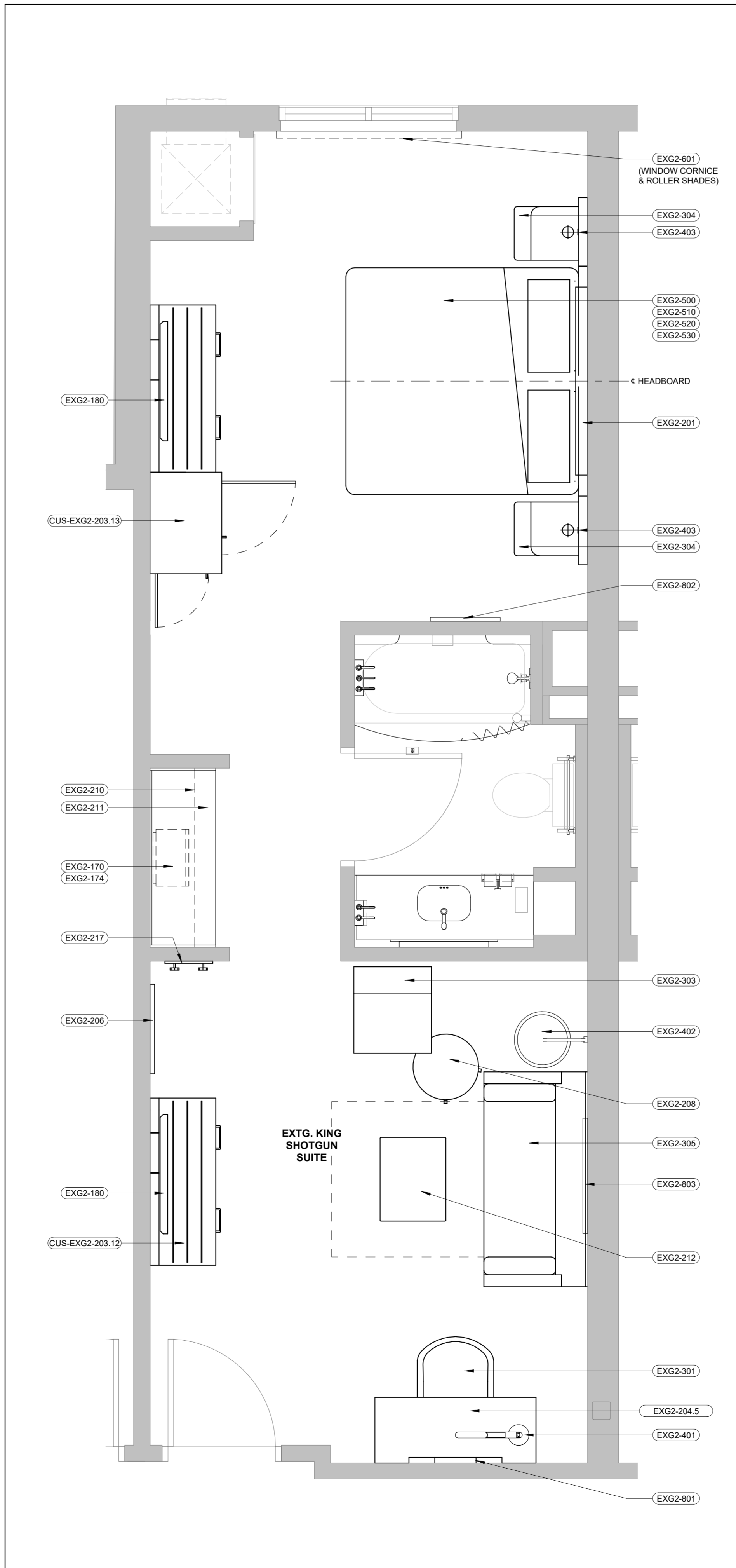
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

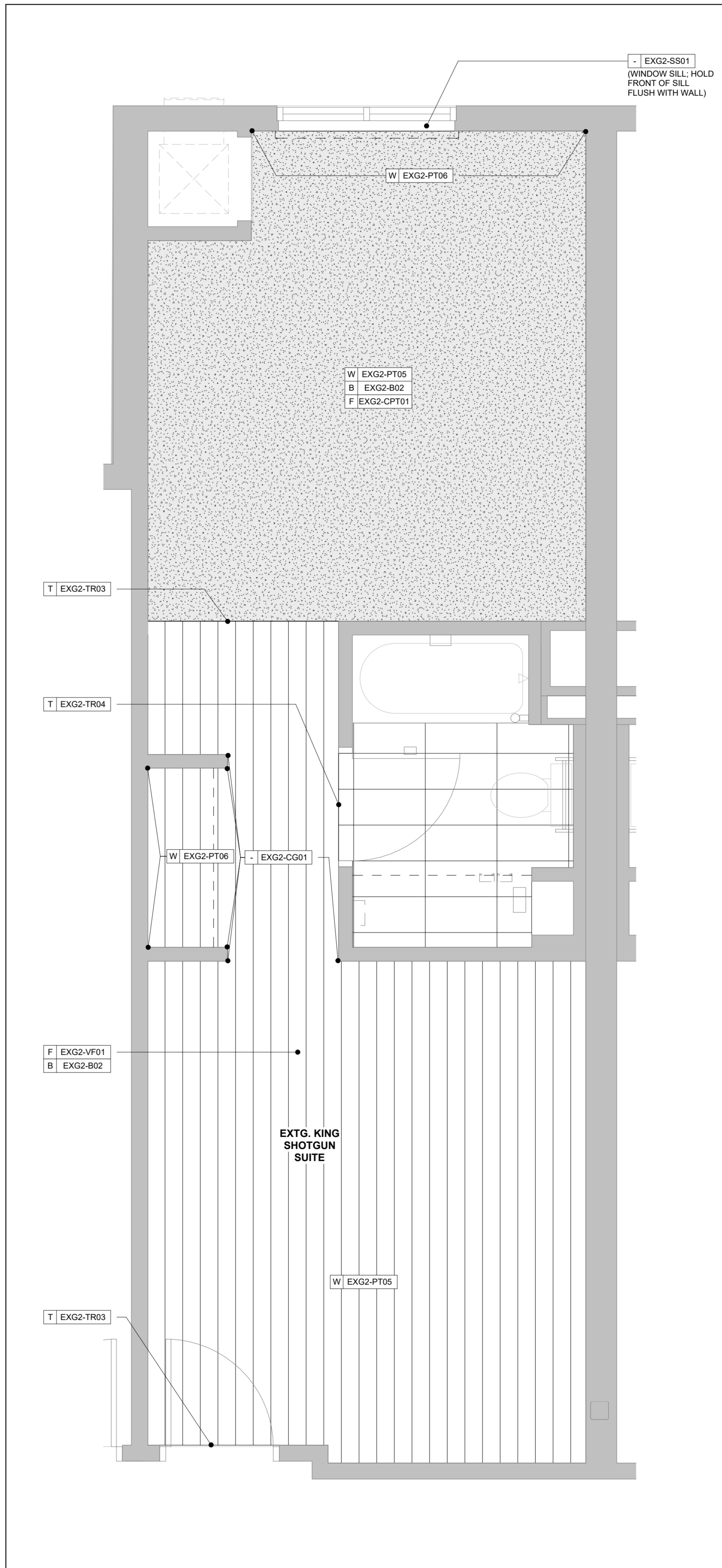
**ENLARGED SUITE - EXISTING KING SHOTGUN SUITE FF&E, FINISH PLAN & ELEVATIONS**

START DATE: JANUARY 2025  
DRAWN BY: AM  
CHECKED BY: LC  
SCALE: As indicated  
PROJECT NO.: 125009

**A705.2**



**2** EXTG. KING SHOTGUN SUITE FF&E  
A705.2 1 : 25



**1** EXTG. KING SHOTGUN SUITE FINISH PLAN  
A705.2 1 : 25

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NO.	ISSUED	DATE
1	RD - CLIENT REVIEW	2025-03-07
2	RD - CLIENT REVIEW	2025-05-22
3	BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
5	BRAND REVIEW 100%	2025-10-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17

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  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS.

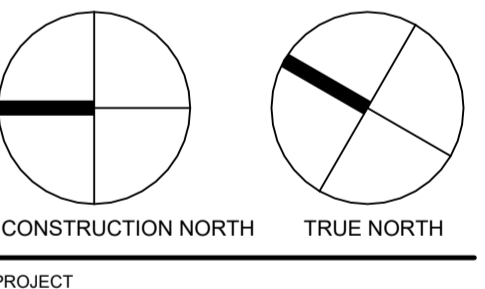
**FLOOR LEGEND**

	12" x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12" x 12" CERAMIC TILE-(EXP2-T02)
	6" x 12" LINEAR VINYL FLOORING-(EXP2-VF01)
	12" x 24" CERAMIC TILE-(EXG2-T01)
	12" x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6" x 48" VINYL FLOORING-(EXP2-VF03)
	12" x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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CLIENT  
**Owner**

SCALE



PROJECT  
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME  
**ENLARGED SUITE - EXISTING KING SHOTGUN SUITE FF&E, FINISH PLAN & ELEVATIONS**

START DATE  
JANUARY 2025

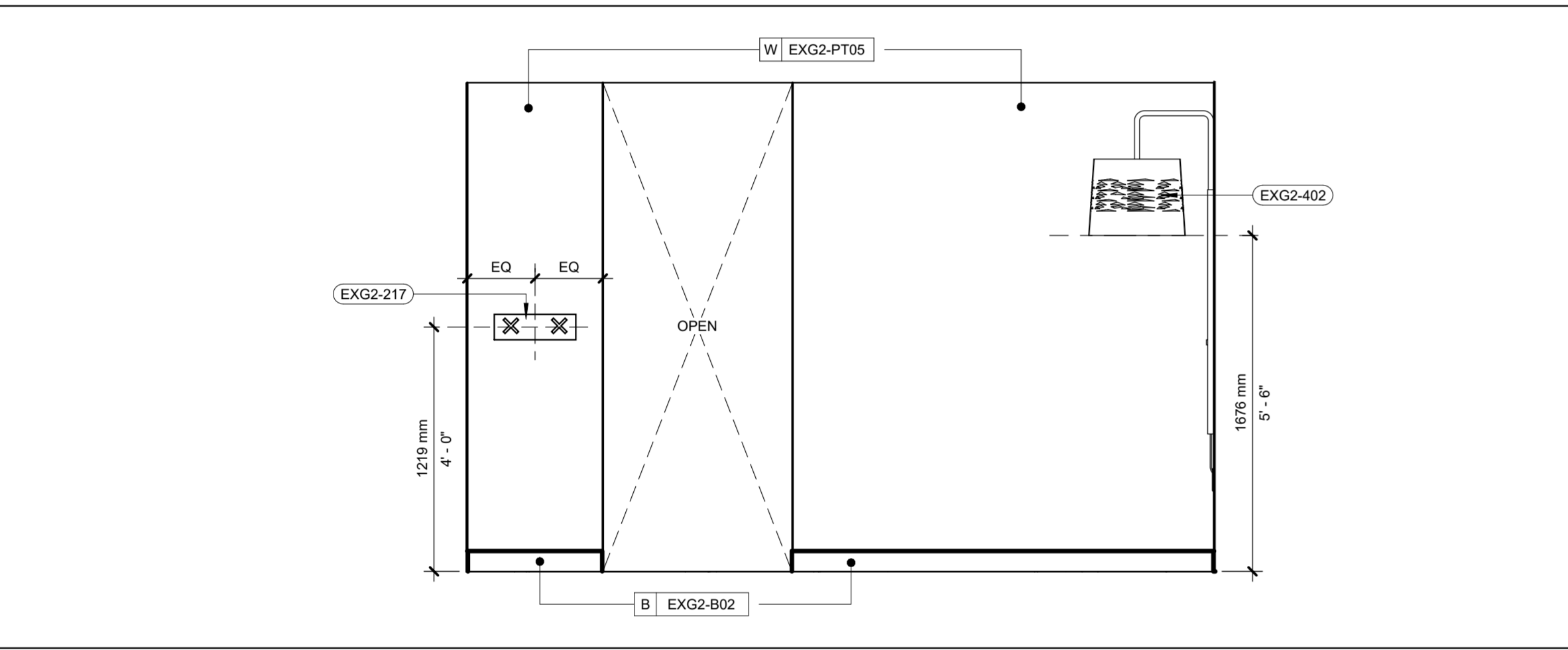
DRAWN BY  
AM

CHECKED BY  
LC

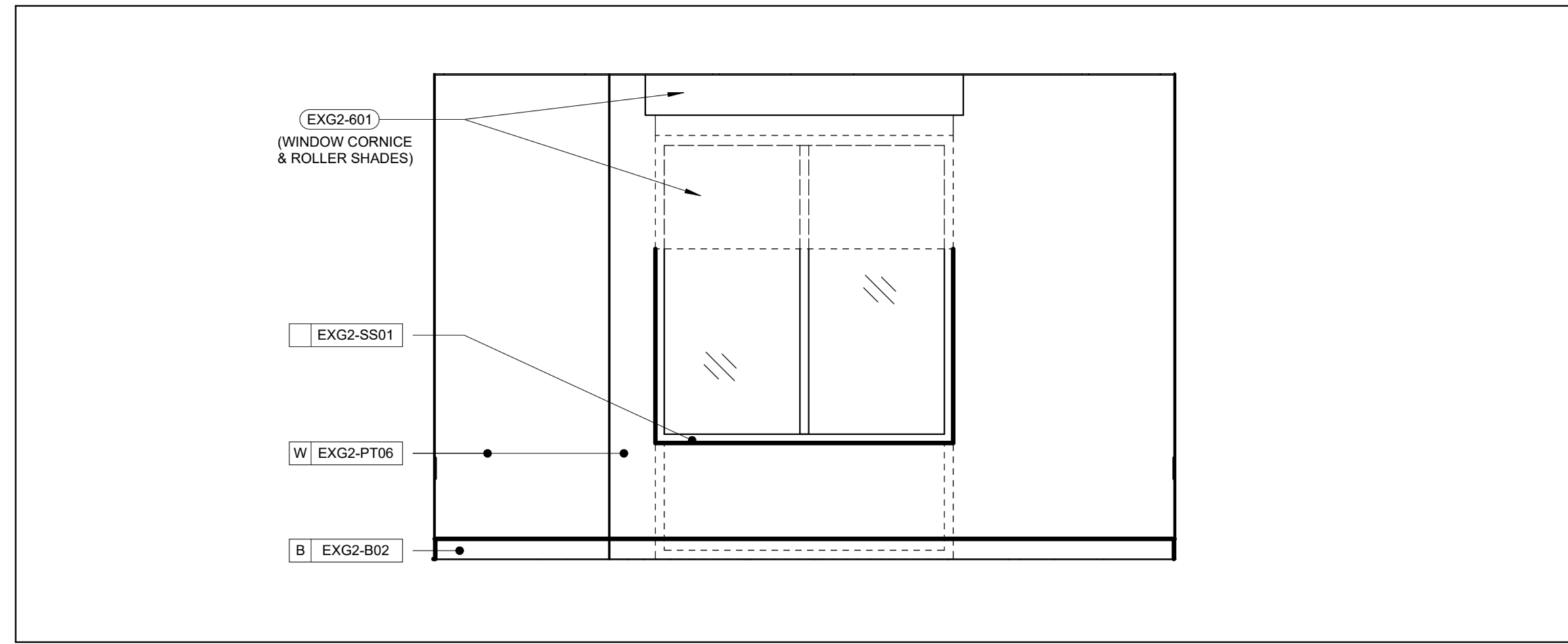
SCALE  
As indicated

PROJECT NO.  
125009

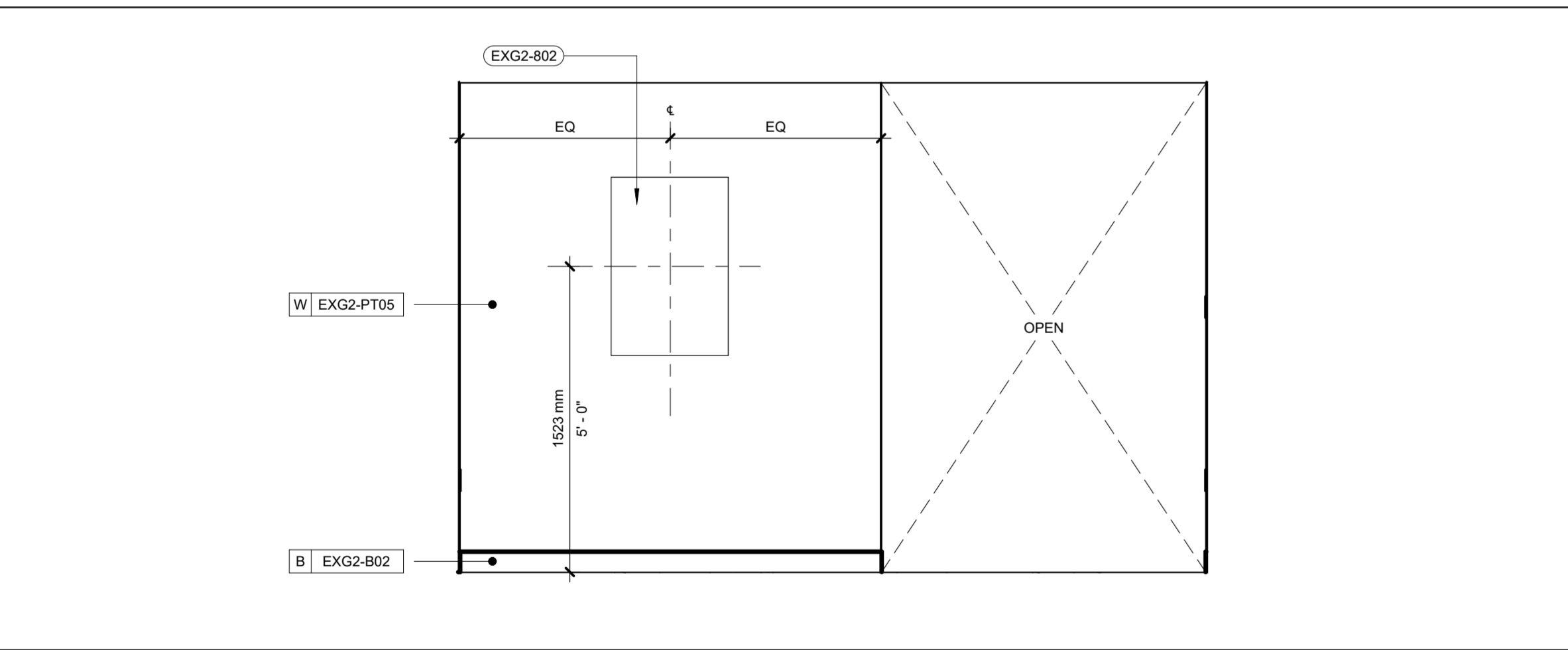
DRAWING  
**A705.3**



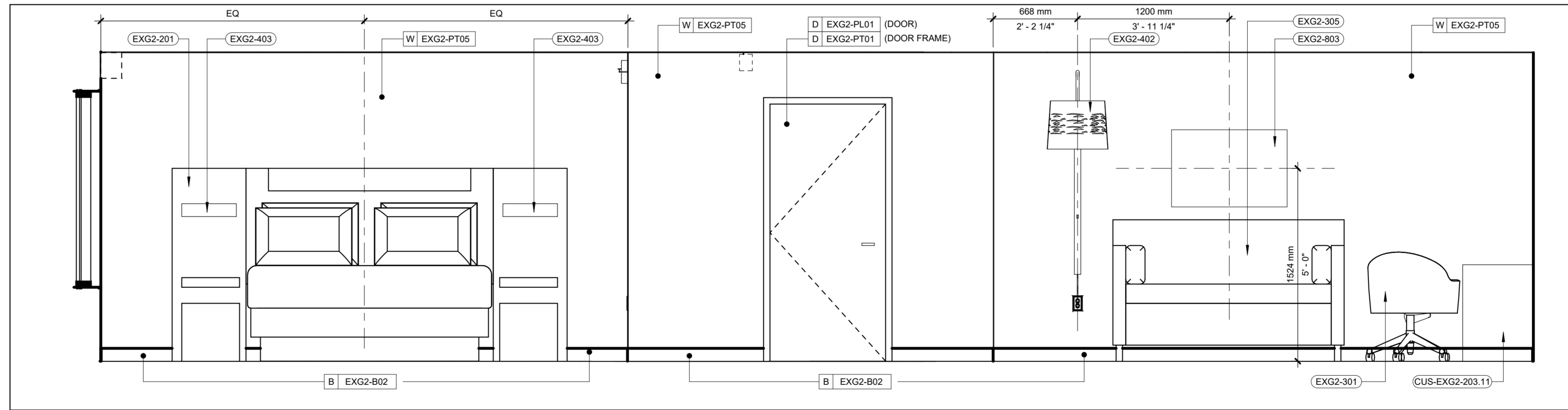
**5 KING SHOTGUN SUITE LIVING ROOM WALL - FF&E**  
A705.3 1 : 25



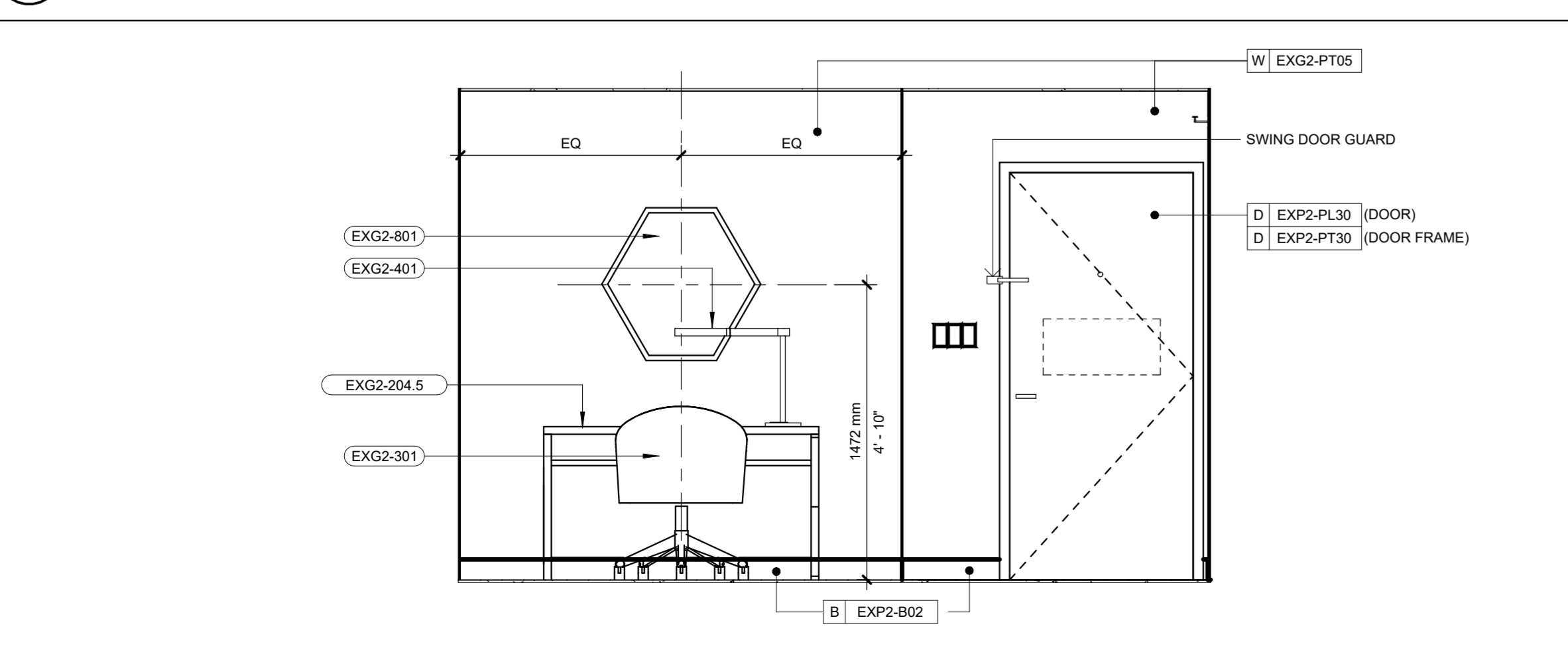
**6 KING SHOTGUN SUITE - WINDOW WALL - FF&E**  
A705.3 1 : 25



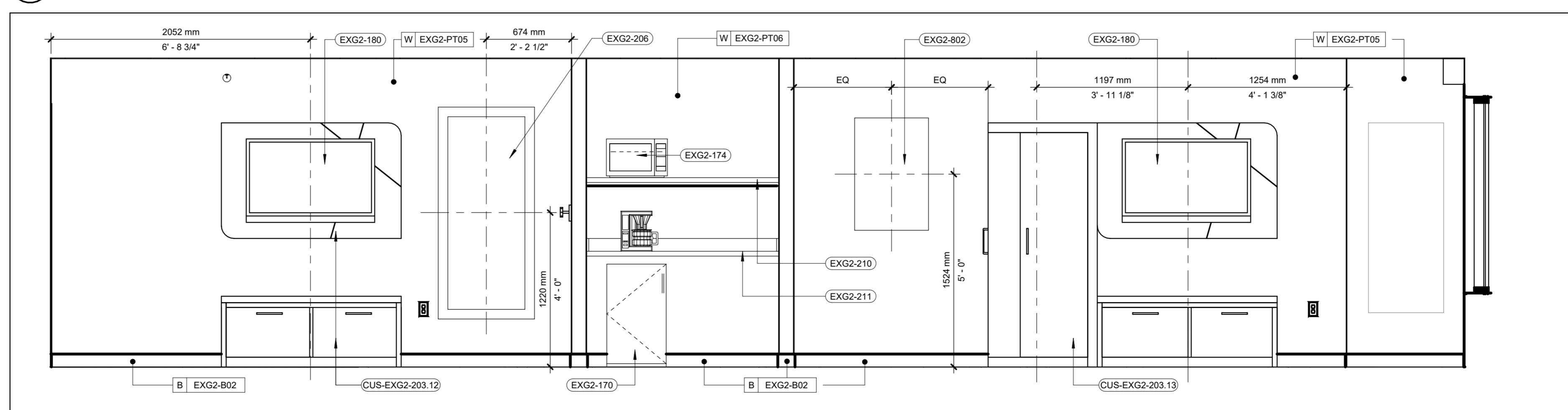
**4 KING SHOTGUN SUITE - ENTRY WALL - FF&E**  
A705.3 1 : 25



**2 KING SHOTGUN SUITE - HEADBOARD WALL - FF&E**  
A705.3 1 : 25



**3 KING SHOTGUN SUITE - ENTRY DOOR - FF&E**  
A705.3 1 : 25



**1 KING SHOTGUN SUITE - FUNCTIONAL RACK WALL - FF&E**  
A705.3 1 : 25

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**RCP GENERAL NOTES**

- REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
- REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
- WHERE REQUIRED, PROVIDE 12"X12" F0WB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- EXISTING WALL SCOTCH TO BE REMOVED

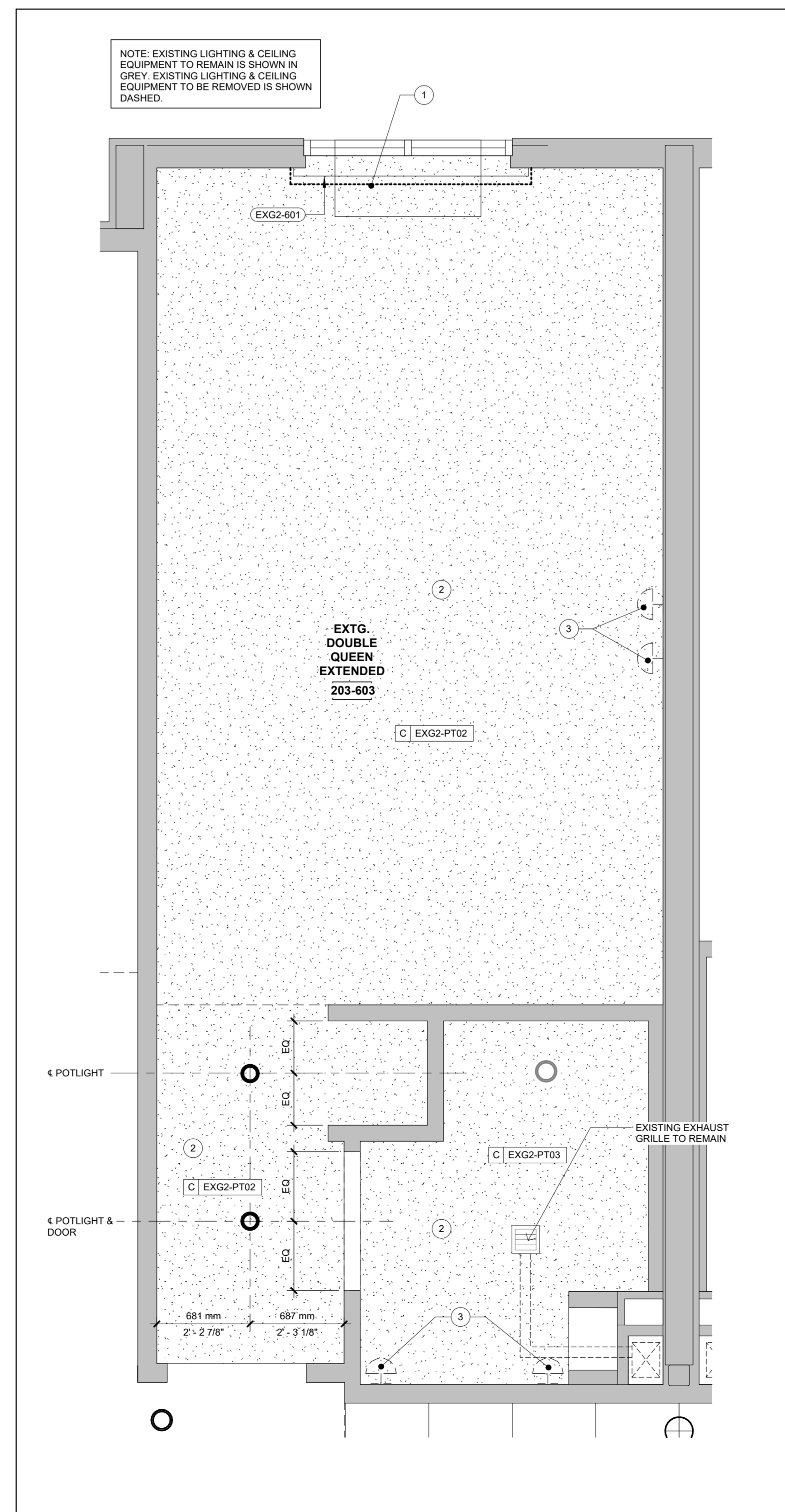
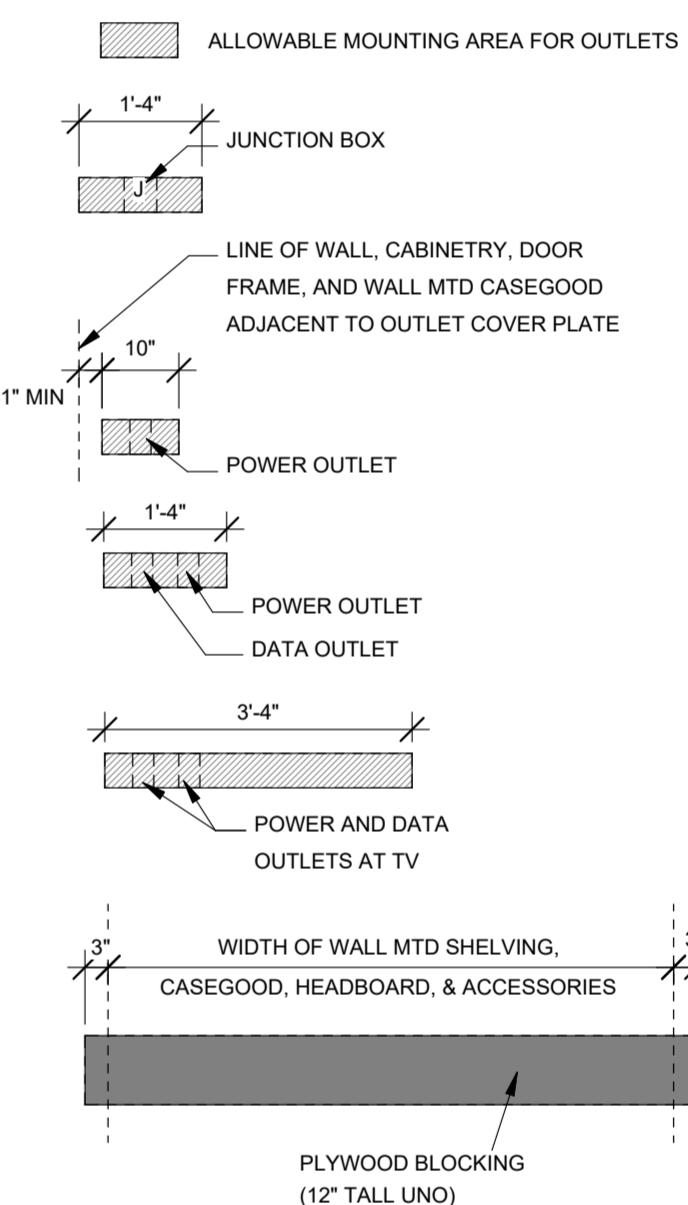
**POWER PLAN NOTES**

- (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- (STANDARD) AT COFFEE MAKER
- (STANDARD) AT REFRIGERATOR
- NOT USED
- (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- (OPTIONAL) VOICEDATA RECEPTACLE. TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER SIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK, AS REQUIRED.
- NOT USED
- GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AHWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

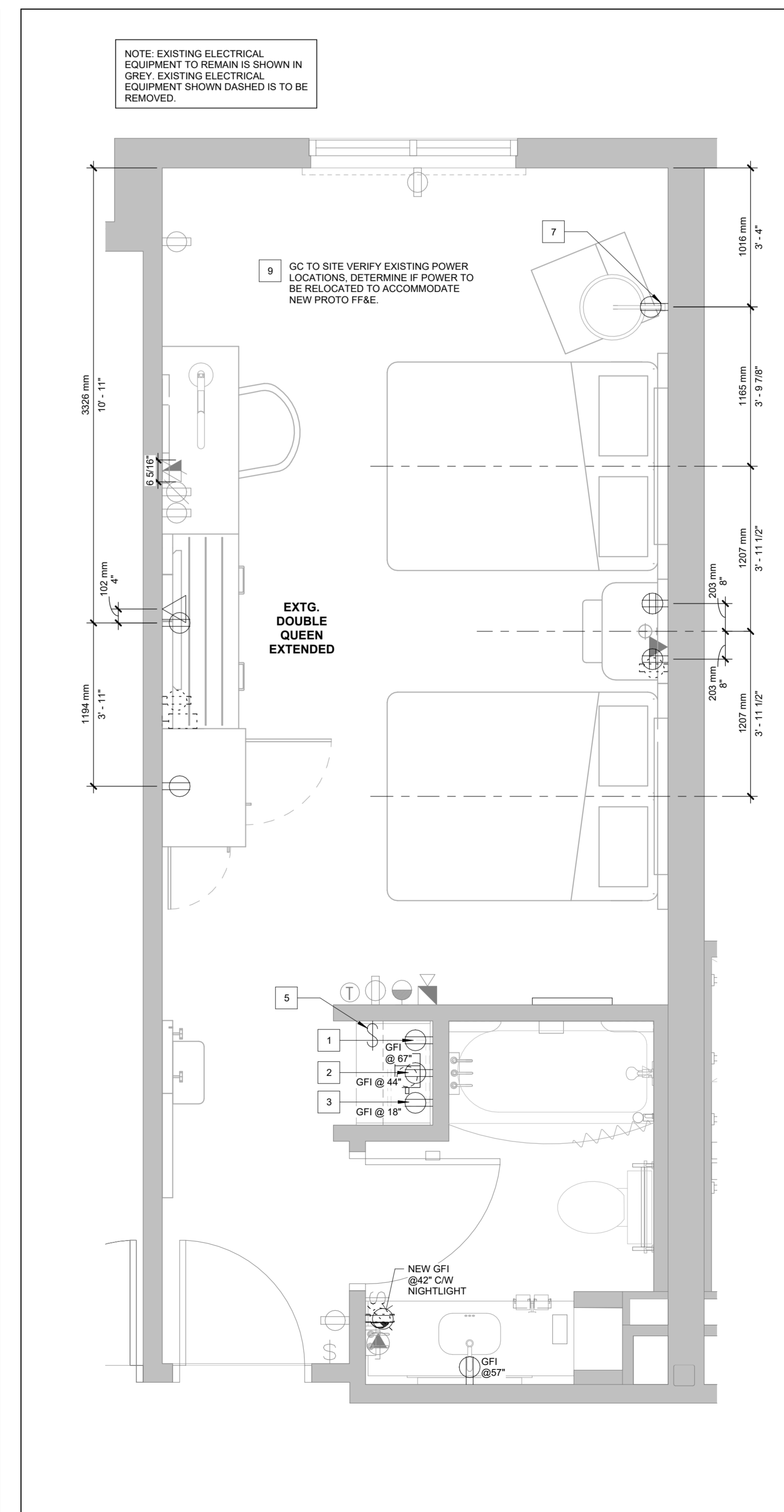
NO.	ISSUED	DATE
1	ISSUED	2025-05-22
2	BRAND REVIEW R2	2025-06-11
3	COORDINATION	2025-06-23
4	BRAND REVIEW 100%	2025-10-01
5	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

**BLOCKING AND ALLOWABLE MOUNTING AREA**

BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



**2** EXTG. DOUBLE QUEEN EXTENDED ROOM RCP  
A706.1 1 : 25

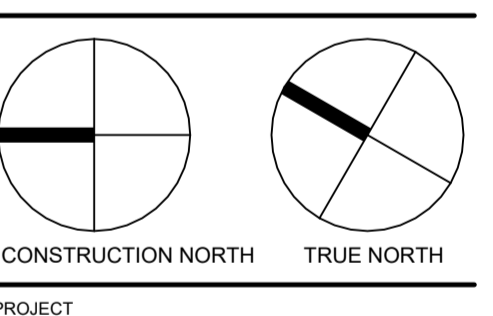


**1** EXTG. DOUBLE QUEEN EXTENDED ROOM POWER  
A706.1 1 : 25

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**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME  
**ENLARGED SUITE -  
EXISTING QQ  
EXTENDED  
PARTITION, POWER  
& BLOCKING**

START DATE  
JANUARY 2025  
DRAWN BY  
AM  
CHECKED BY  
LC  
SCALE  
As indicated  
PROJECT NO.  
125009

DRAWING  
**A706.1**

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NO.	ISSUED	DATE
1	0 - CLIENT REVIEW	2025-03-07
2	0 - CLIENT REVIEW	2025-05-22
3	0 - BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
5	COORDINATION	2025-10-01
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  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS

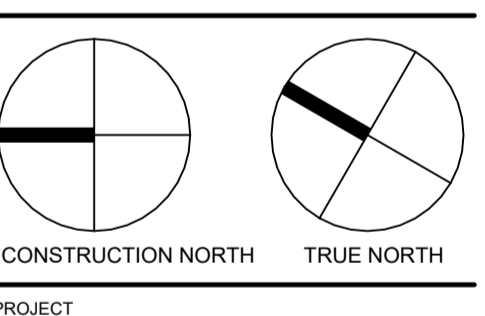
**FLOOR LEGEND**

	12" x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12" x 12" CERAMIC TILE-(EXP2-T02)
	6" x LINEAR VINYL FLOORING-(EXG2-VF01)
	12" x 24" CERAMIC TILE-(EXG2-T01)
	12" x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6" x 48" VINYL FLOORING-(EXP2-VF03)
	12" x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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CLIENT: **Owner**

SCALE:



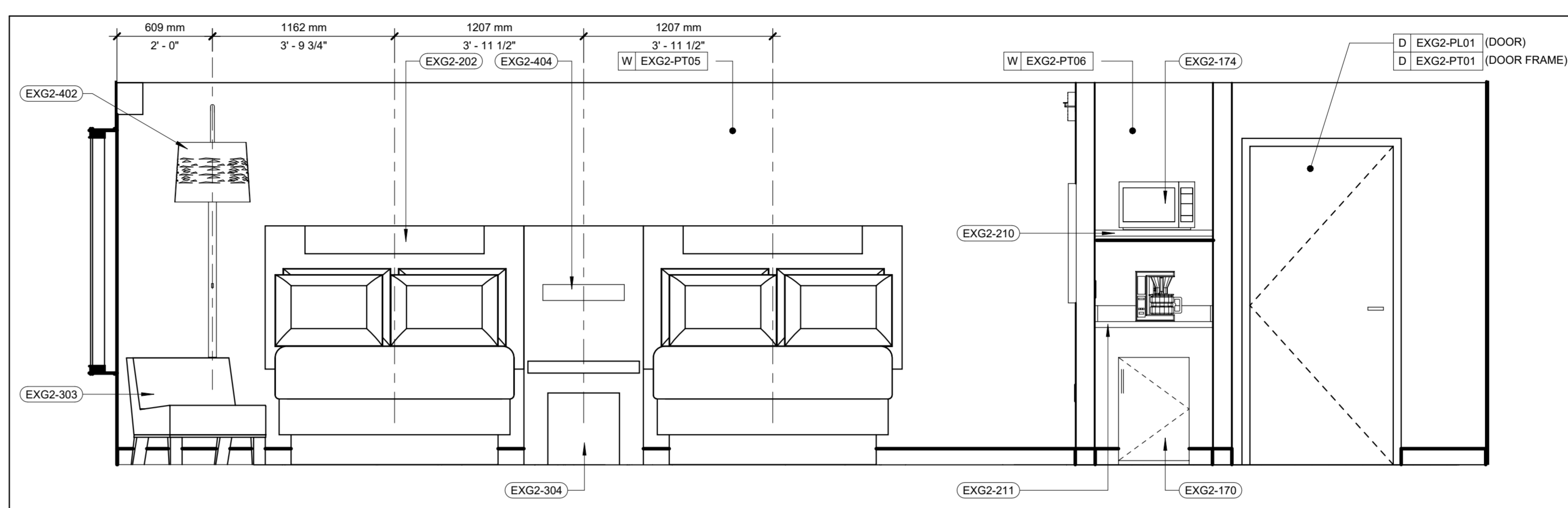
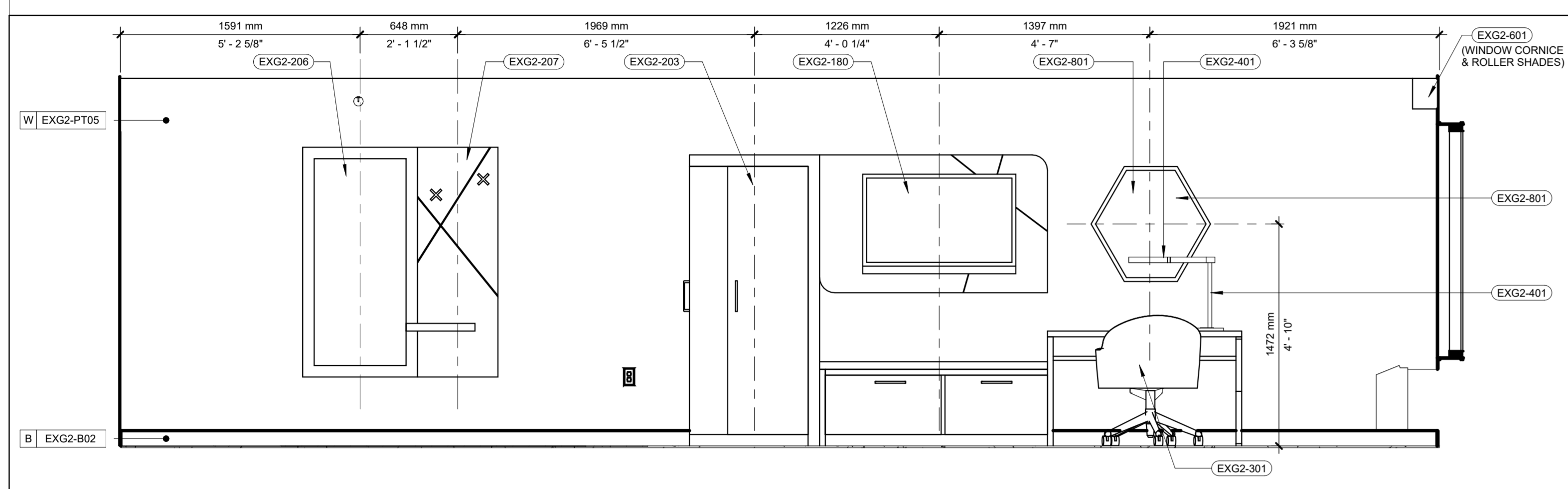
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

**ENLARGED SUITE - EXISTING QQ EXTENDED FF&E, FINISH PLAN & ELEVATIONS**

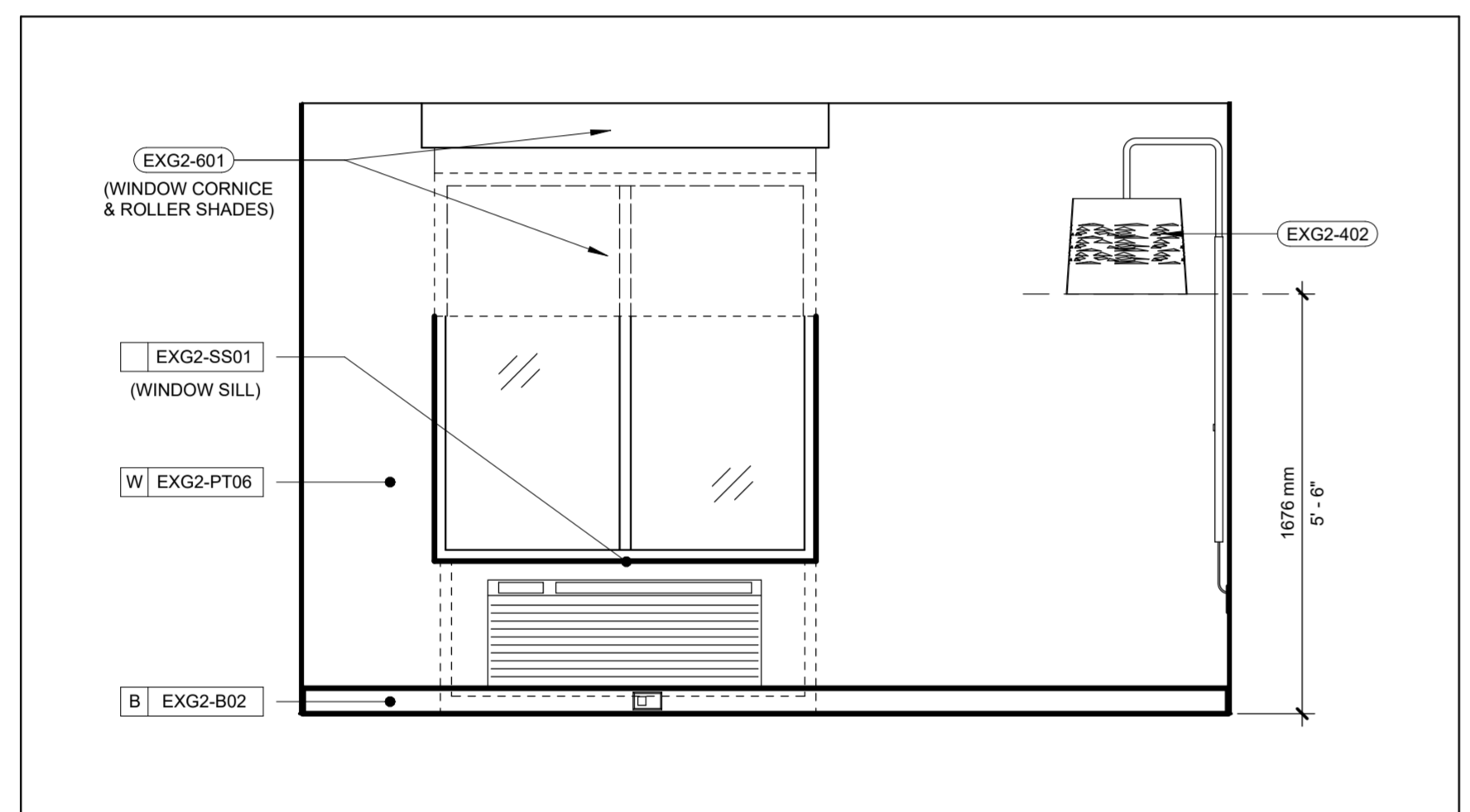
START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

**A706.2**

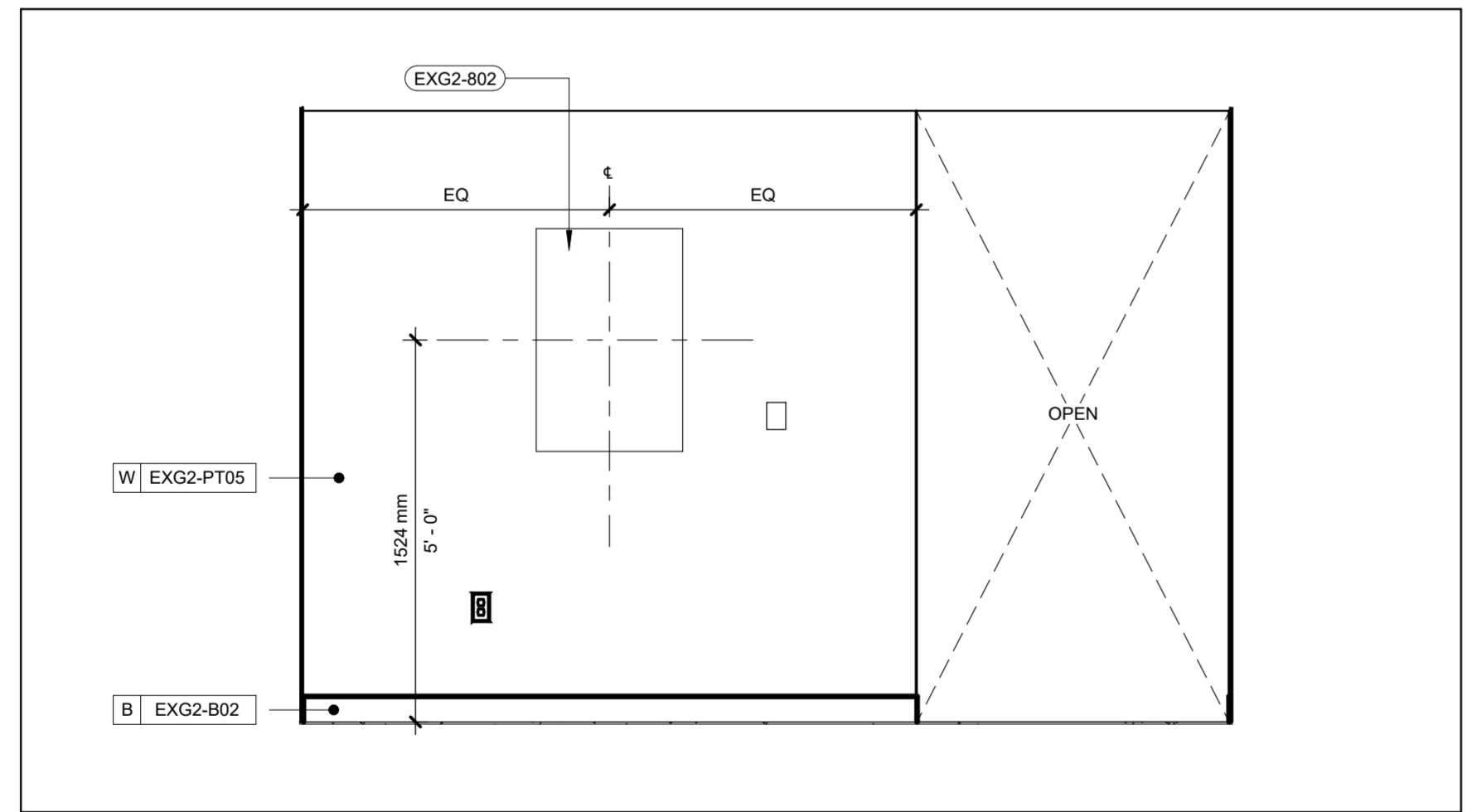


**4 QQ EXT. EXISTING - FUNCTIONAL RACK WALL - FF&E**  
1: 25

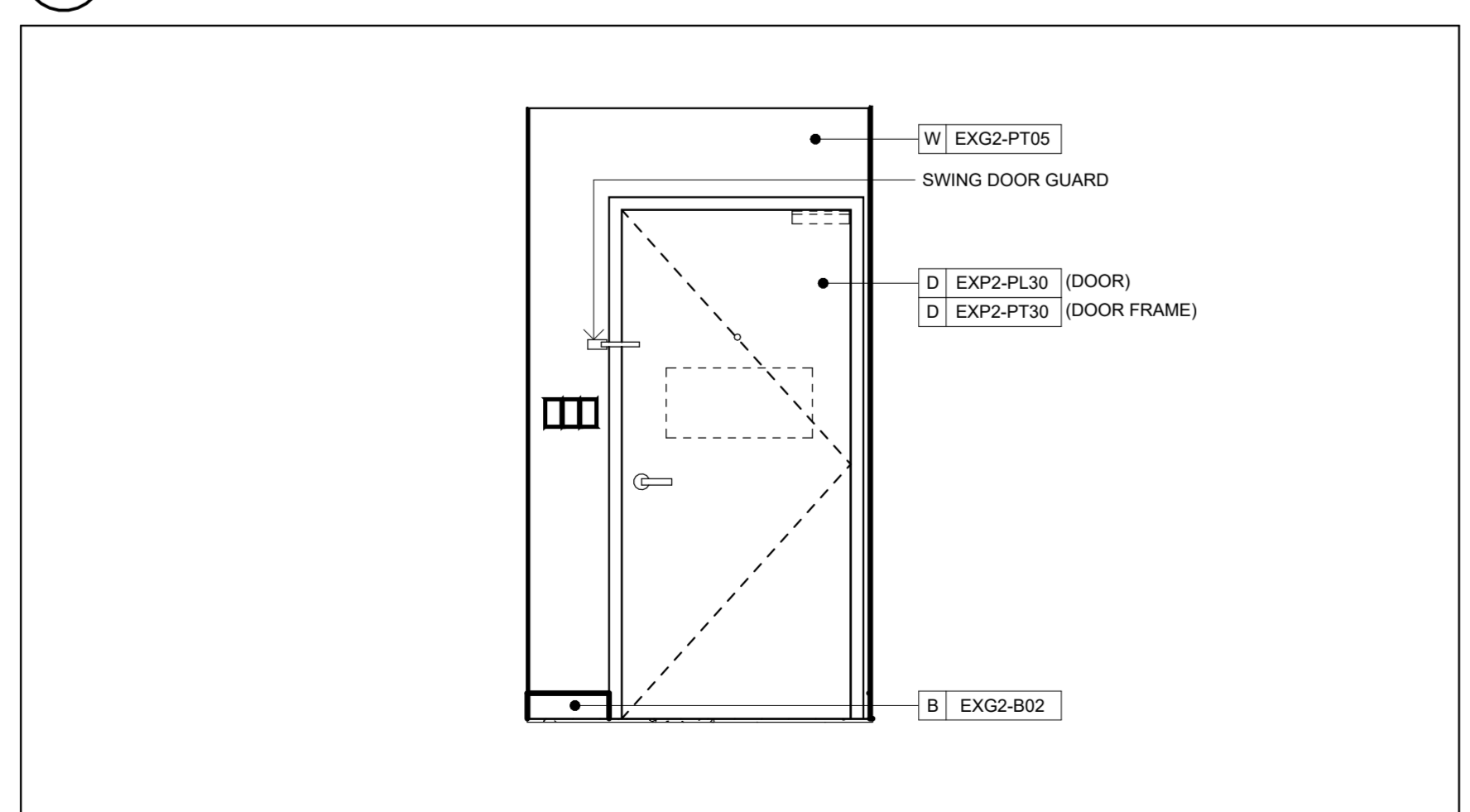
**3 QQ EXT. EXISTING - HEADBOARD WALL - FF&E**  
1: 25



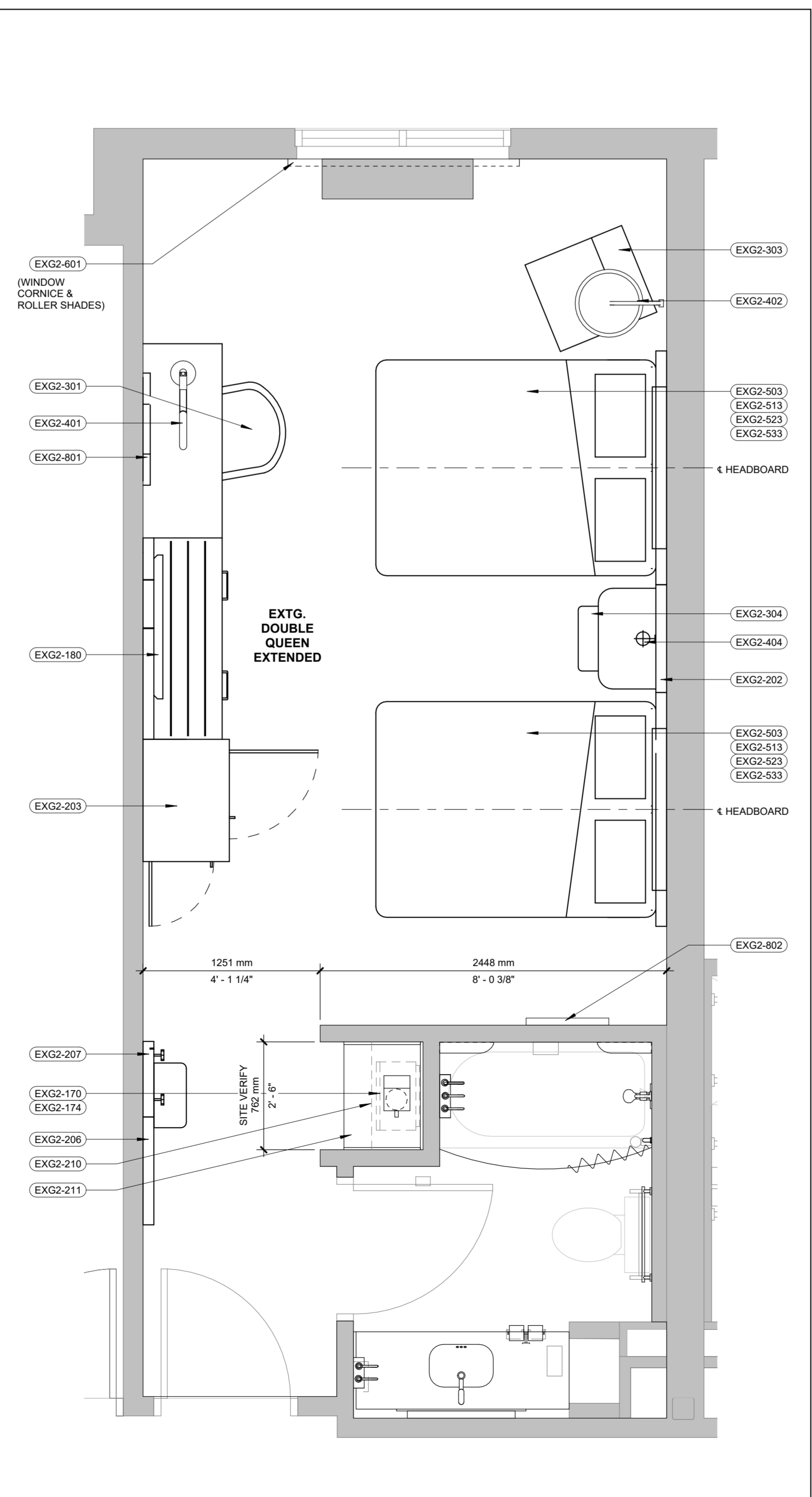
**7 QQ EXT. EXISTING - WINDOW WALL - FF&E**  
1: 25



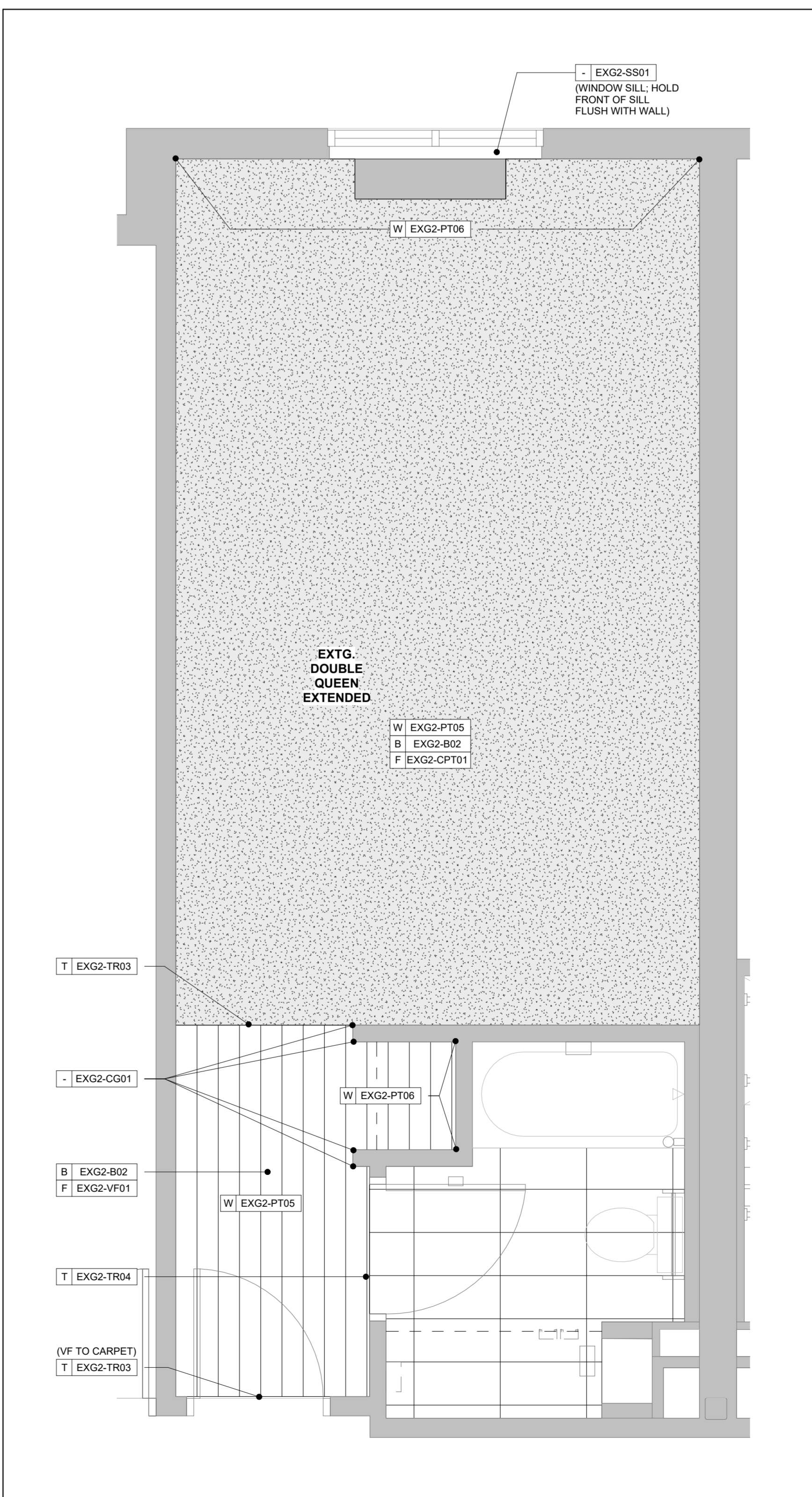
**6 QQ EXT. EXISTING - WING WALL - FF&E**  
1: 25



**5 QQ EXT. EXISTING - ENTRY DOOR WALL**  
1: 25



**2 EXTG. DOUBLE QUEEN EXTENDED ROOM FF&E**  
1: 25



**1 EXTG. DOUBLE QUEEN EXTENDED ROOM FINISH PLAN**  
1: 25

C:\Users\amh\OneDrive\Documents\25009 - Nepean - Billing\2502-03-10\_Jamieson\A706.2.rvt

**RCP GENERAL NOTES**

- REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
- REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
- WHERE REQUIRED, PROVIDE 12"x12" FDBW - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- EXISTING WALL SCOFF TO BE REMOVED

**POWER PLAN NOTES**

- (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- (STANDARD) AT COFFEE MAKER
- (STANDARD) AT REFRIGERATOR
- NOT USED
- (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- (OPTIONAL) VOICEDATA RECEPTACLE. TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER SIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK, AS REQUIRED.
- NOT USED
- GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AHWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

NO.	ISSUED	DATE
1	ID - CLIENT REVIEW	2025-05-22
2	BRAND REVIEW R2	2025-06-11
3	COORDINATION	2025-06-23
5	BRAND REVIEW 100%	2025-10-01
4	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

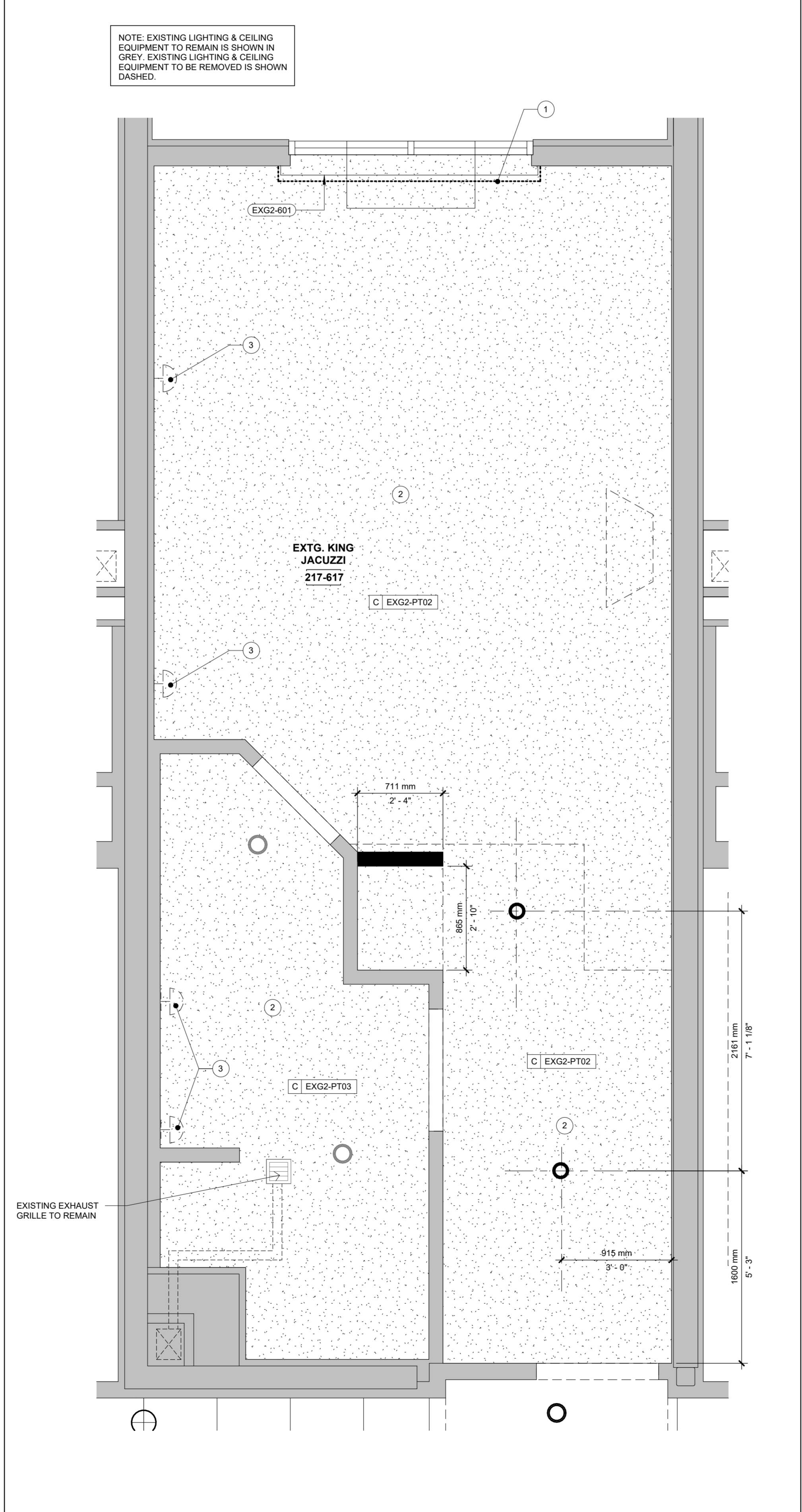
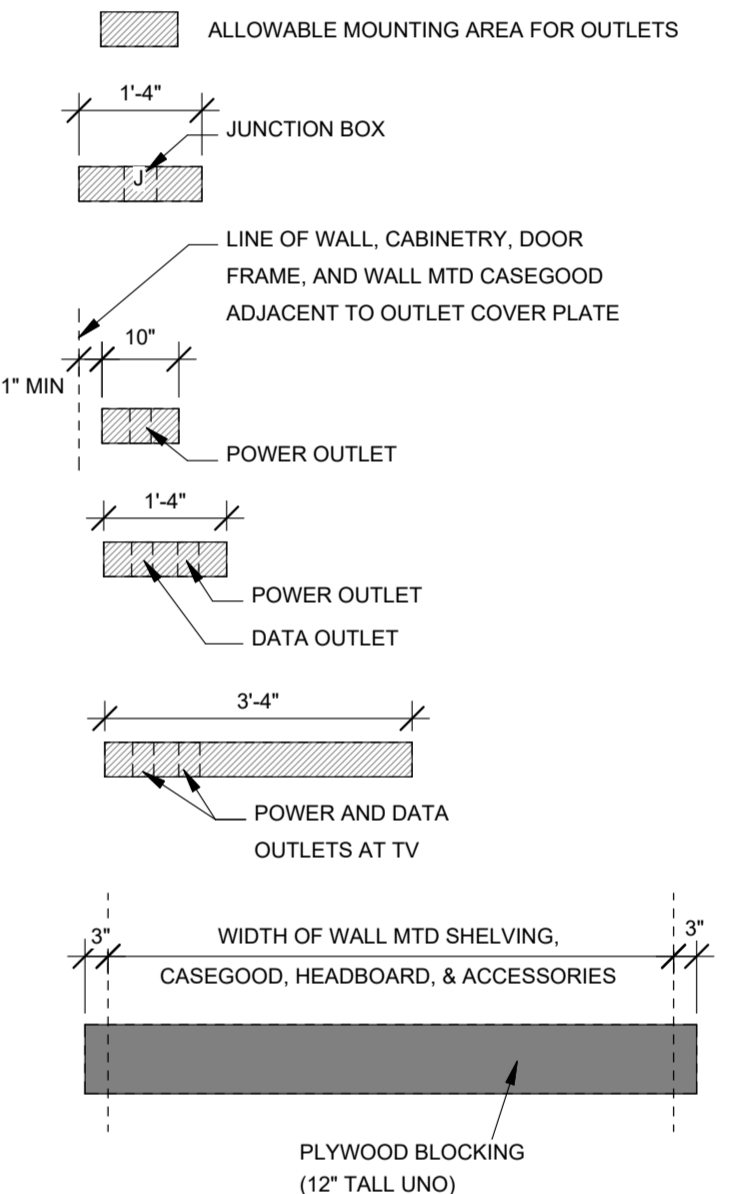
DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. MARKING AND DIMENSIONS TO BE USED AS A GUIDE ONLY. NECESSARY. AVOID COPYRIGHT INFRINGEMENT. INDECENT INFRINGEMENT IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

CLIENT: **Owner**

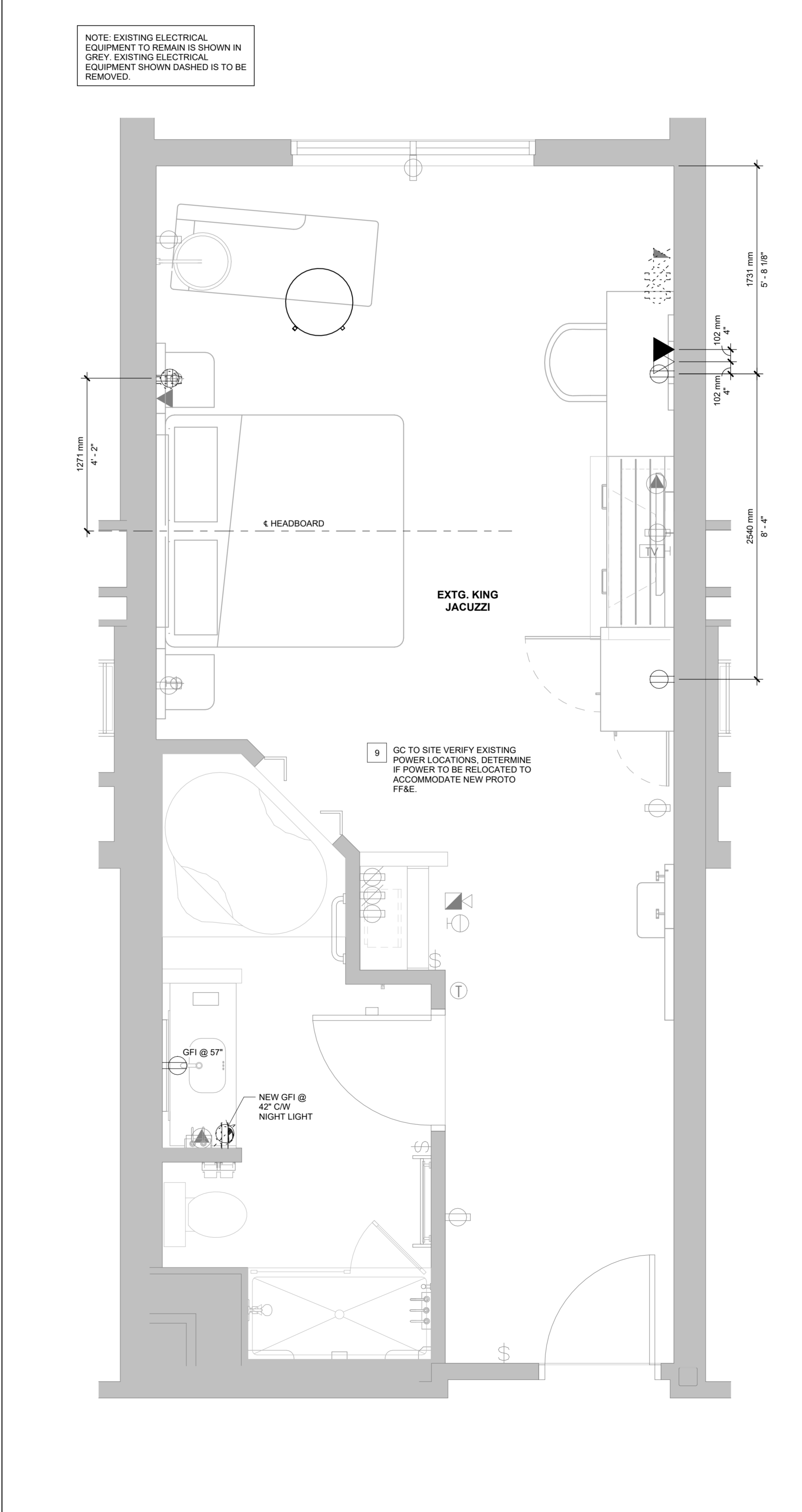
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**BLOCKING AND ALLOWABLE MOUNTING AREA**

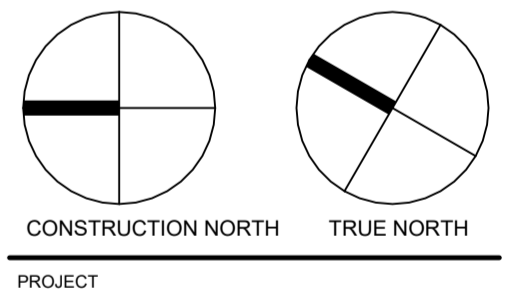
BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



**2** EXTG. KING JACUZZI ROOM RCP  
1 : 25



**1** EXTG. KING JACUZZI ROOM POWER  
1 : 25



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

**ENLARGED SUITE -  
EXISTING KING  
JACUZZI PARTITION,  
POWER & BLOCKING**

START DATE: **JANUARY 2025**

DRAWN BY: **AM**

CHECKED BY: **LC**

SCALE: **As indicated**

PROJECT NO.: **125009**

**A707.1**

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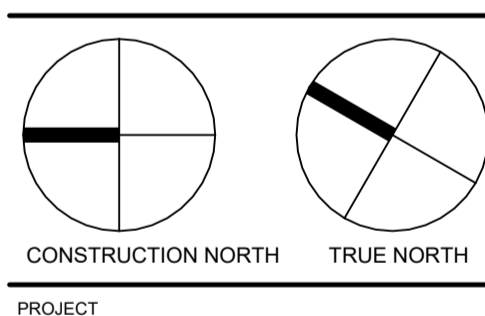
NO.	ISSUED	DATE
1	0 - CLIENT REVIEW	2025-03-07
2	0 - CLIENT REVIEW	2025-05-22
3	0 - BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
5	0 - BRAND REVIEW 100%	2025-10-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17

**ENLARGED FINISH/FURNISHING GENERAL NOTES:**

- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
- PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
- PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
- PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
- FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
- REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
- REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
- ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
- ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
- EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
- REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS.

**FLOOR LEGEND**

	12' x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12' x 12" CERAMIC TILE-(EXP2-T02)
	6' x LINEAR VINYL FLOORING-(EXG2-VF01)
	12' x 24" CERAMIC TILE-(EXG2-T01)
	12' x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6' x 48" VINYL FLOORING-(EXP2-VF03)
	12' x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES



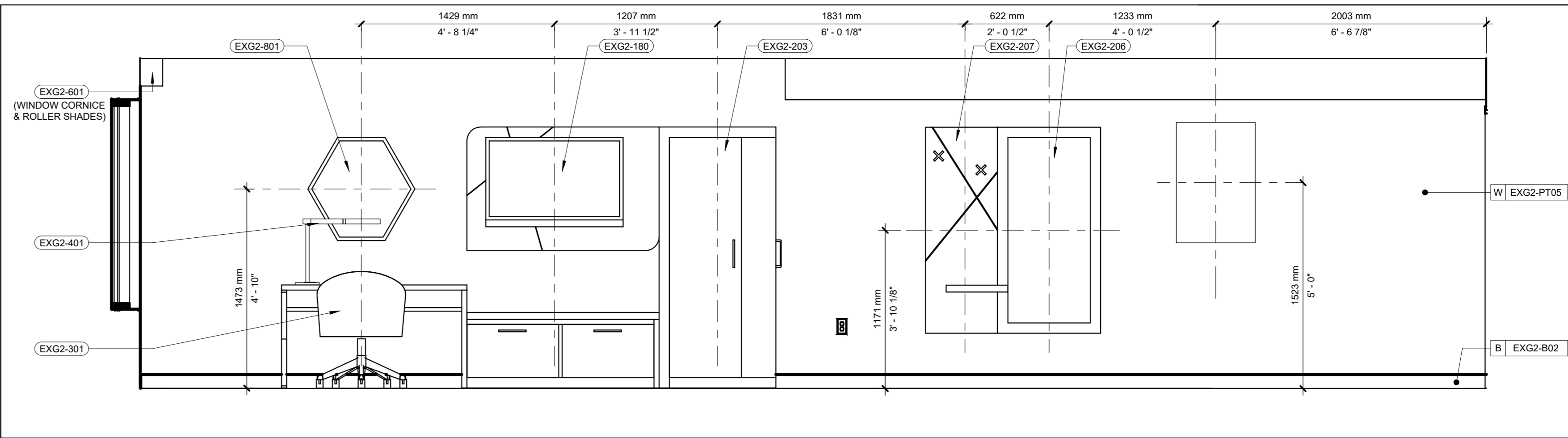
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
 NEPEAN, ON K2H 5Y9

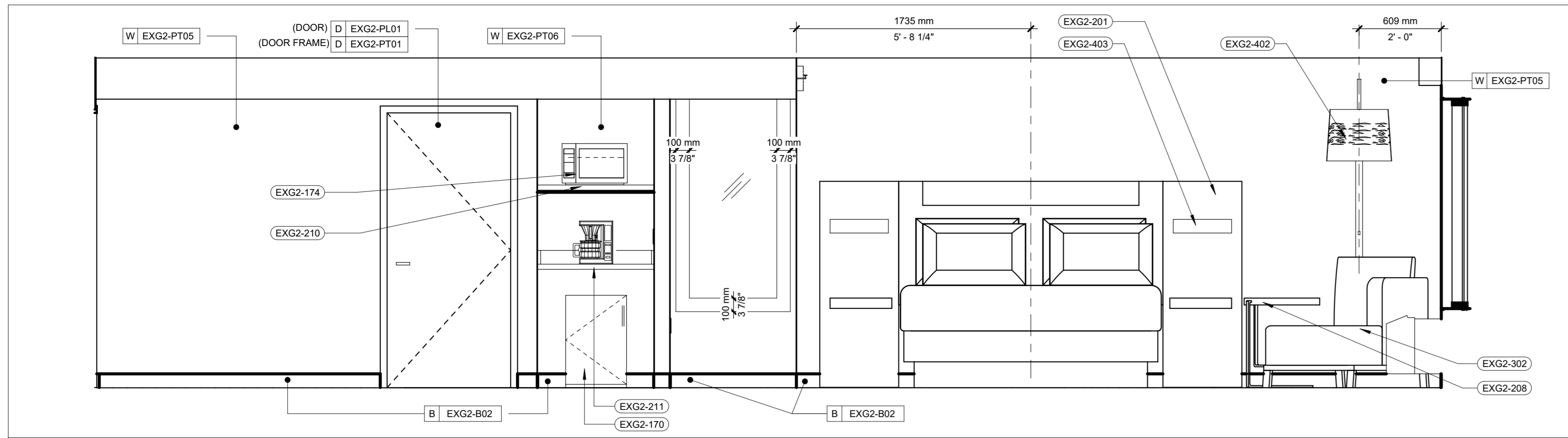
**ENLARGED SUITE - EXISTING KING JACUZZI FF&E, FINISH PLAN & ELEVATIONS**

START DATE: JANUARY 2025  
 DRAWN BY: AM  
 CHECKED BY: LC  
 SCALE: As indicated  
 PROJECT NO: 125009

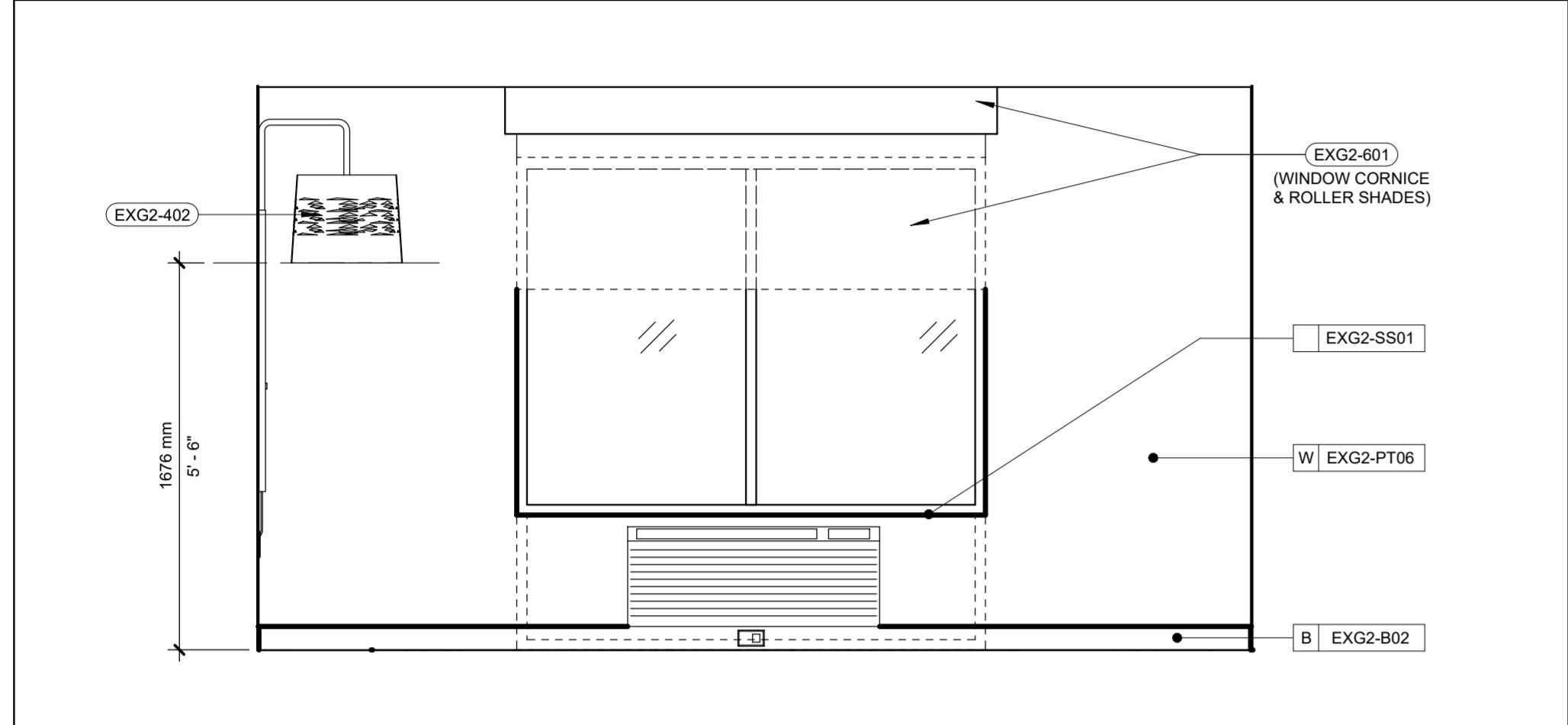
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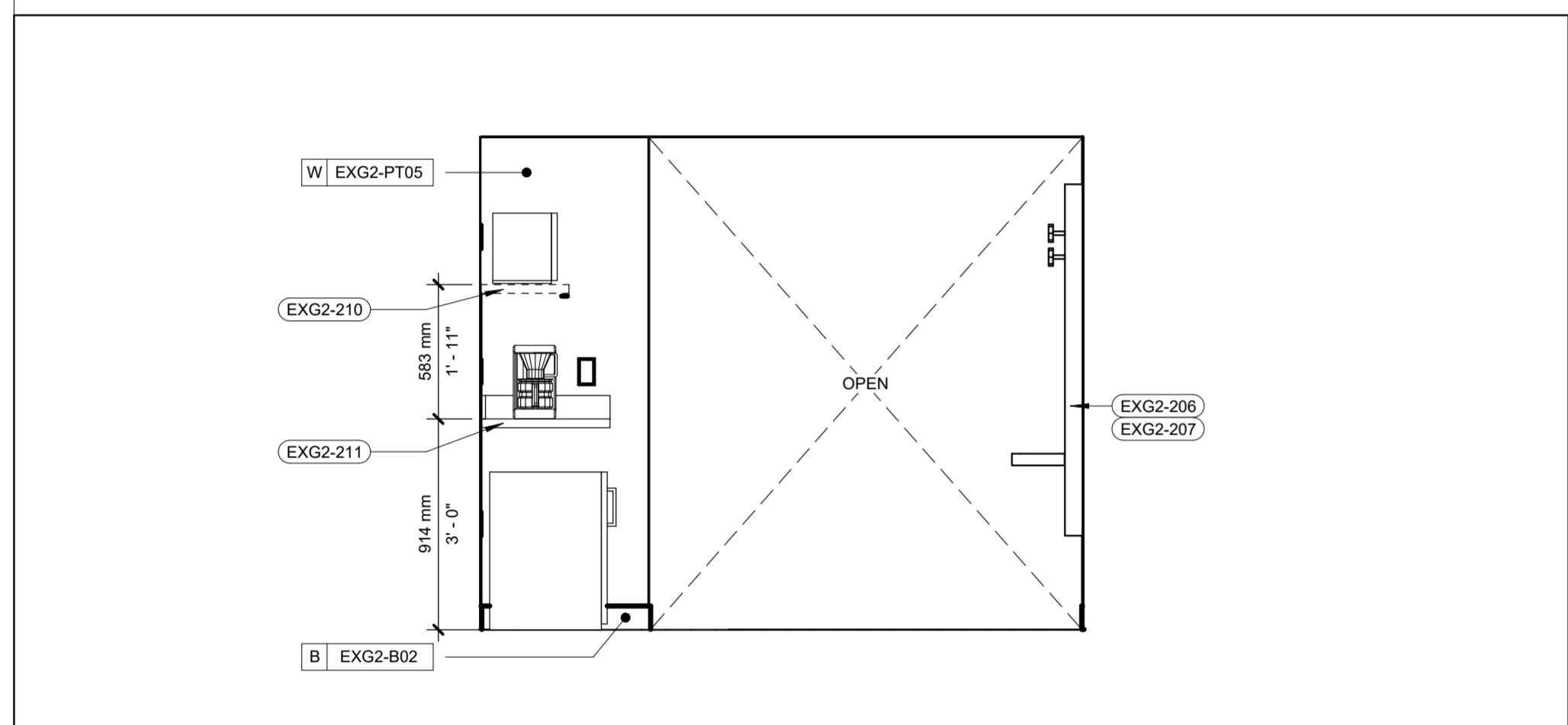
**3 KING JACUZZI EXT - FUNCTIONAL RACK WALL - FF&E**  
 1:25



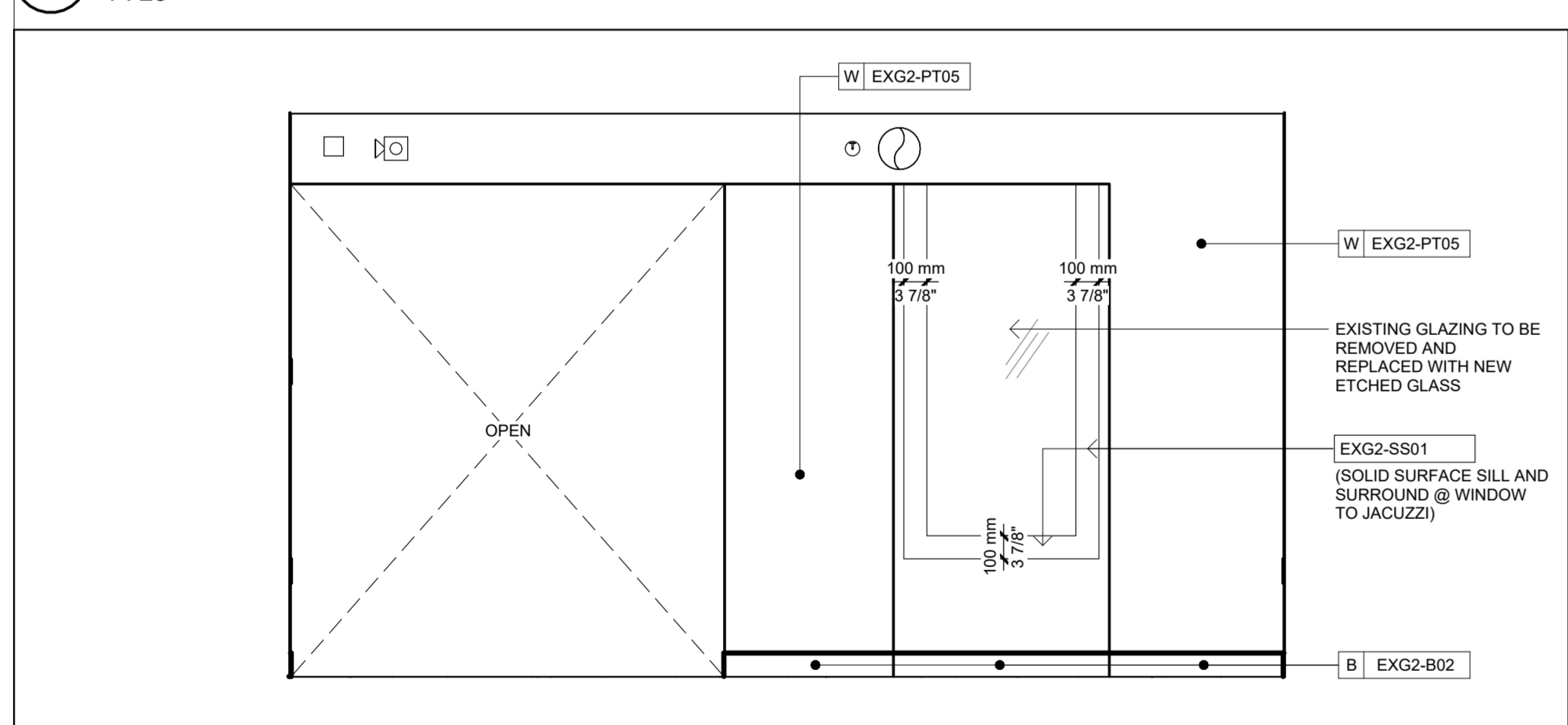
**4 KING JACUZZI EXT - HEADBOARD WALL - FF&E**  
 1:25



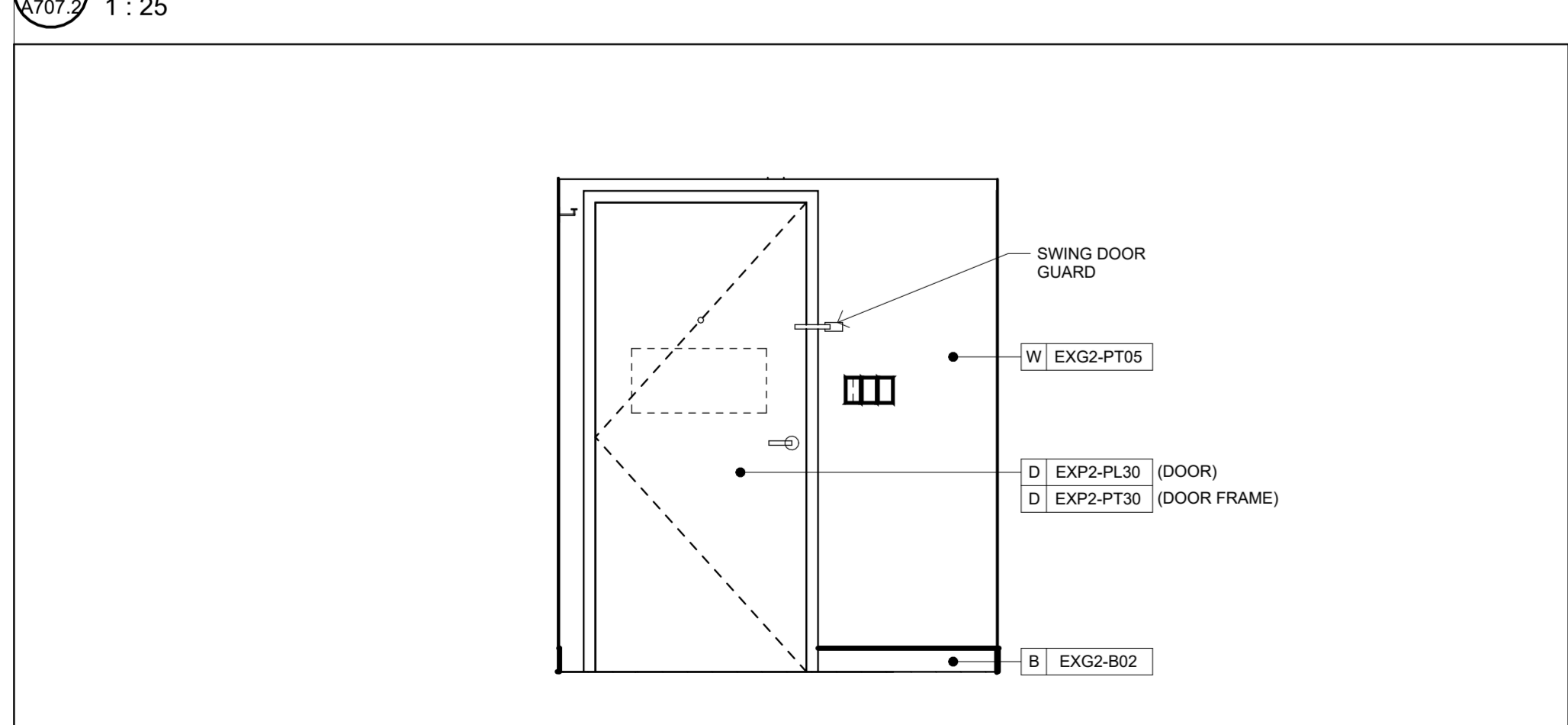
**5 KING JACUZZI EXT - WINDOW WALL - FF&E**  
 1:25



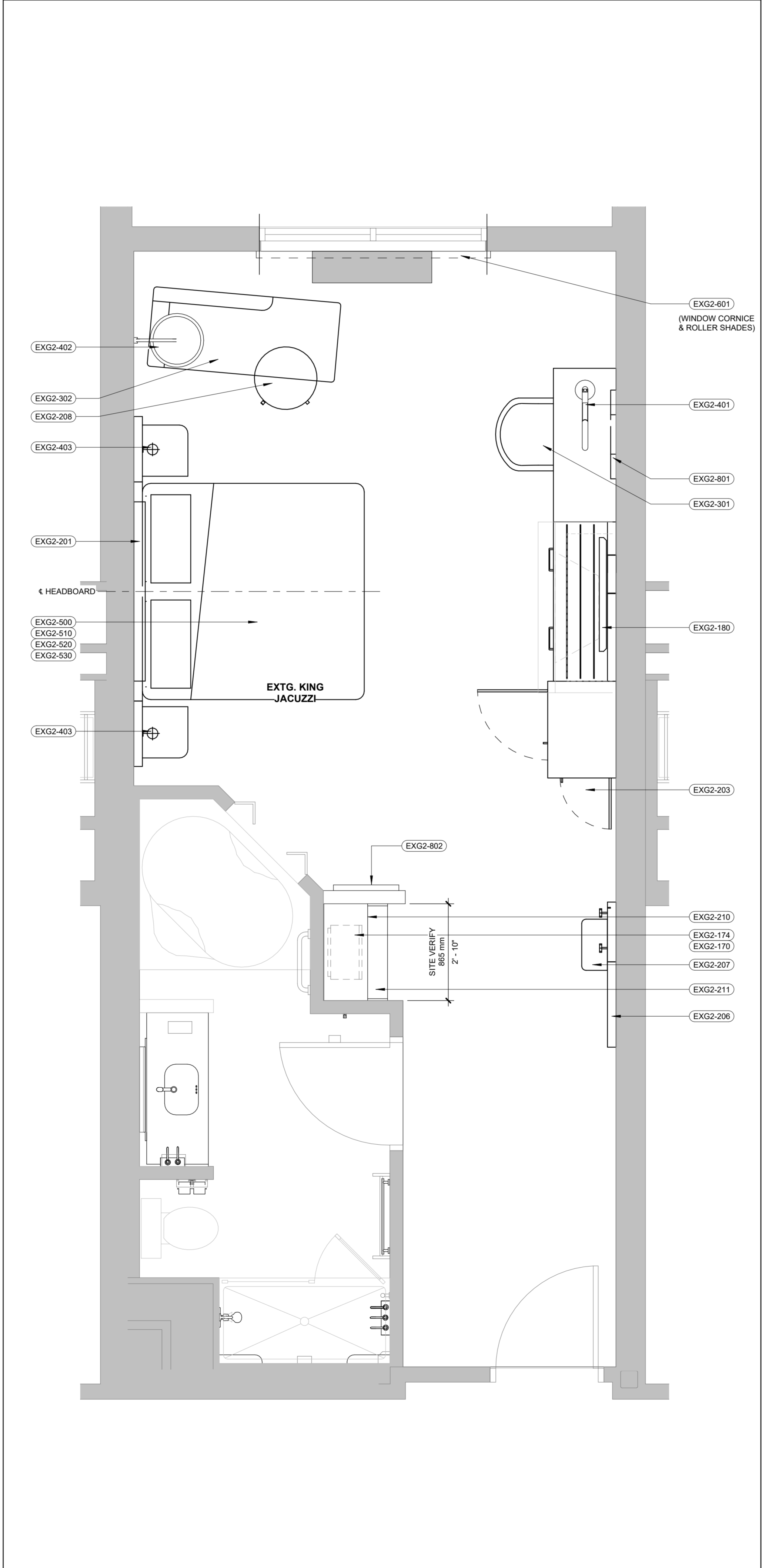
**6 KING JACUZZI ETC - REFRESHMENT ZONE WALL - FF&E**  
 1:25



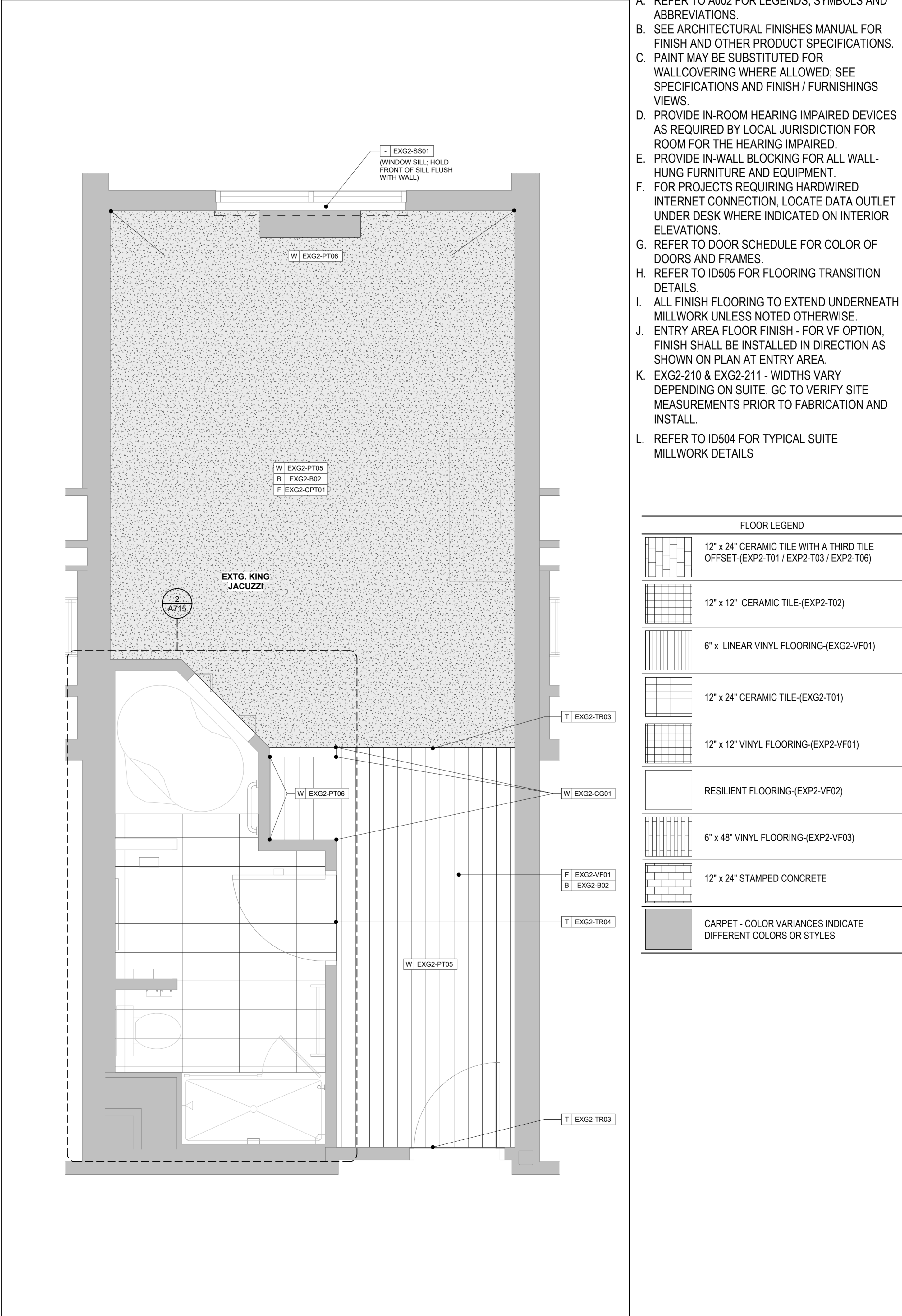
**8 KING JACUZZI EXT - ENTRY WALL - FF&E**  
 1:25



**7 KING JACUZZI EXT - ENTRY DOOR WALL FF&E**  
 1:25



**2 EXTG. KING JACUZZI ROOM FF&E**  
 1:25



**1 EXTG. KING JACUZZI ROOM FINISH PLAN**  
 1:25

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**RCP GENERAL NOTES**

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2. REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
3. PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
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**RCP KEY NOTES**

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- 3 EXISTING WALL SCIENCE TO BE REMOVED

**RCP PLAN NOTES**

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- 8 NOT USED
- 9 GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
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7	COORDINATION	2025-11-17

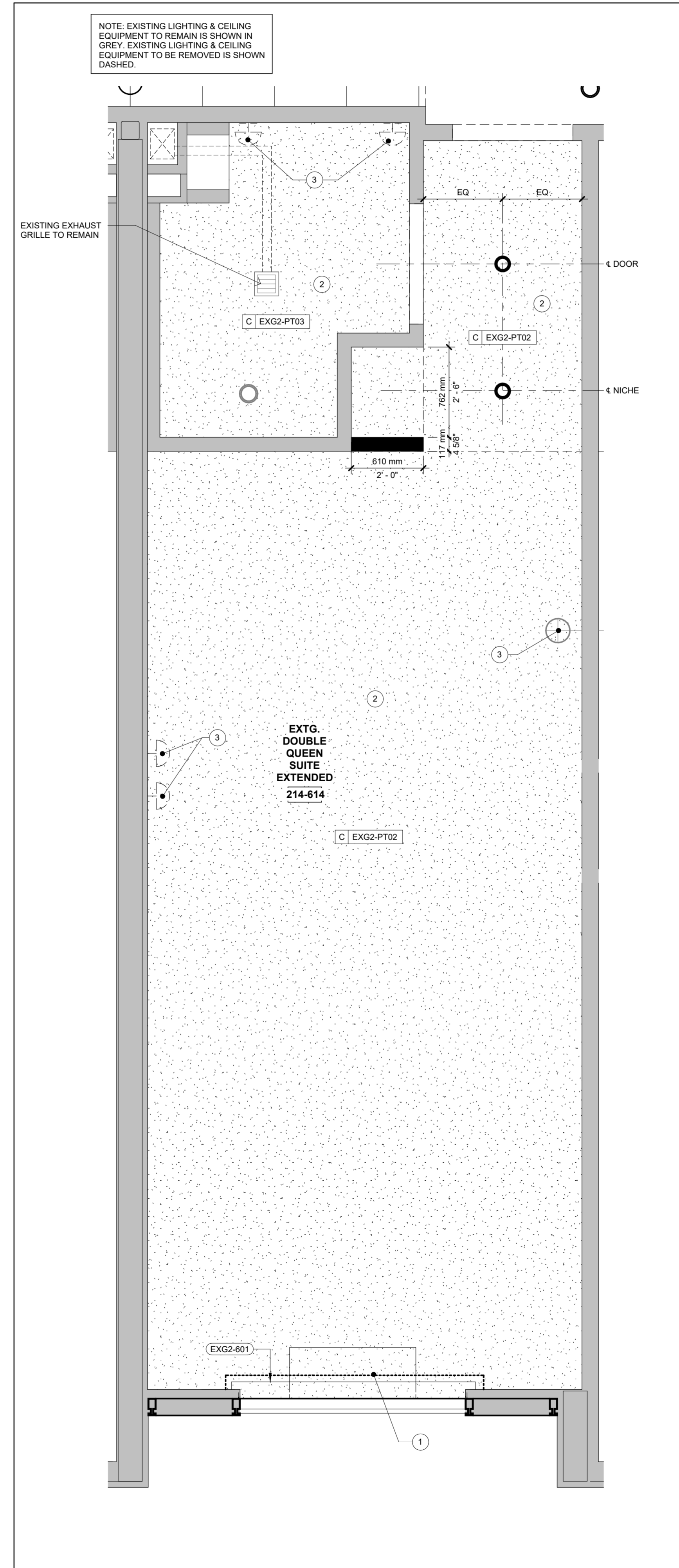
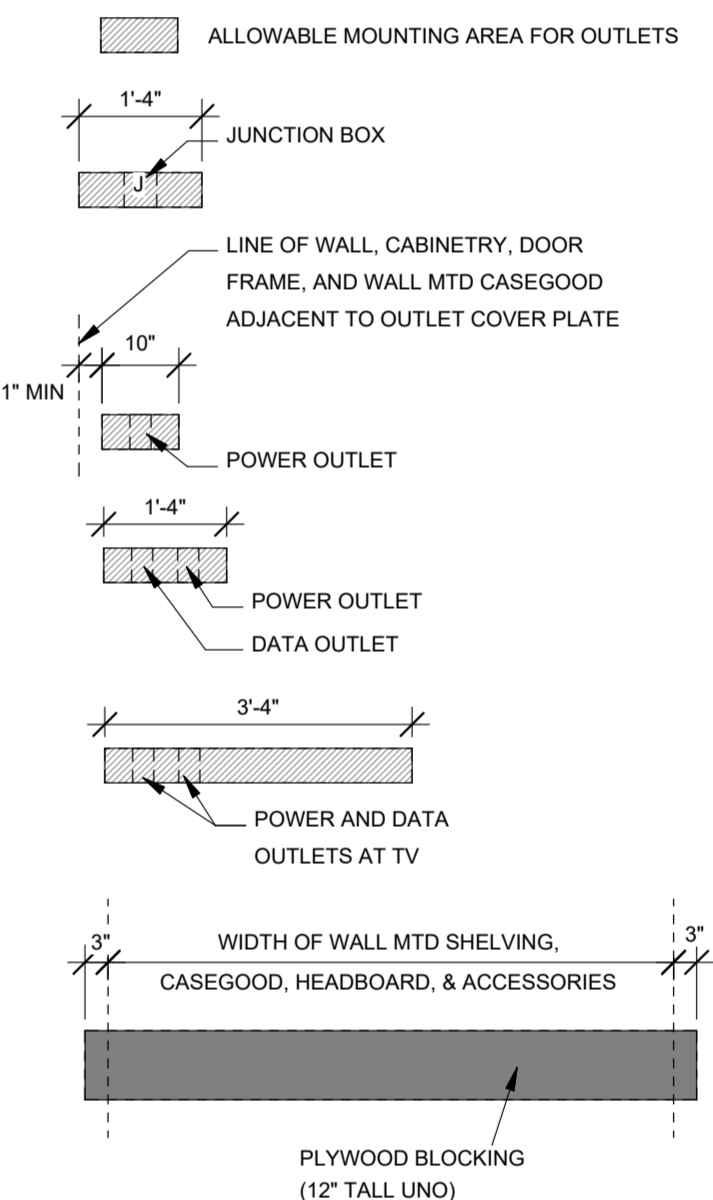
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CLIENT  
**Owner**

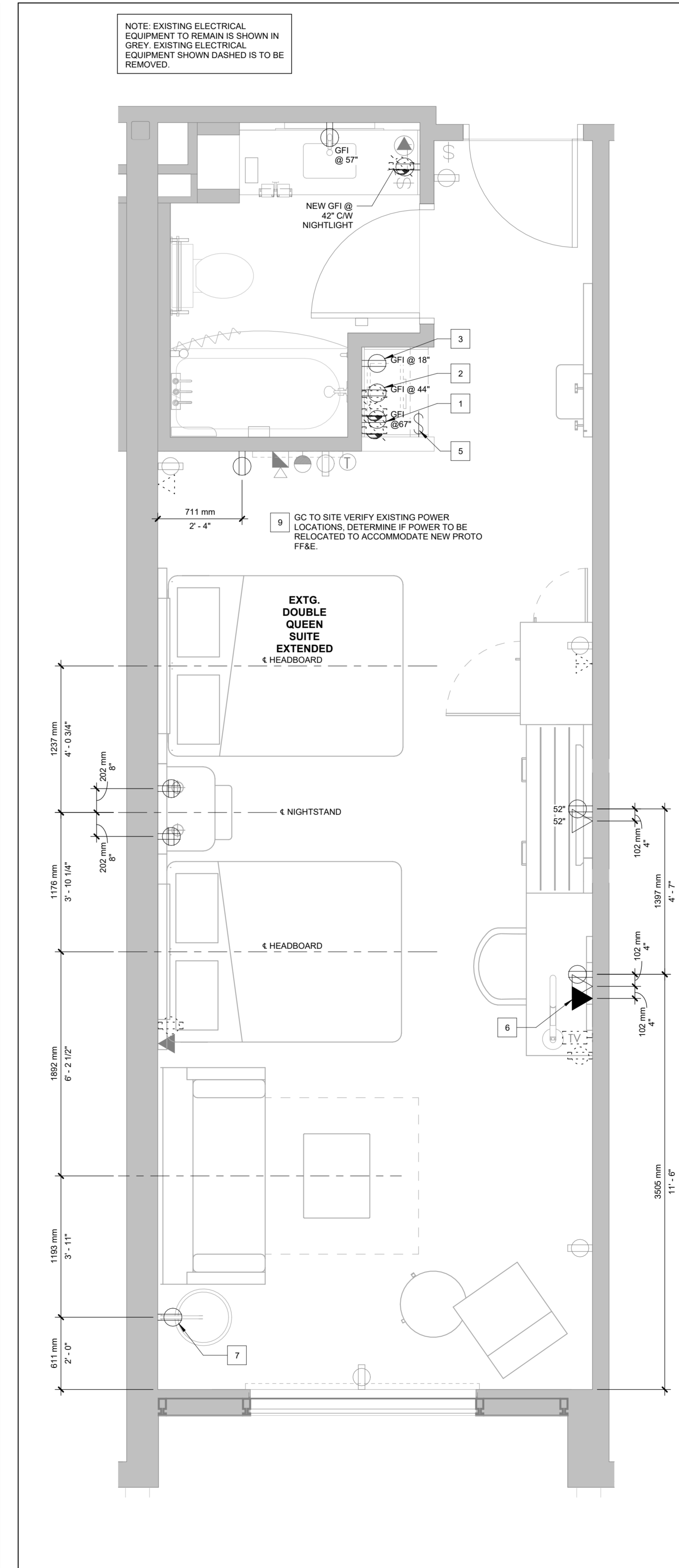
SEAL

**BLOCKING AND ALLOWABLE MOUNTING AREA**

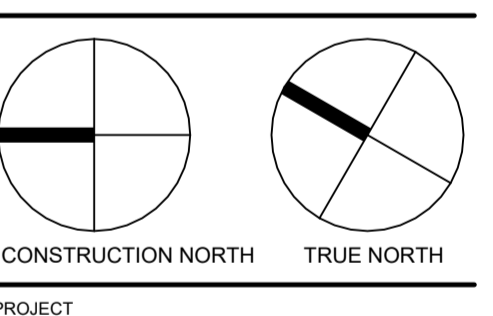
BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



**1 EXTG. DOUBLE QUEEN EXTENDED SUITE RCP**  
A708.1 1 : 25



**2 EXTG. DOUBLE QUEEN EXTENDED SUITE POWER**  
A706.1 1 : 25



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

**ENLARGED SUITE -  
EXISTING QQ  
EXTENDED SUITE  
PARTITION, POWER  
& BLOCKING**

START DATE: JANUARY 2025  
DRAWN BY: AM  
CHECKED BY: LC  
SCALE: As indicated  
PROJECT NO.: 125009

**A708.1**

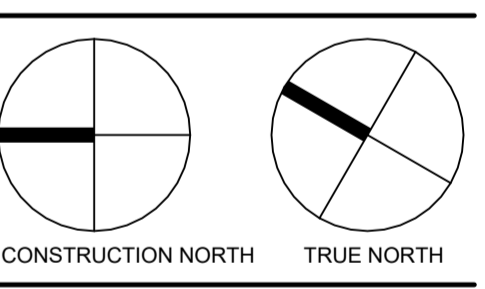
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NO.	ISSUED	DATE
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2	01 - CLIENT REVIEW	2025-05-22
3	02 - BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
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8	COORDINATION	2025-11-17

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CLIENT: **Owner**

SCALE:



PROJECT:

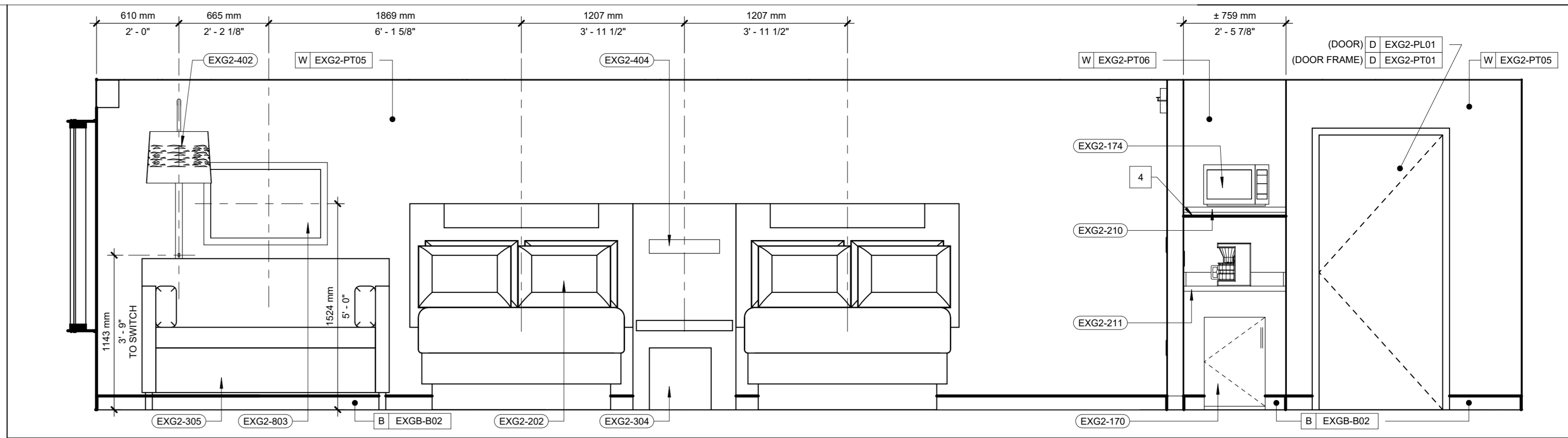
**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

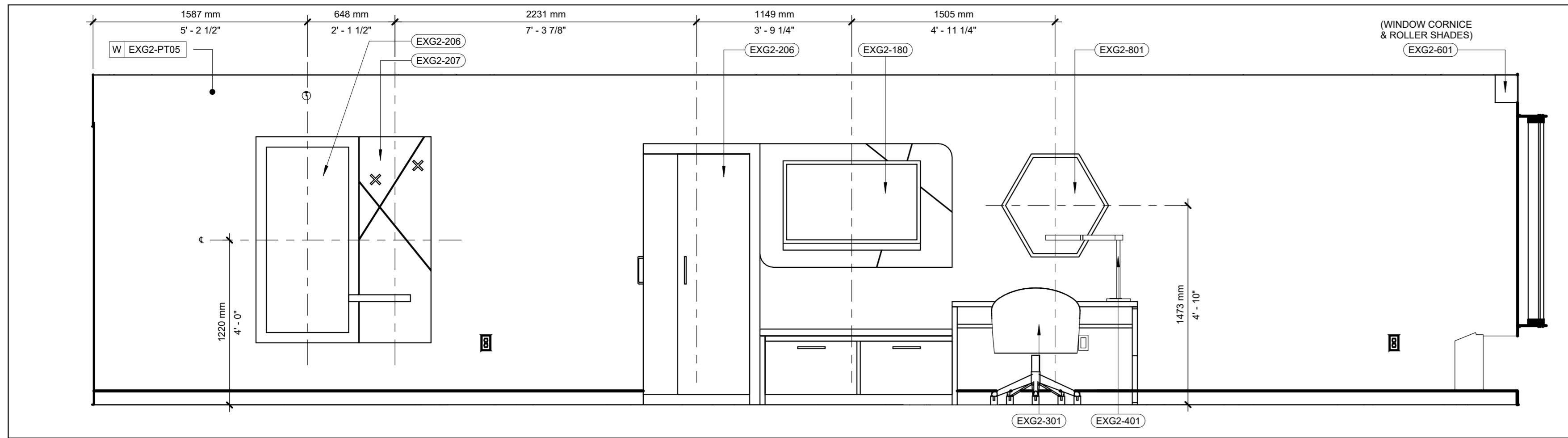
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**ENLARGED SUITE - EXISTING QQ EXTENDED SUITE FF&E, FINISH PLAN & ELEVATIONS**

START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

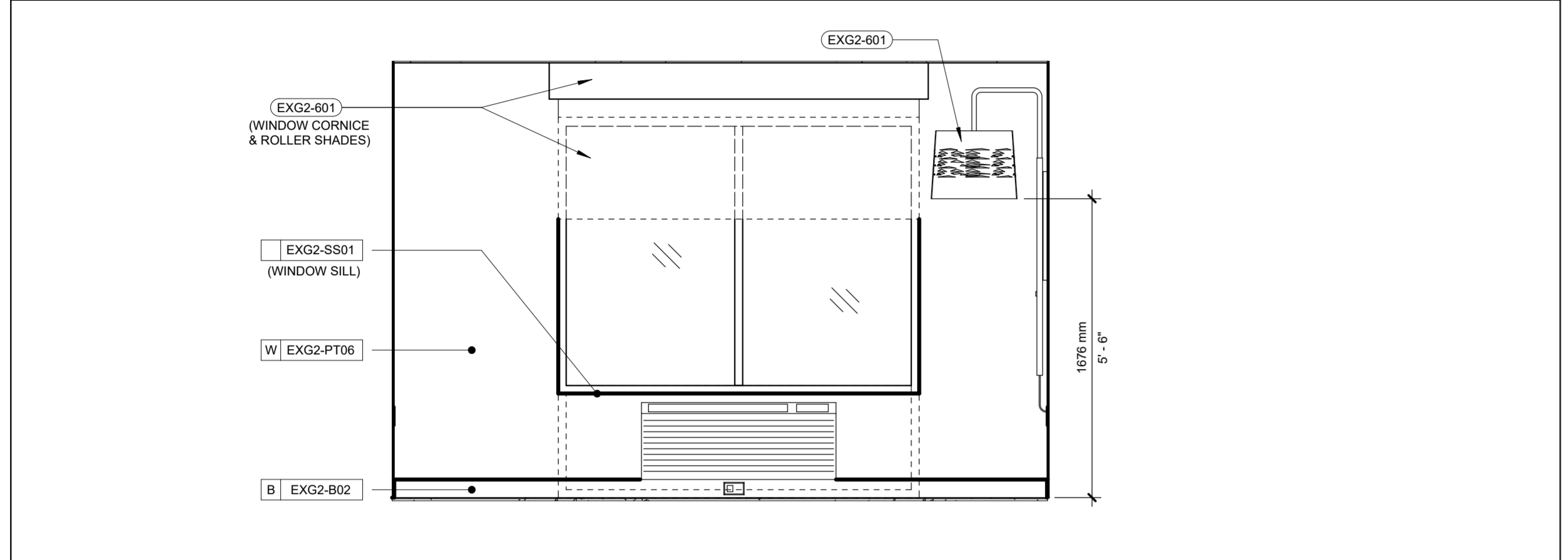
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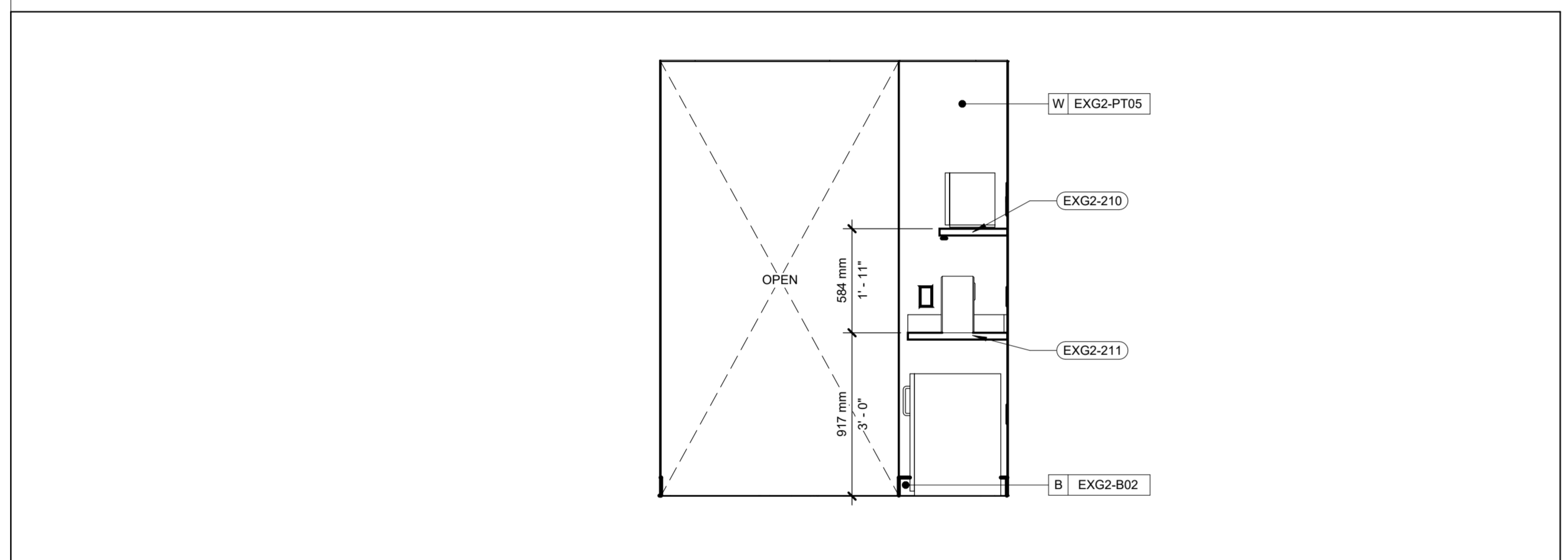
**8 QQ SUITE EXT. EXISTING - HEADBOARD WALL**  
A708.2 1:25



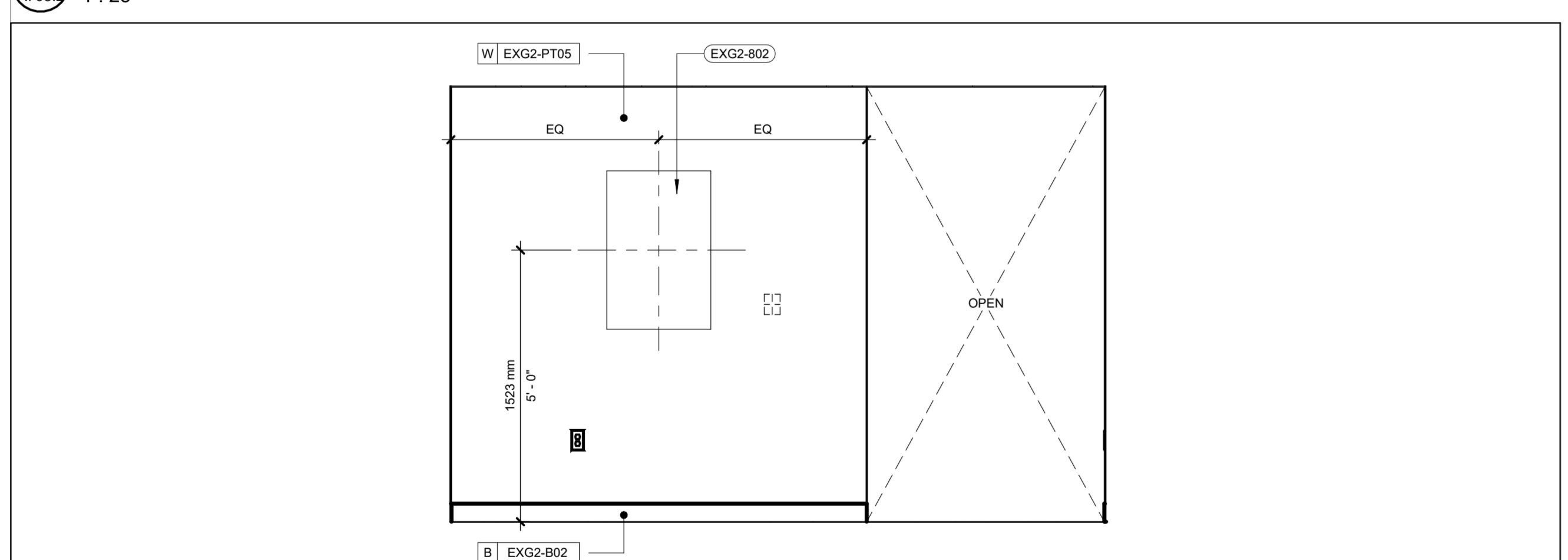
**7 QQ SUITE EXT. EXISTING - FUNCTIONAL RACK WALL**  
A708.2 1:25



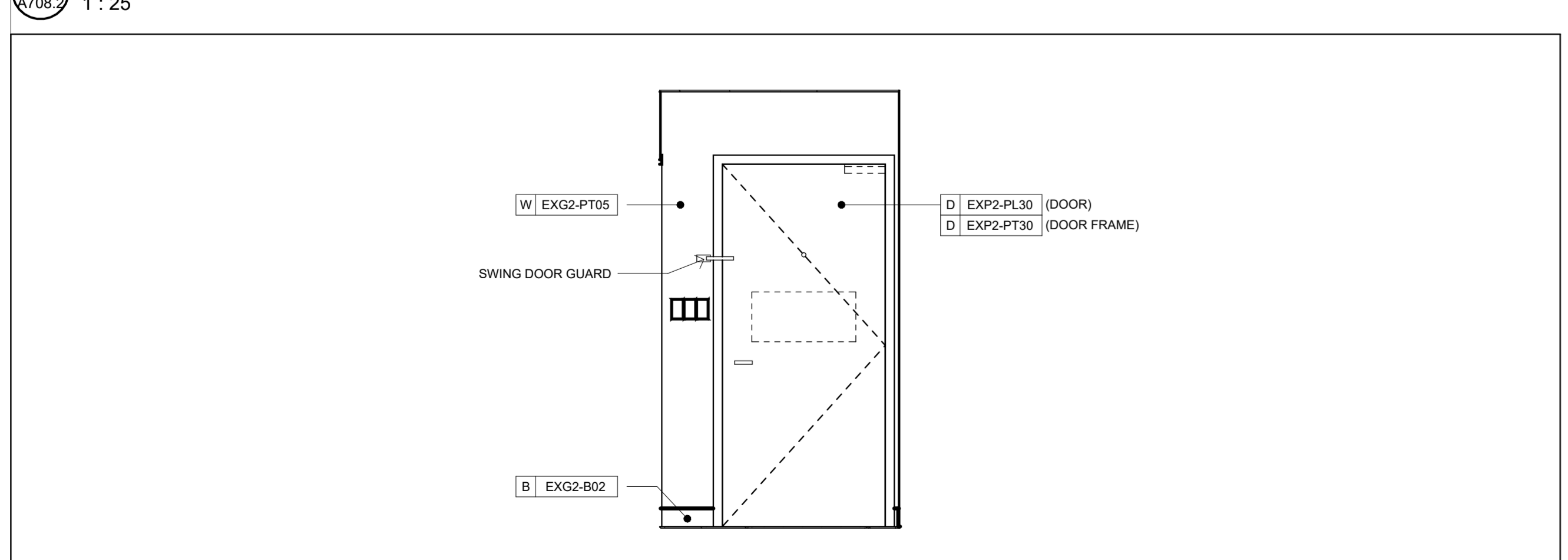
**6 QQ SUITE EXT. EXISTING - WINDOW WALL**  
A708.2 1:25



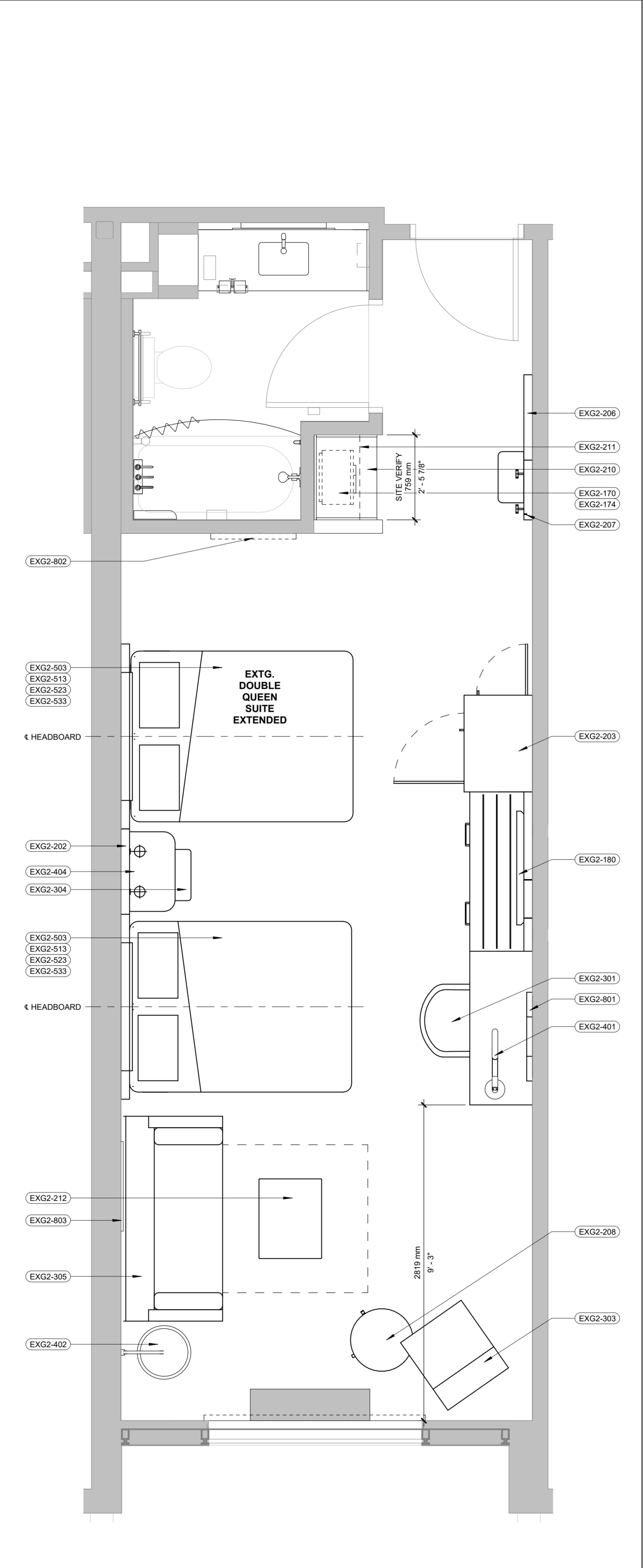
**5 QQ SUITE EXT. EXISTING - REFRESHMENT ZONE WALL**  
A708.2 1:25



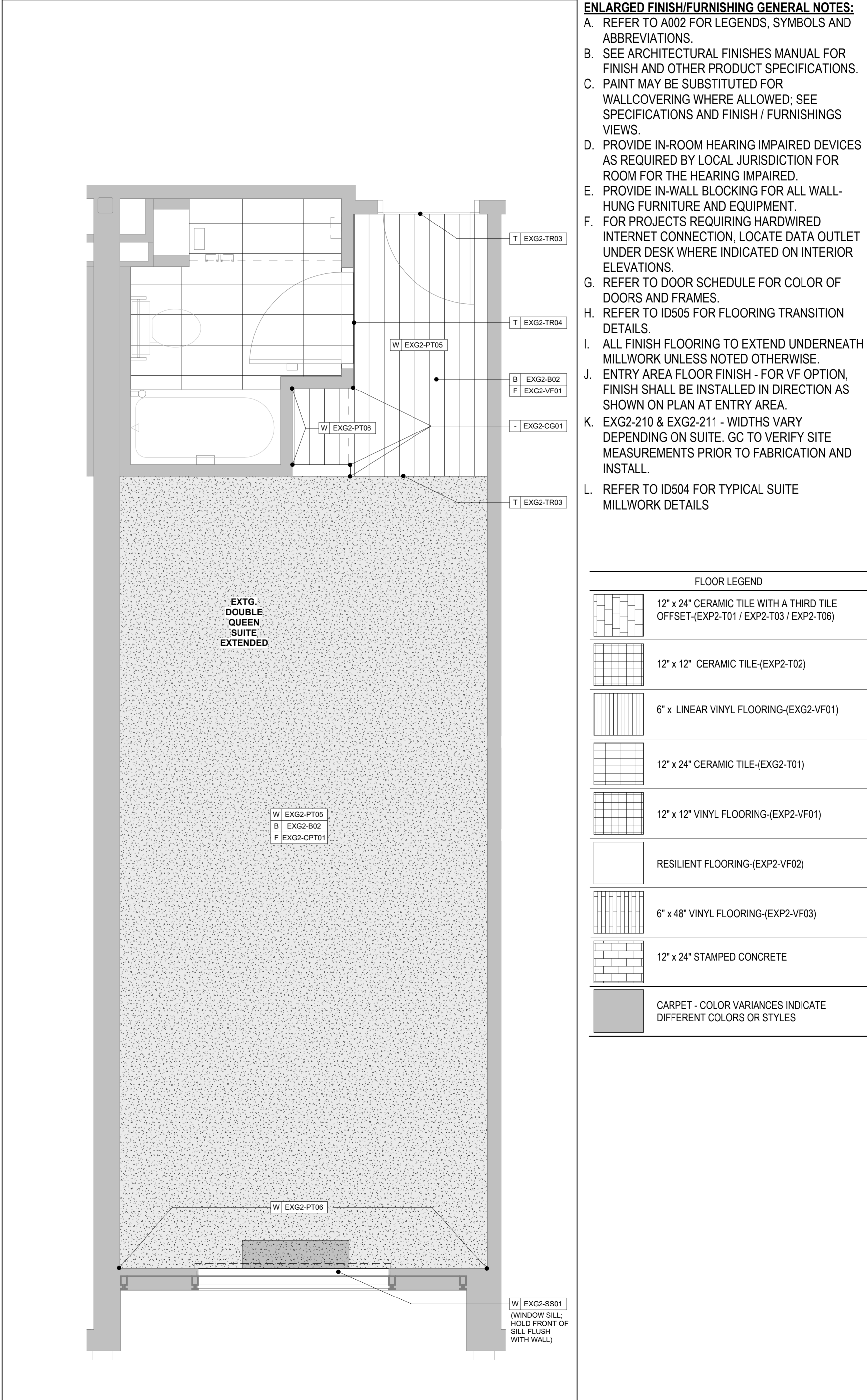
**4 QQ SUITE EXT. EXISTING - ENTRY WALL**  
A708.2 1:25



**3 QQ SUITE EXT. EXISTING - ENTRY DOOR WALL FF&E**  
A708.2 1:25



**2 EXTG. DOUBLE QUEEN EXTENDED SUITE FF&E**  
A708.2 1:25



**1 EXTG. DOUBLE QUEEN EXTENDED SUITE FINISH PLAN**  
A708.2 1:25

- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
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  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
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**FLOOR LEGEND**

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	12" x 24" CERAMIC TILE-(EXP2-T01)
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	RESILIENT FLOORING-(EXP2-VF02)
	6" x 48" VINYL FLOORING-(EXP2-VF03)
	12" x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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**RCP GENERAL NOTES**

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- 4 NOT USED
- 5 (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- 6 (OPTIONAL) VOICEDATA RECEPTACLE. TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- 7 OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER SIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK, AS REQUIRED.
- 8 NOT USED
- 9 GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- 10 ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AHWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- 11 IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE, COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

NO.	ISSUED	DATE
1	00 - CLIENT REVIEW	2025-05-22
2	00 - BRAND REVIEW R2	2025-06-11
3	00 - COORDINATION	2025-06-23
4	00 - BRAND REVIEW 100%	2025-10-01
5	00 - COORDINATION	2025-10-01
6	00 - COORDINATION	2025-11-03
7	00 - COORDINATION	2025-11-17

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED ISSUED FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. MARKING AND CHANGES TO PLANS DOES NOT NECESSARILY AVOID COPYRIGHT INFRINGEMENT. INNOCENT INFRINGEMENT IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

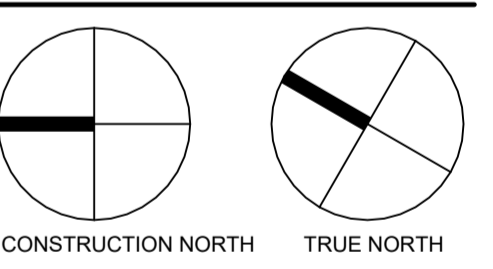
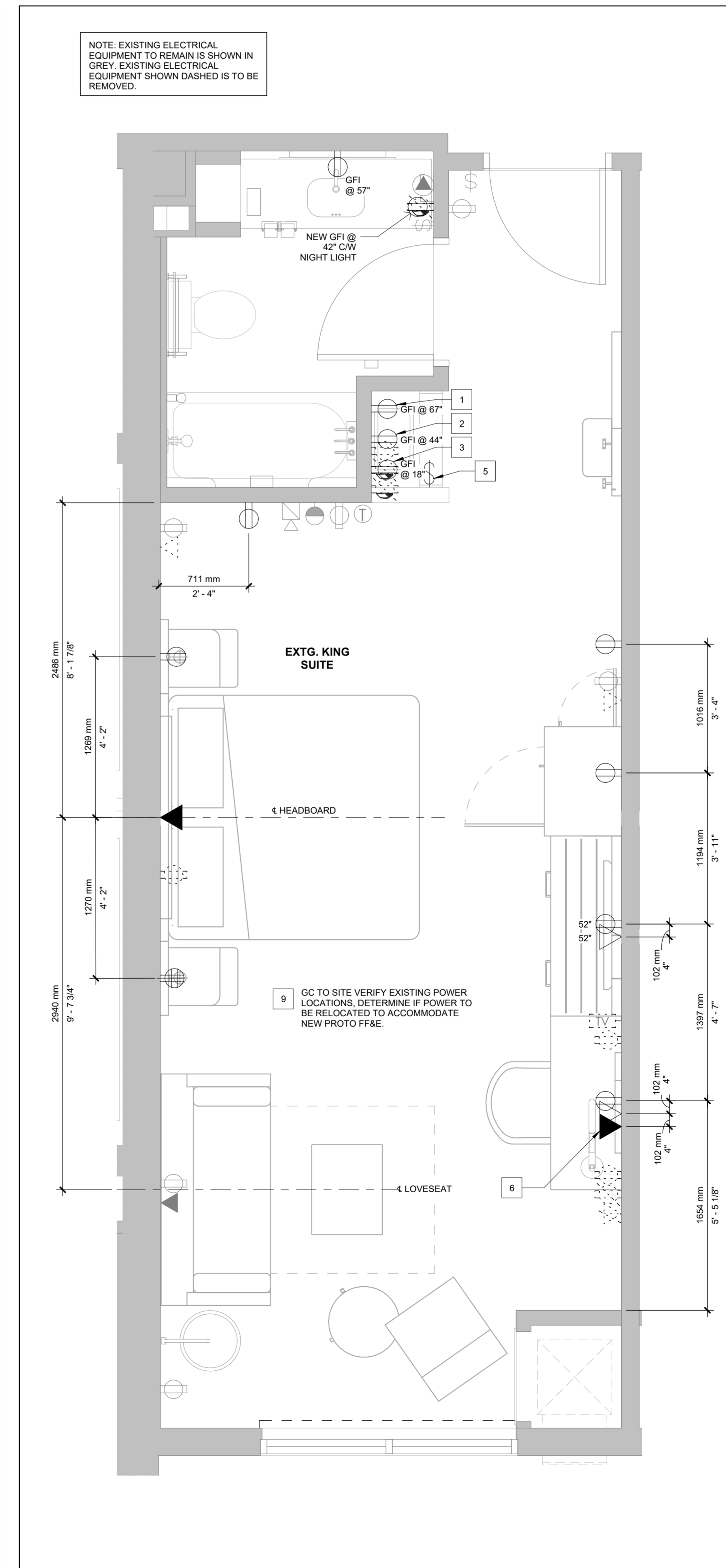
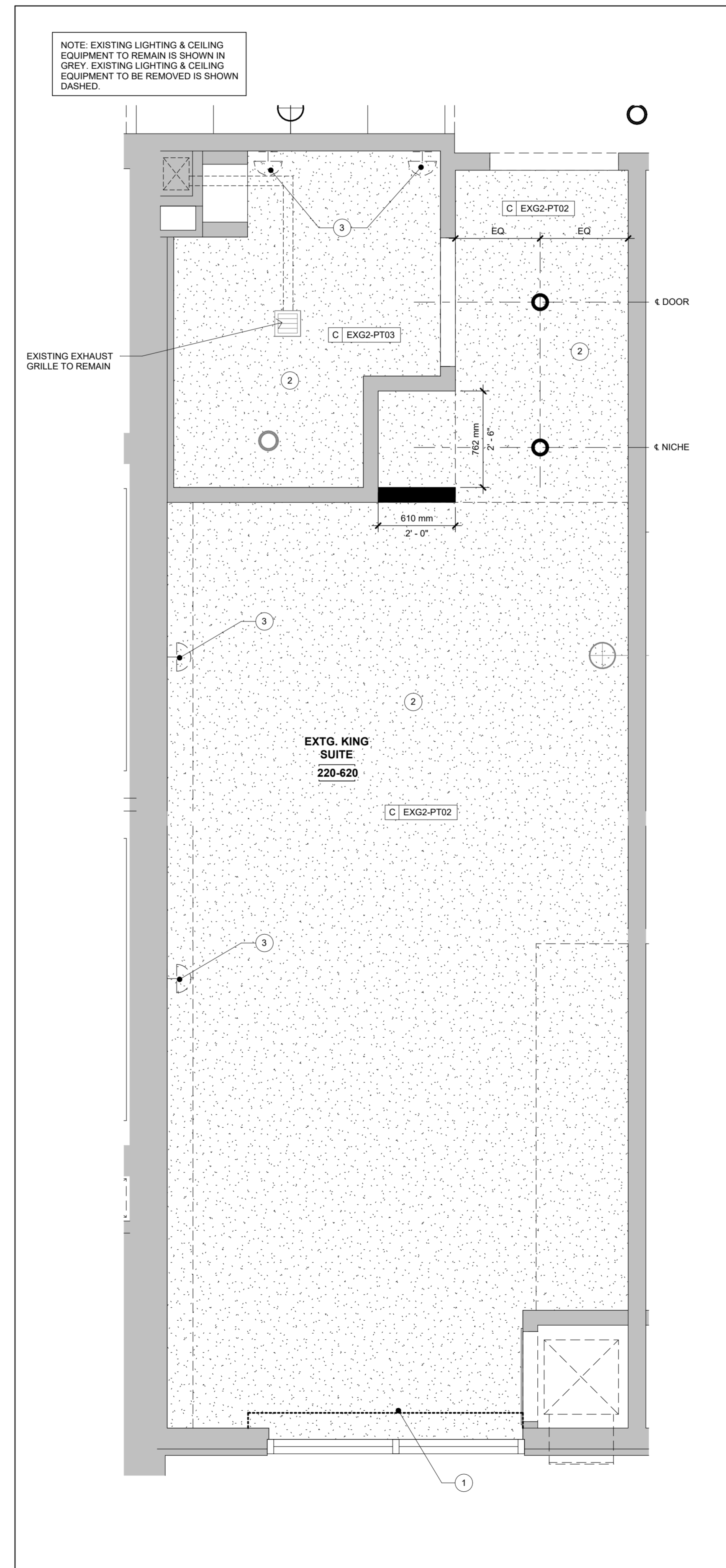
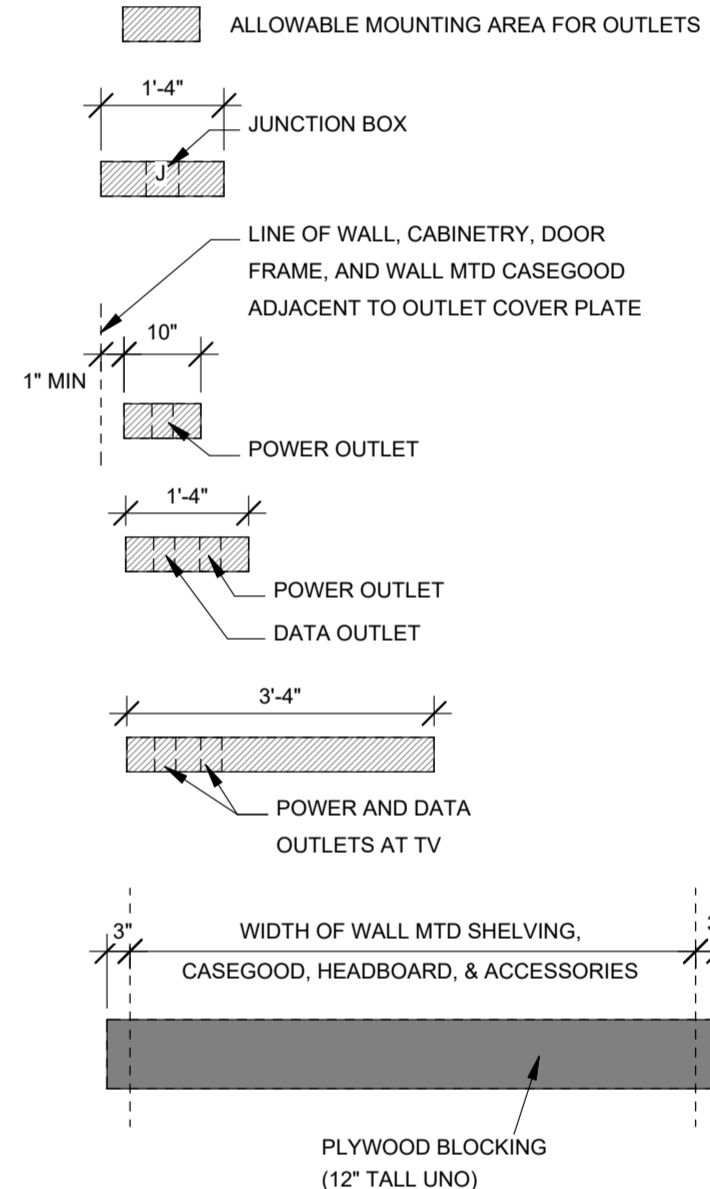
CLIENT

Owner

SEAL

**BLOCKING AND ALLOWABLE MOUNTING AREA**

BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



PROJECT

**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**ENLARGED SUITE -  
EXISTING KING  
SUITE PARTITION,  
POWER & BLOCKING**

START DATE  
JANUARY 2025

DRAWN BY  
AM

CHECKED BY  
LC

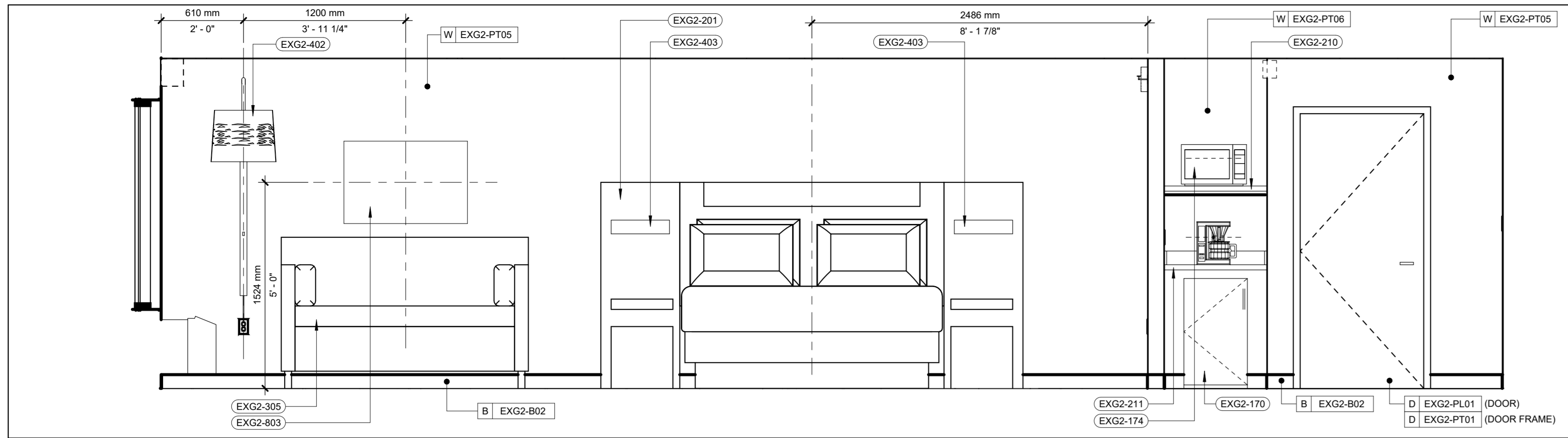
SCALE  
As indicated

PROJECT NO.  
125009

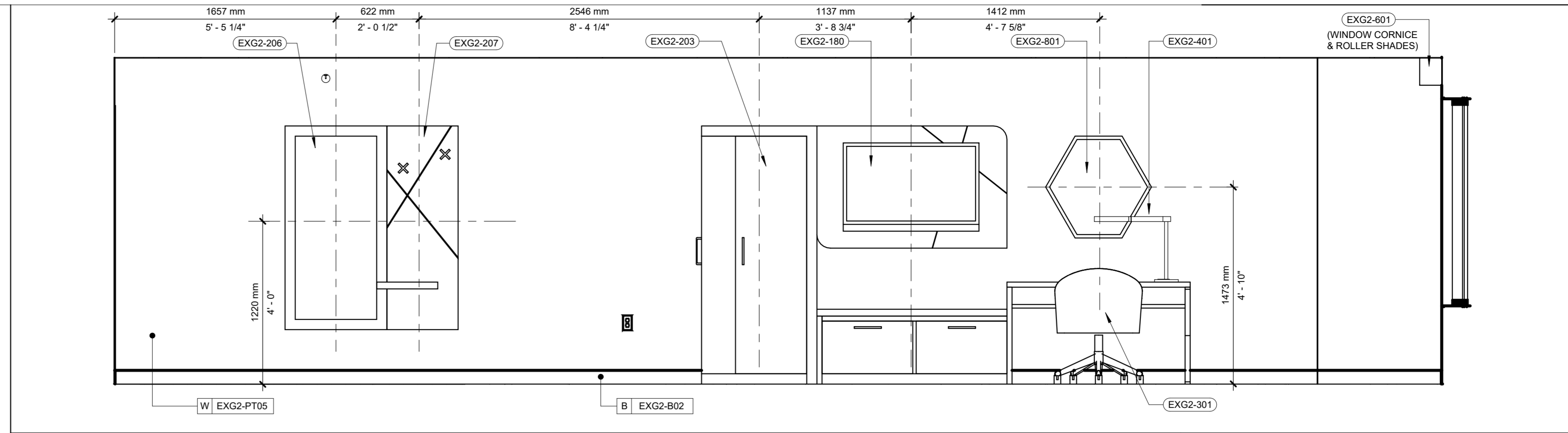
DRAWING

**A709.1**

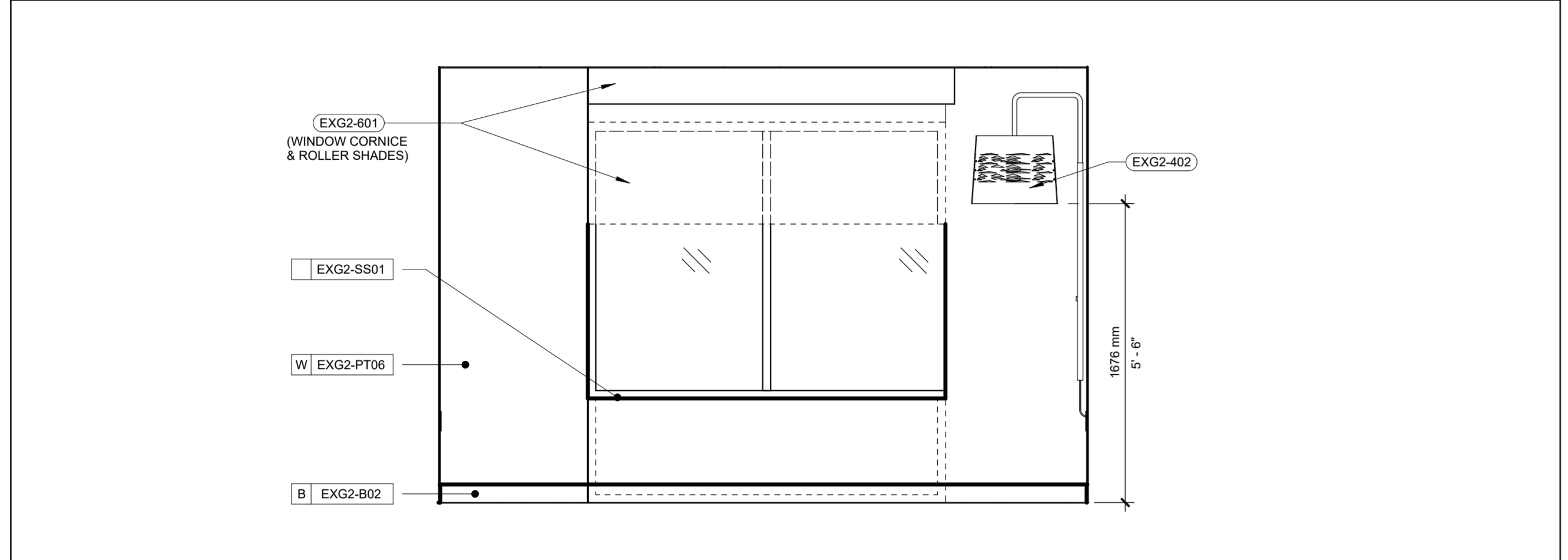
NO.	ISSUED	DATE
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2	0	
3	0	
4	0	
5	0	
6	0	
7	0	
8	0	



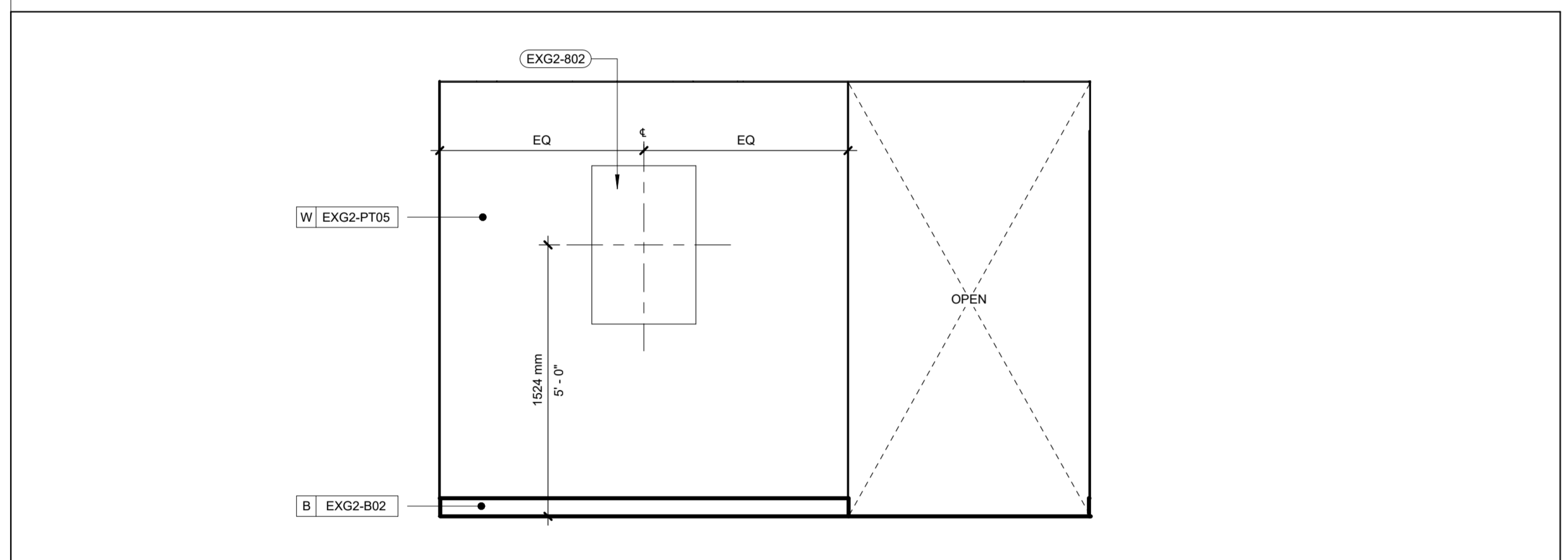
**7 KING SUITE EXISTING - HEADBOARD WALL - FF&E**  
A709.2 1 : 25



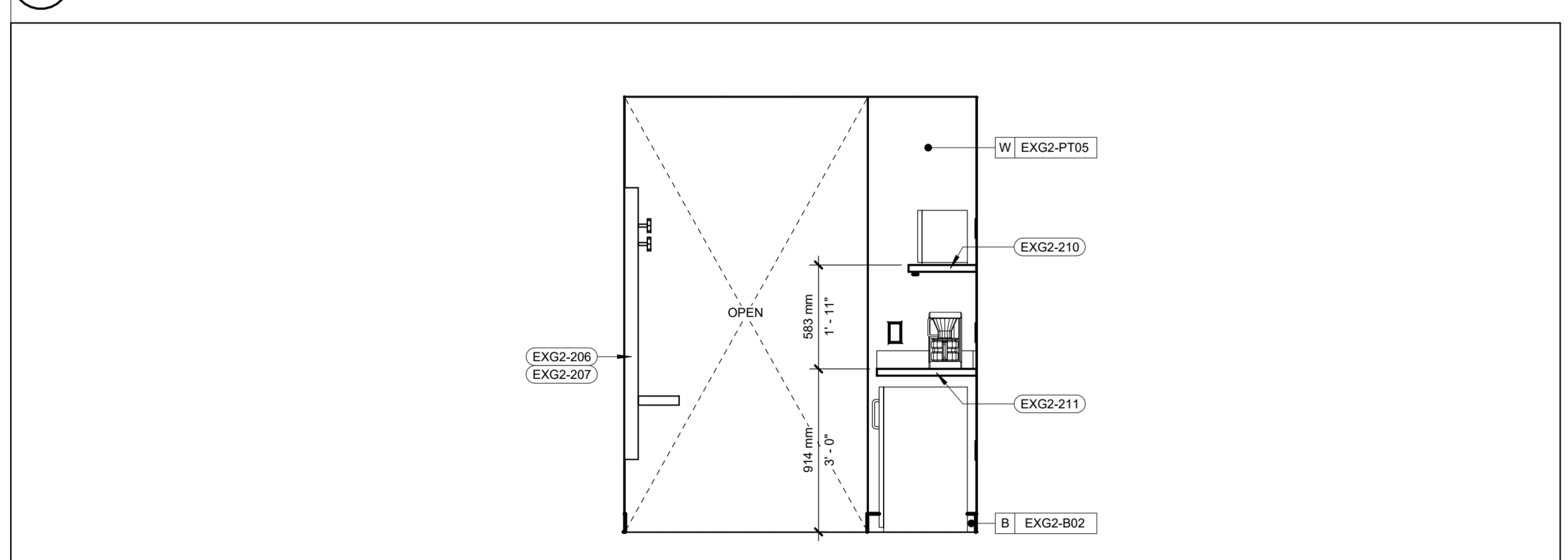
**8 KING SUITE EXISTING - FUNCTIONAL RACK WALL - FF&E**  
A709.2 1 : 25



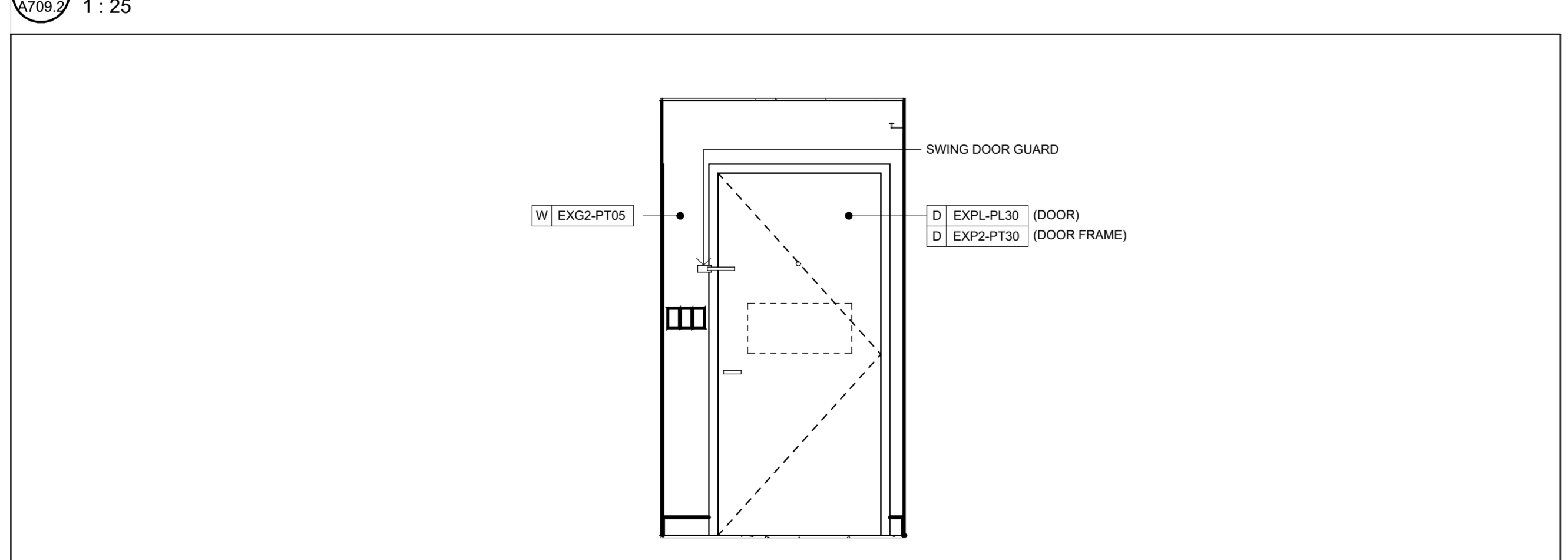
**6 KING SUITE EXISTING - WINDOW WALL - FF&E**  
A709.2 1 : 25



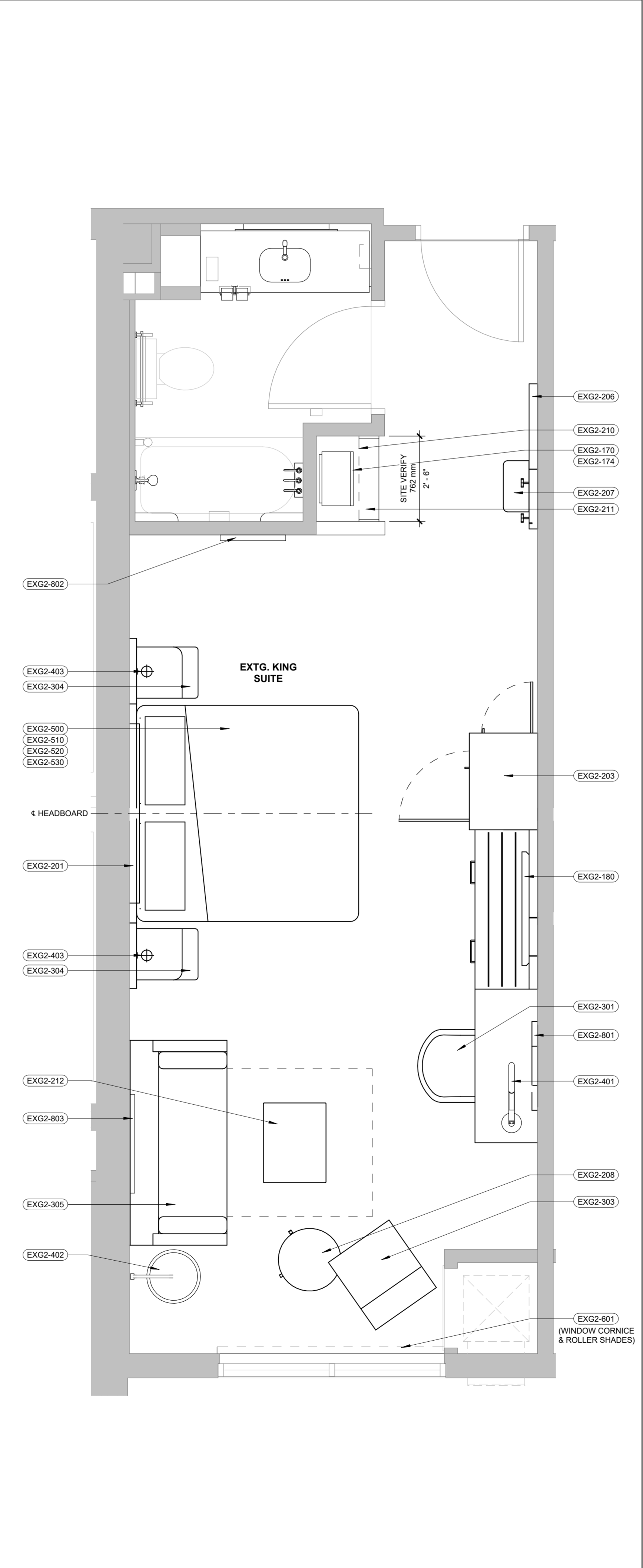
**5 KING SUITE EXISTING - ENTRY WALL - FF&E**  
A709.2 1 : 25



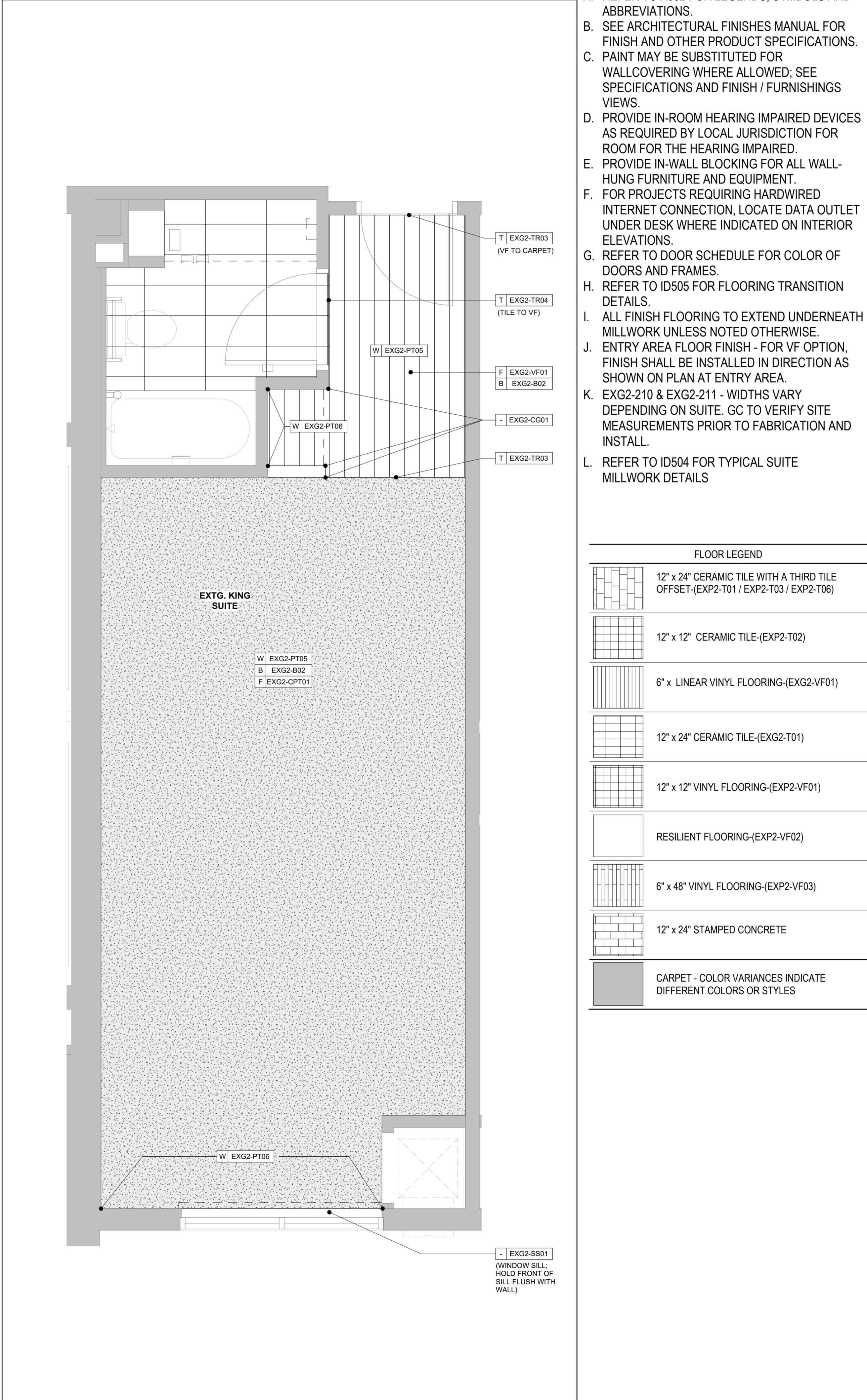
**4 KING SUITE EXISTING - REFRESHMENT ZONE WALL - FF&E**  
A709.2 1 : 25



**3 KING SUITE EXISTING - ENTRY DOOR**  
A709.2 1 : 25



**2 EXTG. KING SUITE FF&E**  
A709.2 1 : 25



**1 EXTG. KING SUITE FINISH PLAN**  
A709.2 1 : 25

**ENLARGED FINISH/FURNISHING GENERAL NOTES:**

- A. REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
- C. PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
- D. PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
- E. PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
- F. FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
- G. REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
- H. REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
- I. ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
- J. ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
- K. EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
- L. REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS

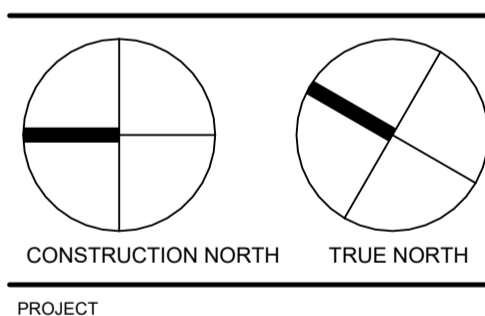
**FLOOR LEGEND**

	12" x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12" x 12" CERAMIC TILE-(EXP2-T02)
	6" x 12" LINEAR VINYL FLOORING-(EXG2-VF01)
	12" x 24" CERAMIC TILE-(EXG2-T01)
	12" x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6" x 48" VINYL FLOORING-(EXP2-VF03)
	12" x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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CLIENT: **Owner**

SCALE:



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

SHEET NAME

**ENLARGED SUITE - EXISTING KING SUITE FF&E, FINISH PLAN & ELEVATIONS**

START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

**A709.2**

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**RCP GENERAL NOTES**

- REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO.
- PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP.
- REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
- WHERE REQUIRED, PROVIDE 12"x12" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO.
- EXISTING WALL SCOFFICE TO BE REMOVED.

**POWER PLAN NOTES**

- (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- (STANDARD) AT COFFEE MAKER
- (STANDARD) AT REFRIGERATOR
- NOT USED
- (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- (OPTIONAL) VOICEDATA RECEPTACLE. TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER WIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK AS REQUIRED.
- NOT USED
- GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AIRWIRRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

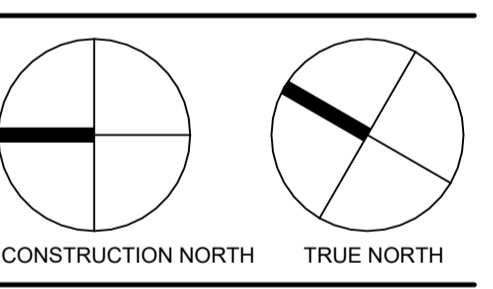
NO.	ISSUED	DATE
1	10 - CLIENT REVIEW	2025-05-22
2	BRAND REVIEW R2	2025-06-11
3	COORDINATION	2025-06-23
4	BRAND REVIEW 100%	2025-10-01
5	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

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CLIENT: **Owner**

SEAL:



PROJECT

**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME

**ENLARGED SUITE -  
EXISTING ACC. QQ  
PARTITION, POWER  
& BLOCKING**

START DATE: **JANUARY 2025**

DRAWN BY: **AM**

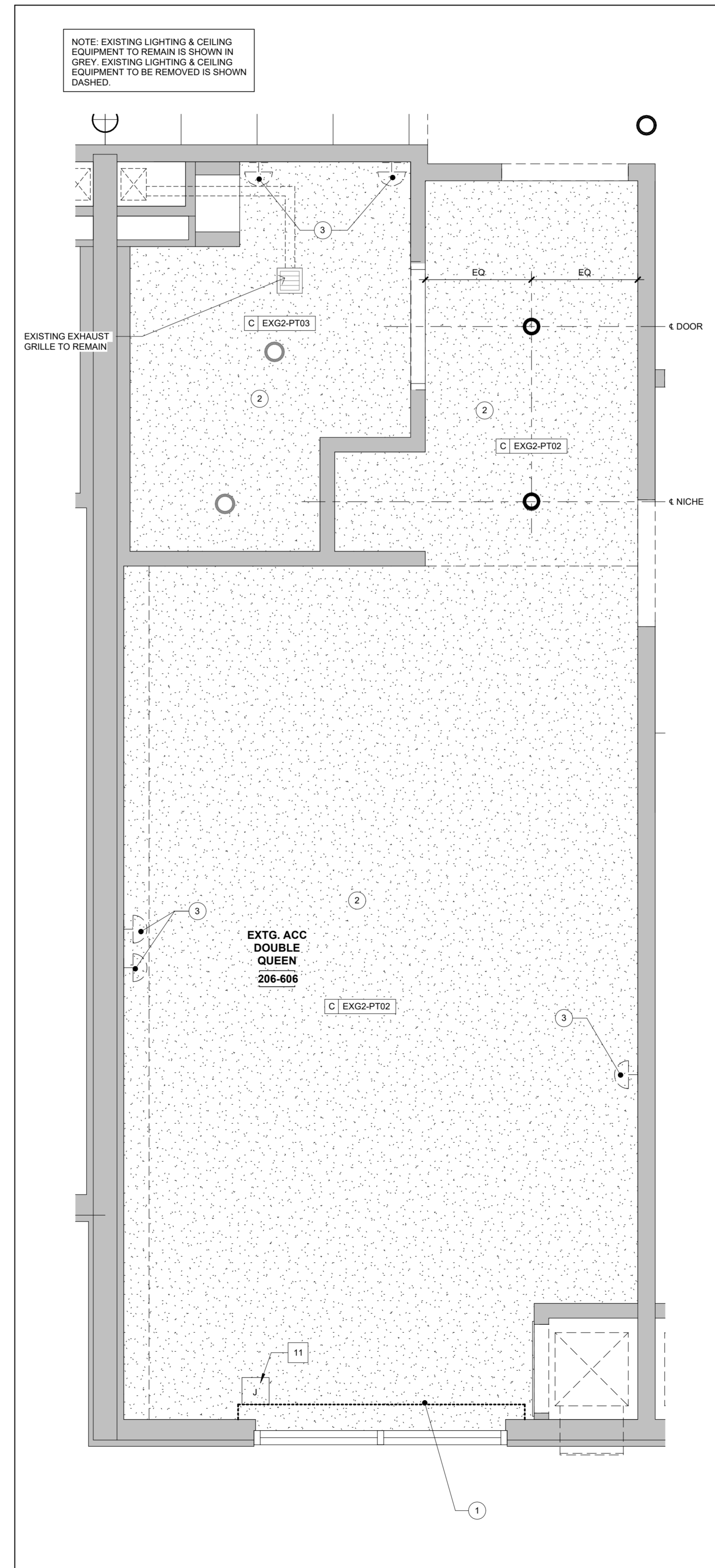
CHECKED BY: **LC**

SCALE: **As indicated**

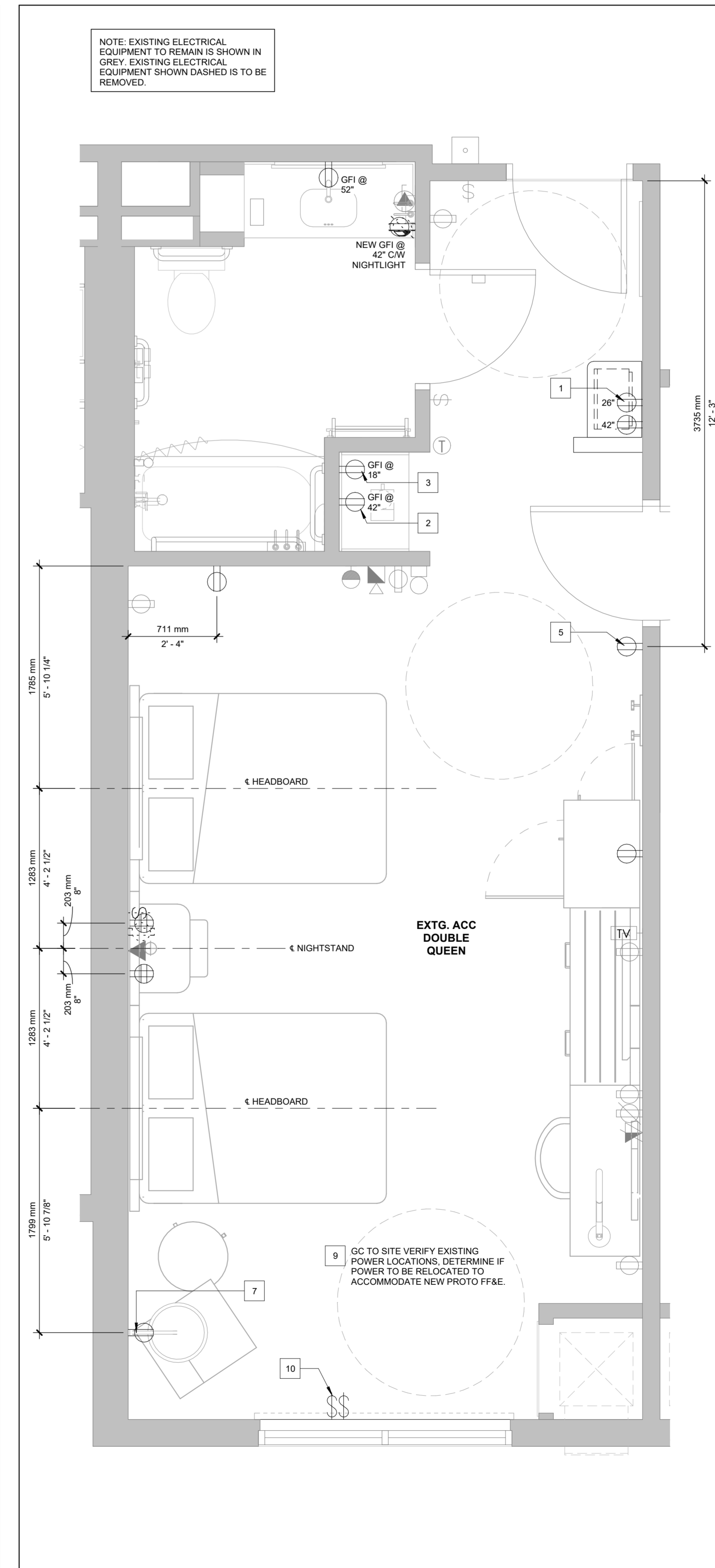
PROJECT NO: **125009**

DRAWING

**A710.1**



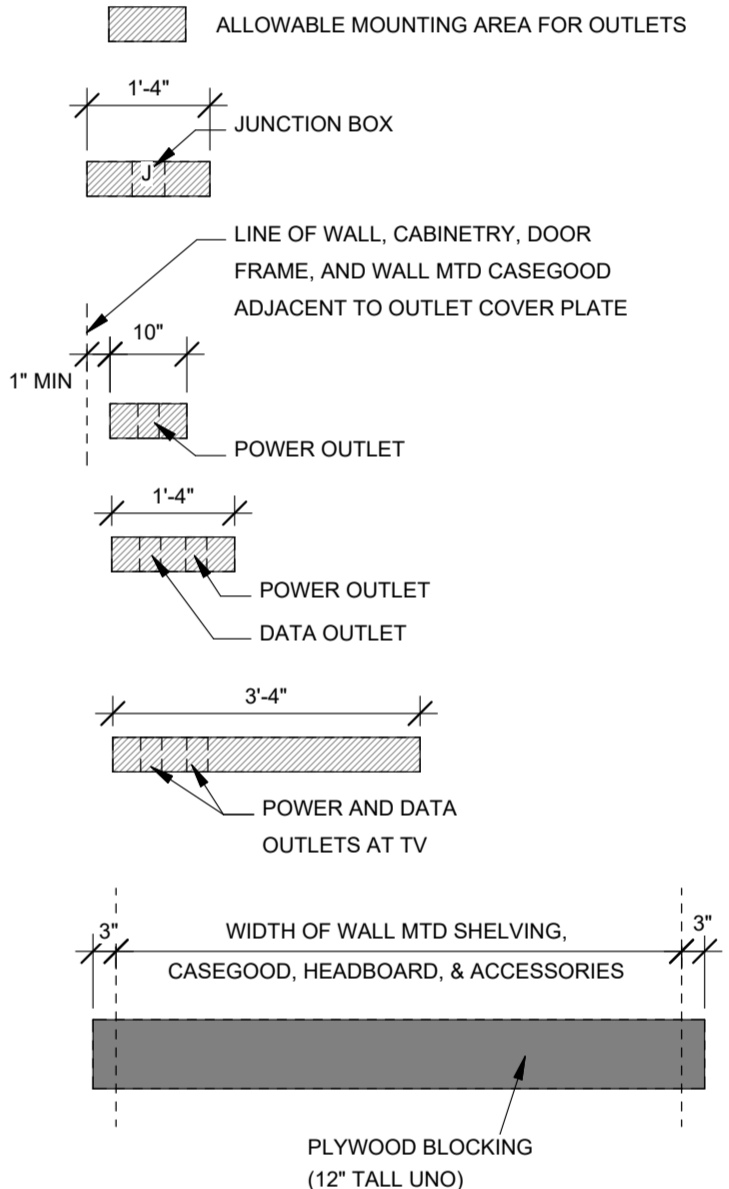
**1 EXTG. ACC. DOUBLE QUEEN RCP**  
1 : 25



**2 EXTG. ACC. DOUBLE QUEEN POWER**  
1 : 25

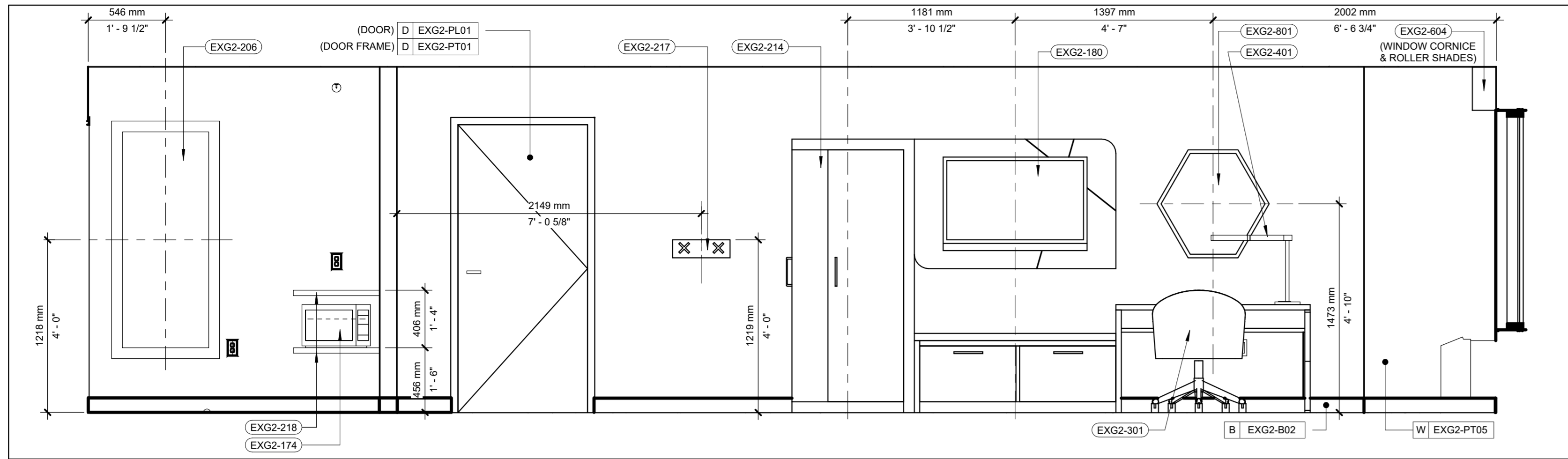
**BLOCKING AND ALLOWABLE MOUNTING AREA**

BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS

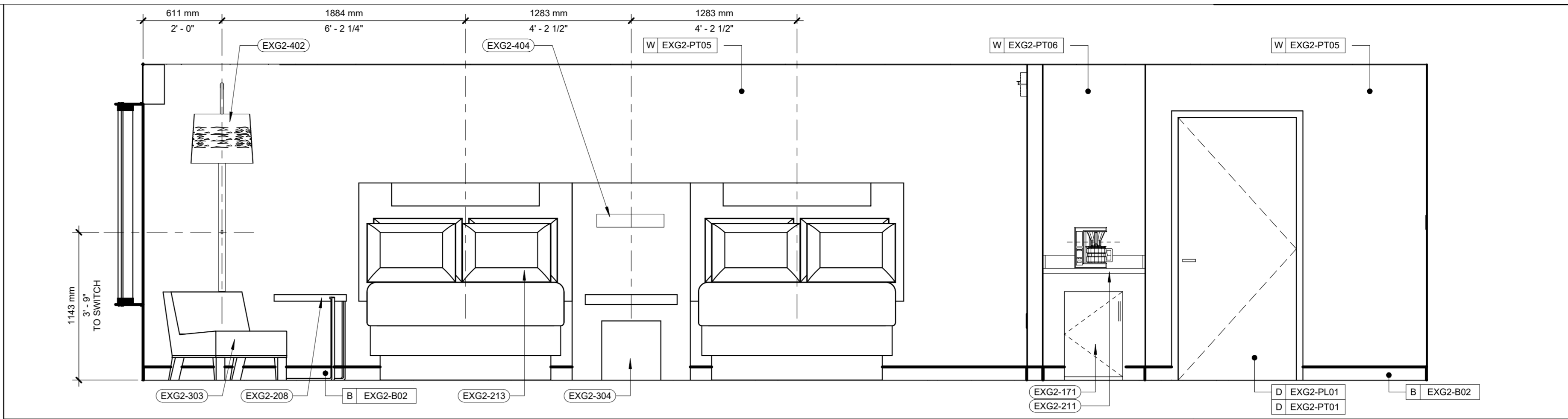


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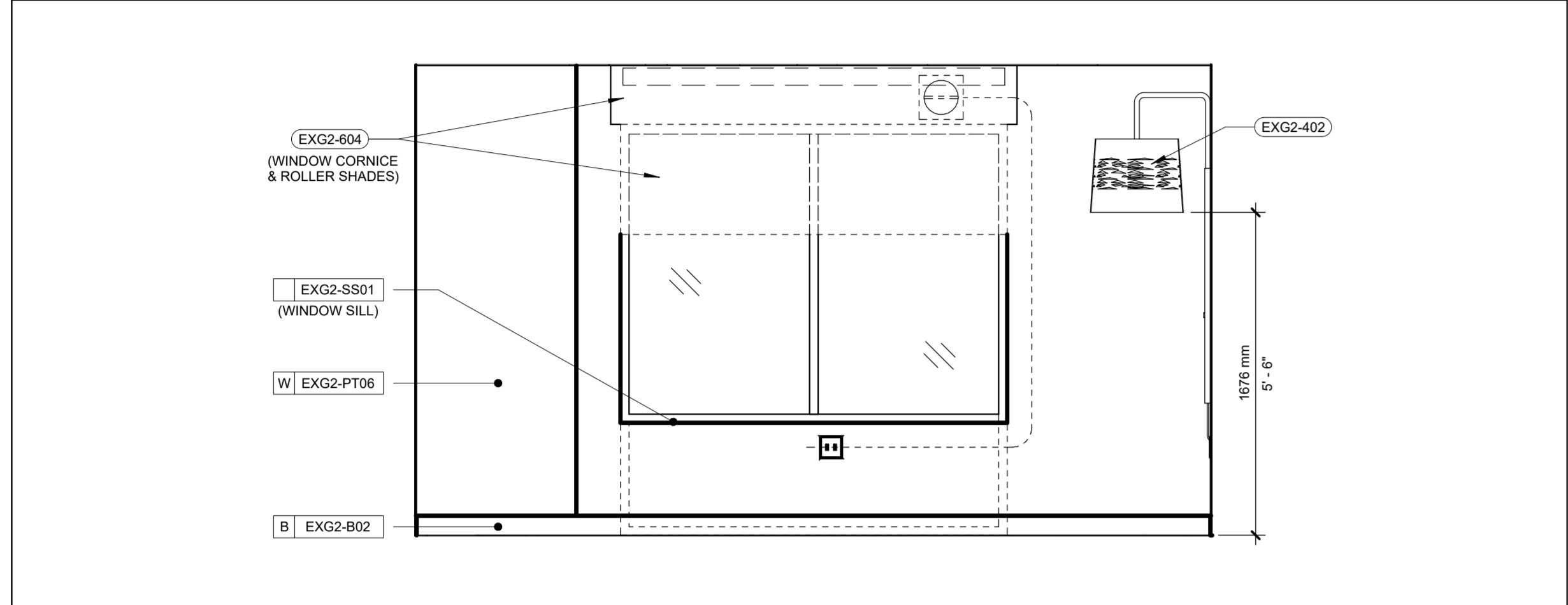
NO.	ISSUED	DATE
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2	0 - CLIENT REVIEW	2025-05-22
3	0 - BRAND REVIEW P2	2025-06-11
4	COORDINATION	2025-06-23
5	0 - BRAND REVIEW 100%	2025-07-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17



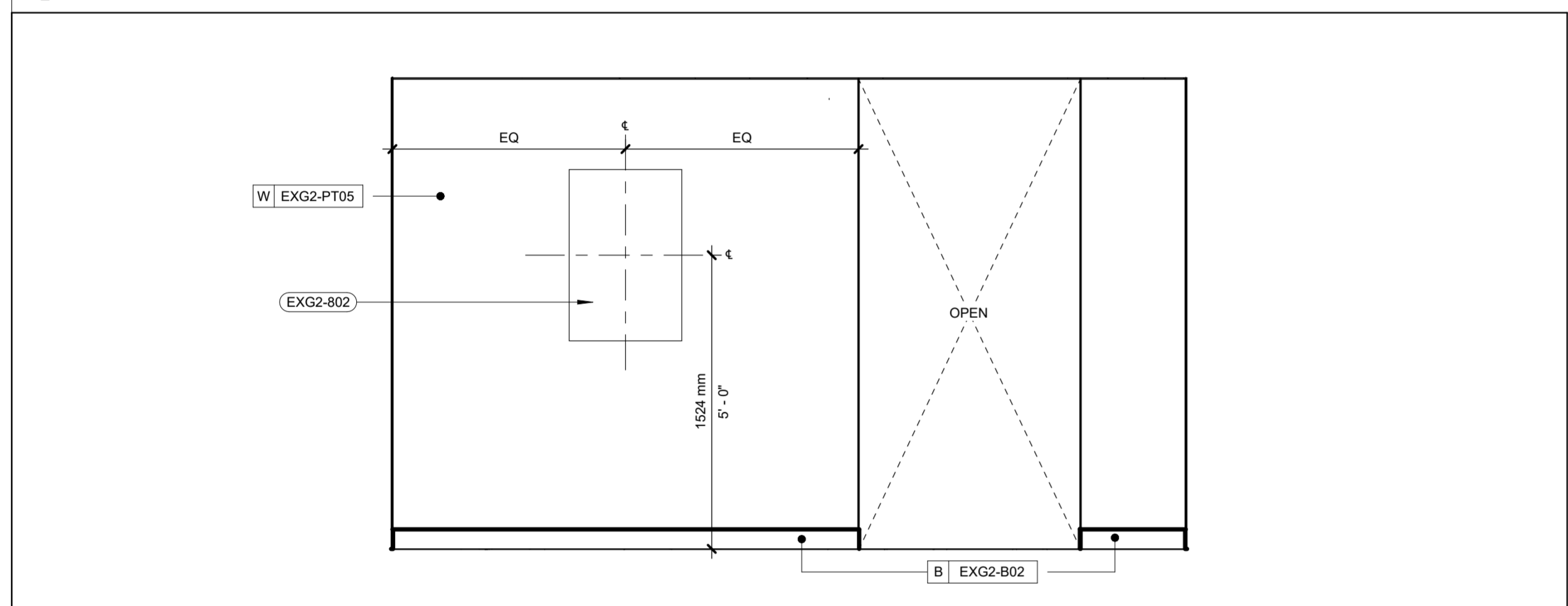
**7 QQ ACC EXISTING - FUNCTIONAL RACK WALL FF&E**  
A710.2 1 : 25



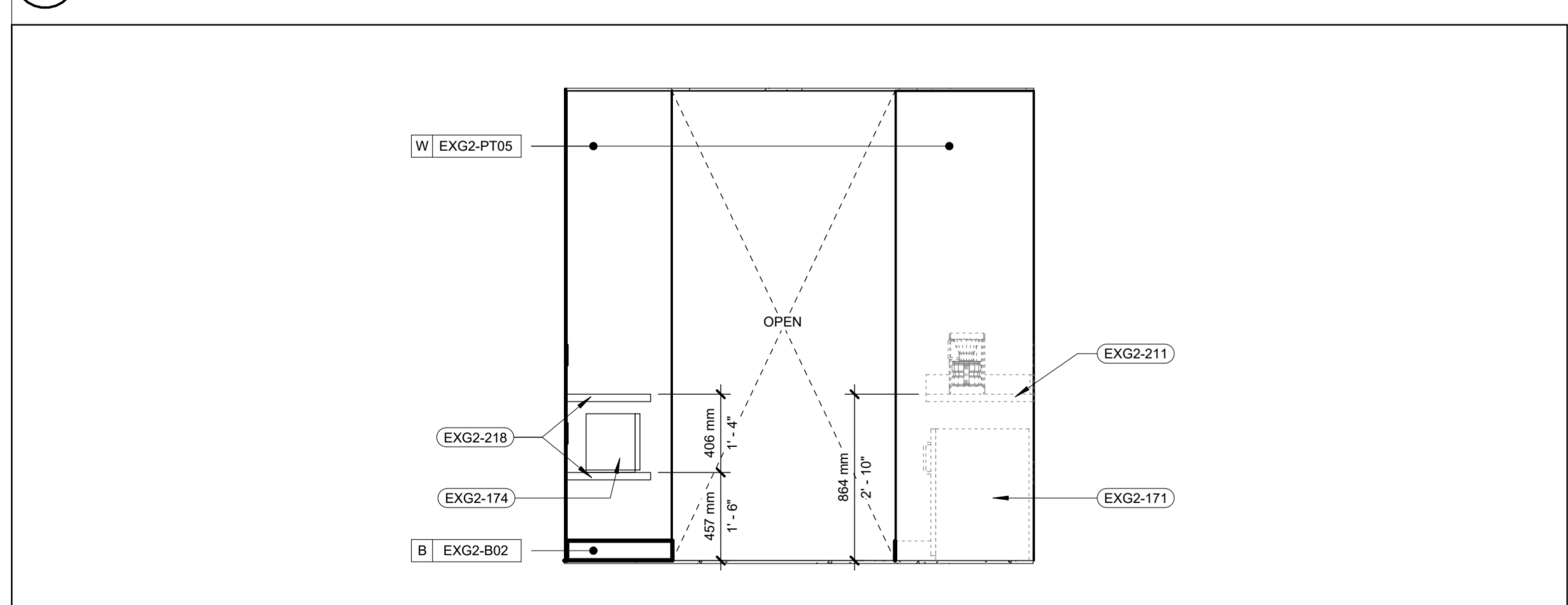
**8 QQ ACC EXISTING - HEADBOARD WALL - FF&E**  
A710.2 1 : 25



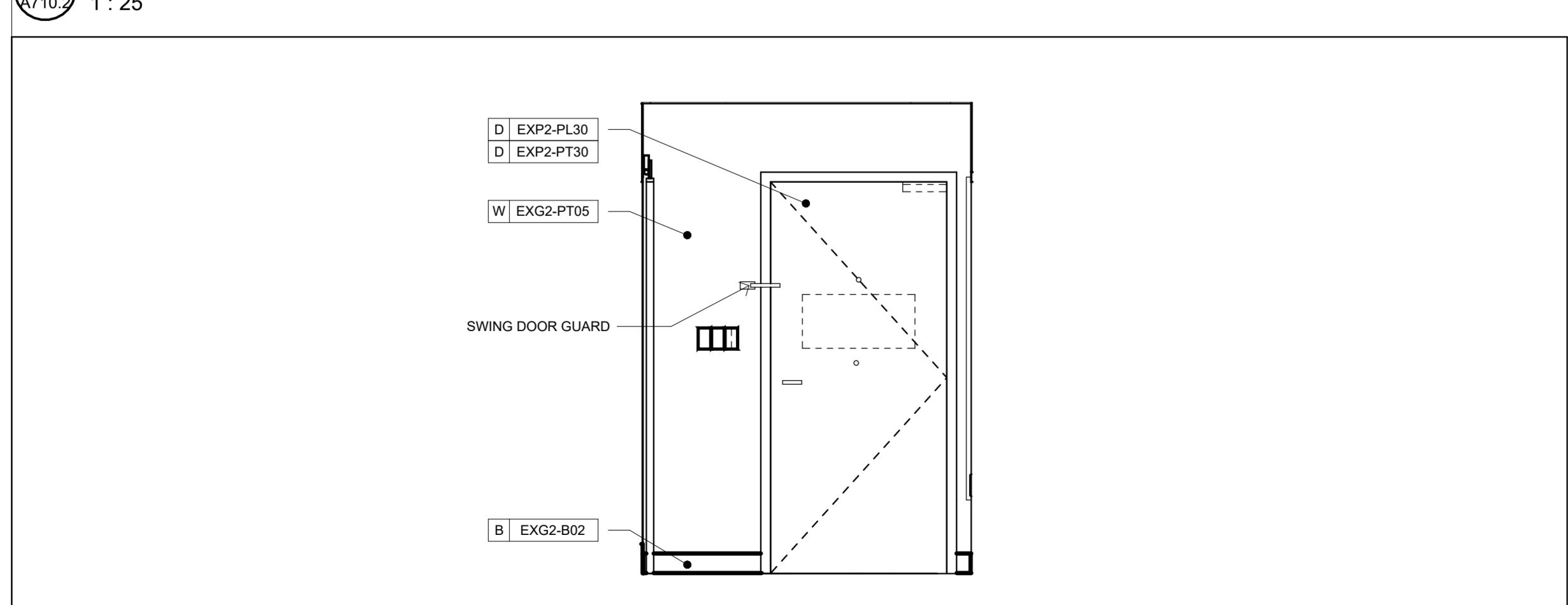
**6 QQ ACC EXISTING - WINDOW WALL - FF&E**  
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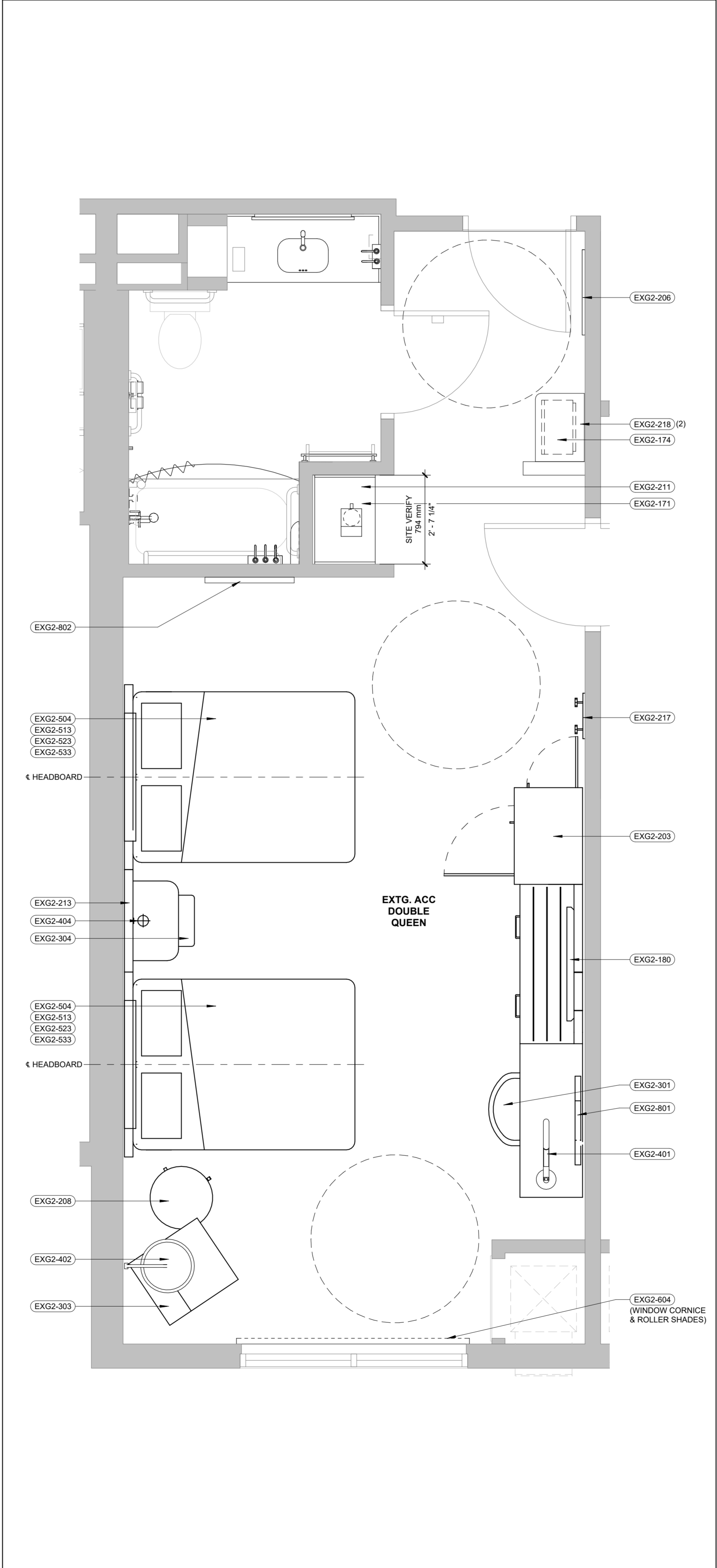
**5 QQ ACC EXISTING - ENTRY WALL - FF&E**  
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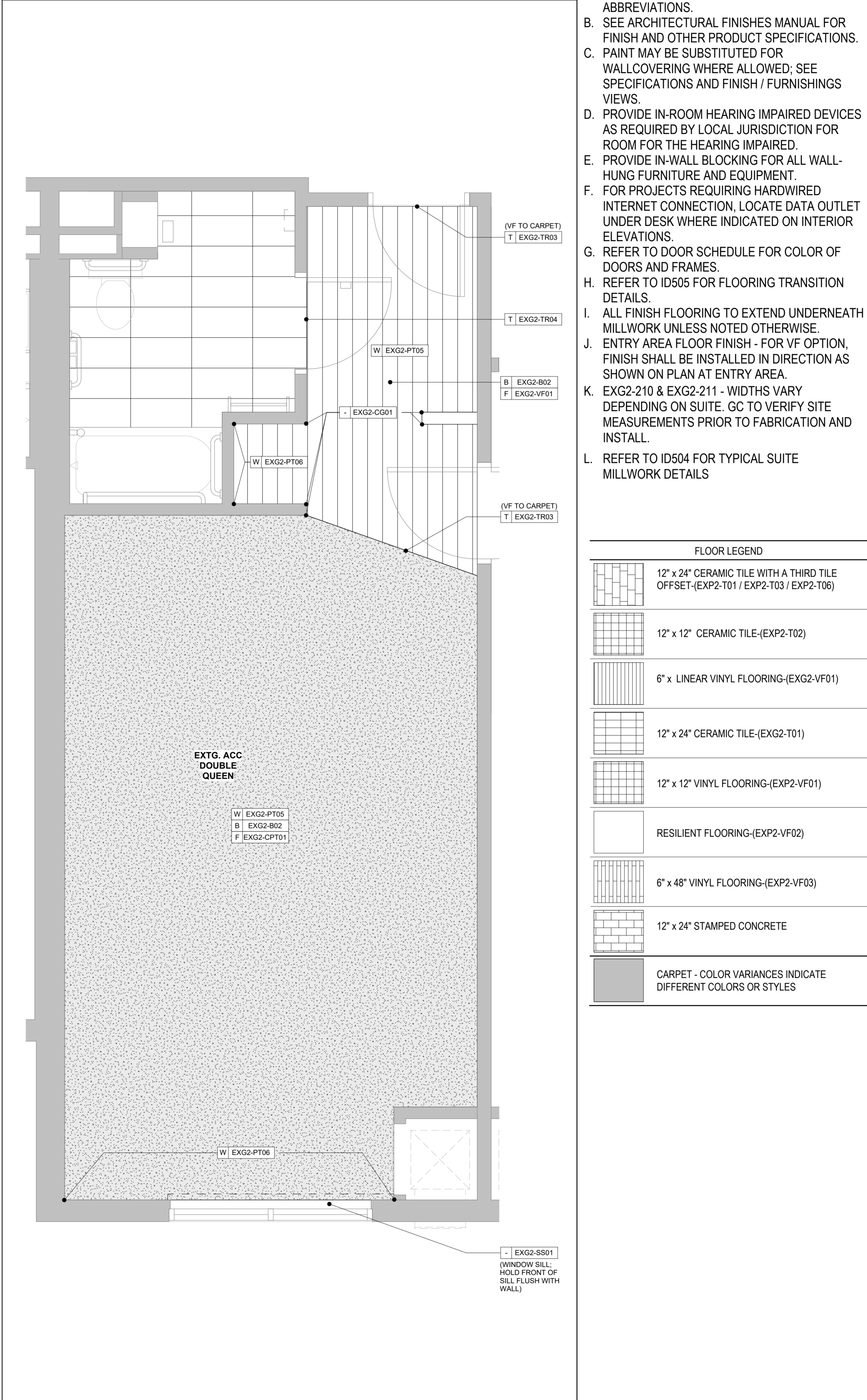
**4 QQ ACC EXISTING - REFRESHMENT ZONE WALL - FF&E**  
A710.2 1 : 25



**3 QQ ACC EXISTING - ENTRY DOOR WALL - FF&E**  
A710.2 1 : 25



**2 EXTG. ACC. DOUBLE QUEEN FF&E**  
A710.2 1 : 25



**1 EXTG. ACC. DOUBLE QUEEN FINISH PLAN**  
A710.2 1 : 25

- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
  - SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS

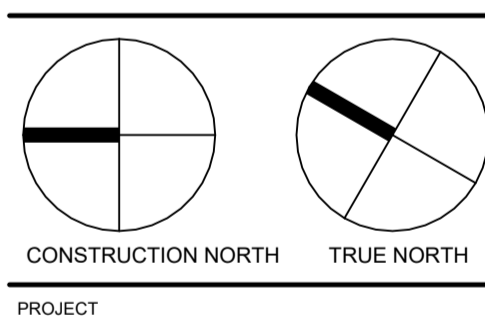
**FLOOR LEGEND**

	12" x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12" x 12" CERAMIC TILE-(EXP2-T02)
	6" x LINEAR VINYL FLOORING-(EXG2-VF01)
	12" x 24" CERAMIC TILE-(EXG2-T01)
	12" x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6" x 48" VINYL FLOORING-(EXP2-VF03)
	12" x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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CLIENT: **Owner**

SCALE:



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD, NEPEAN, ON K2H 5Y9

SHEET NAME

**ENLARGED SUITE - EXISTING ACC. QQ FF&E, FINISH PLAN & ELEVATIONS**

START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

DRAWING

**A710.2**

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**RCP GENERAL NOTES**

- REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP
- REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
- WHERE REQUIRED, PROVIDE 12"x12" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- EXISTING WALL SCORCE TO BE REMOVED

**POWER PLAN NOTES**

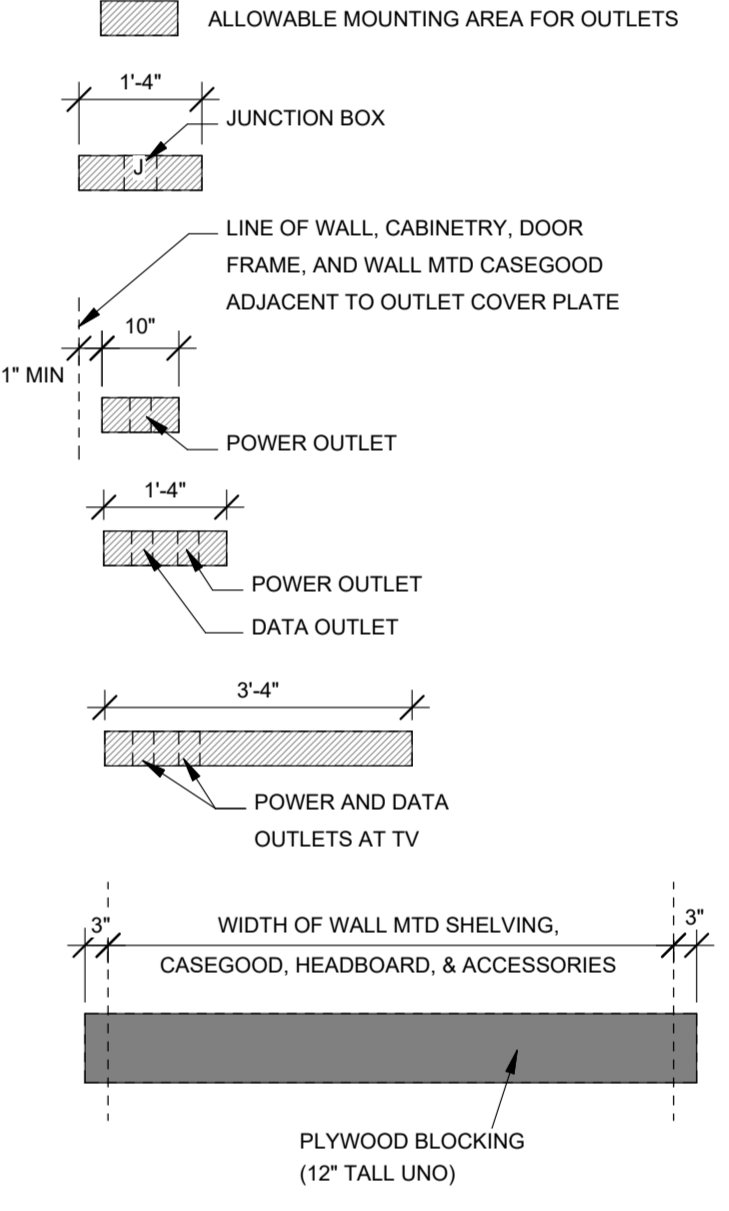
- (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- (STANDARD) AT COFFEE MAKER
- (STANDARD) AT REFRIGERATOR
- NOT USED
- (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- (OPTIONAL) VOICEDATA RECEPTACLE. TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER SIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK, AS REQUIRED.
- NOT USED
- GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH AHWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

NO.	ISSUED	DATE
1	ISSUED	2025-05-22
2	ISSUED	2025-06-11
3	ISSUED	2025-06-23
4	ISSUED	2025-10-01
5	ISSUED	2025-10-01
6	ISSUED	2025-10-01
7	ISSUED	2025-11-03

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED ISSUED FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. MARKING AND CHANGES TO PLANS DOES NOT NECESSARILY AVOID COPYRIGHT INFRINGEMENT. INNOCENT INFRINGEMENT IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

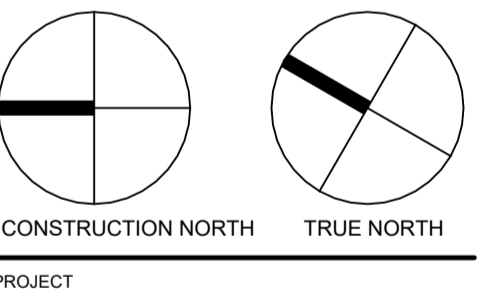
**BLOCKING AND ALLOWABLE MOUNTING AREA**

BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



CLIENT: **Owner**

SCALE:



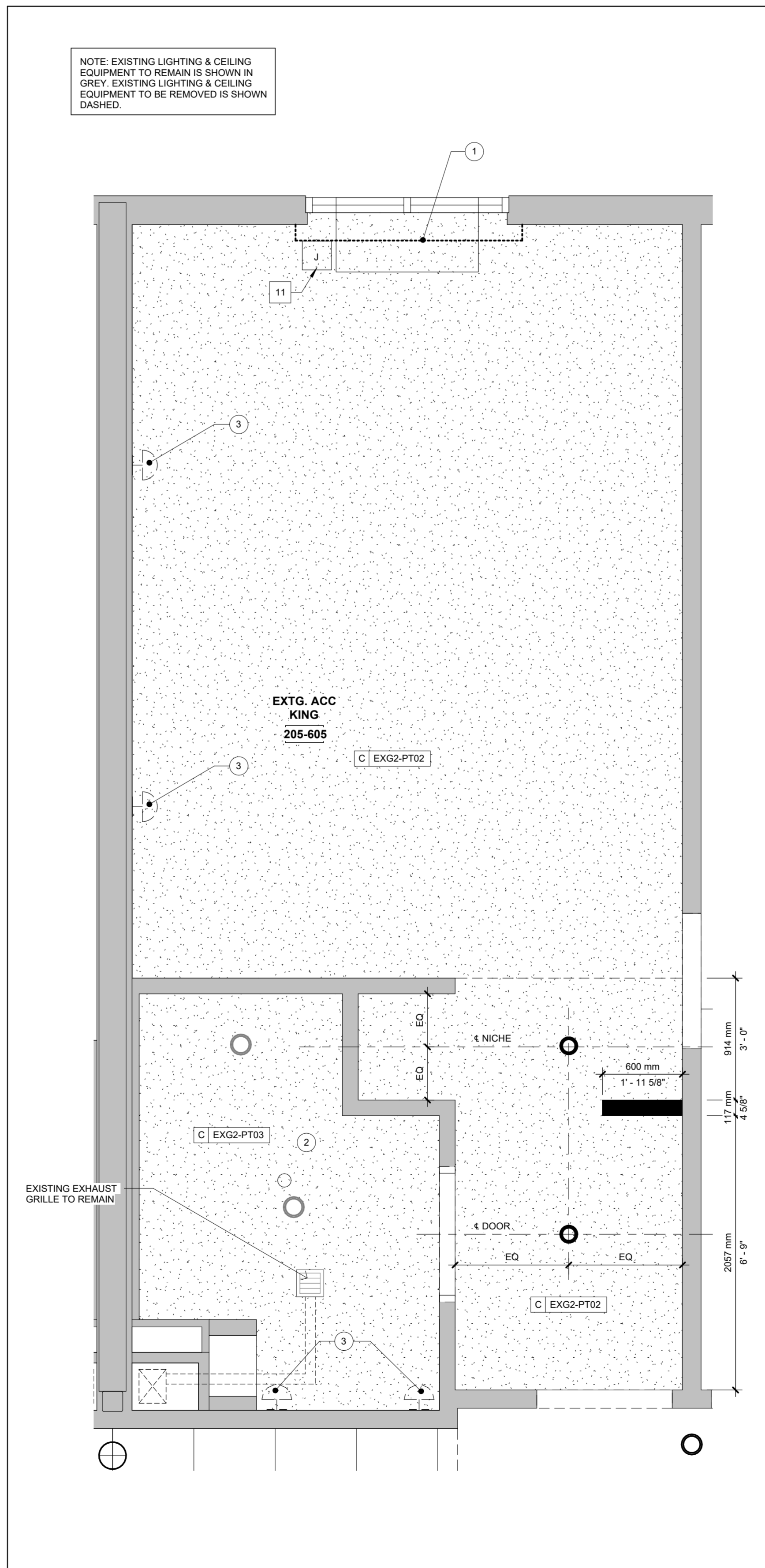
**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

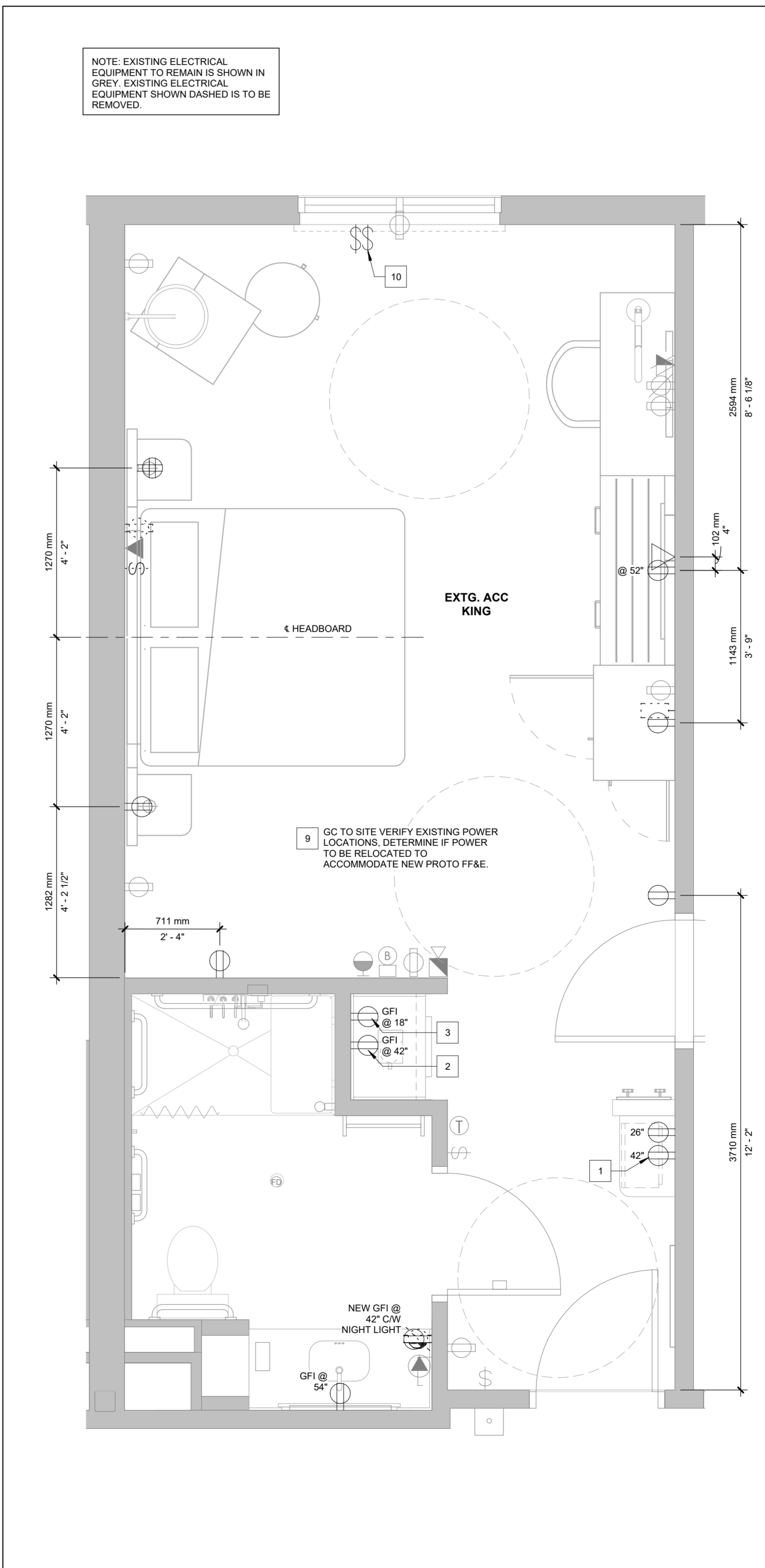
**ENLARGED SUITE -  
EXISTING ACC. KING  
PARTITION, POWER  
& BLOCKING**

START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

DRAWING: **A711.1**



**1 EXTG. ACC. KING RCP**  
A711.1 1:25



**2 EXTG. ACC. KING POWER**  
A711.1 1:25

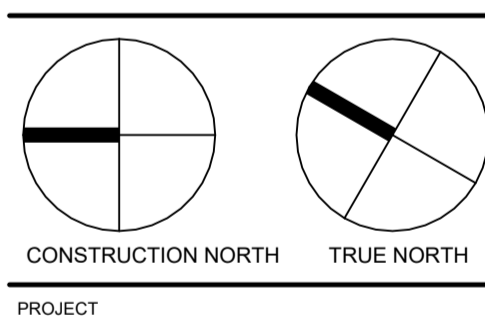
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NO.	ISSUED	DATE
1	0 - CLIENT REVIEW	2025-03-07
2	0 - CLIENT REVIEW	2025-06-22
3	BRAND REVIEW P2	2025-08-11
4	COORDINATION	2025-08-23
5	BRAND REVIEW 100%	2025-10-01
6	COORDINATION	2025-10-01
7	COORDINATION	2025-11-03
8	COORDINATION	2025-11-17

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. MARKING DRAWINGS AS SUCH IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

CLIENT  
**Owner**

SCALE



**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

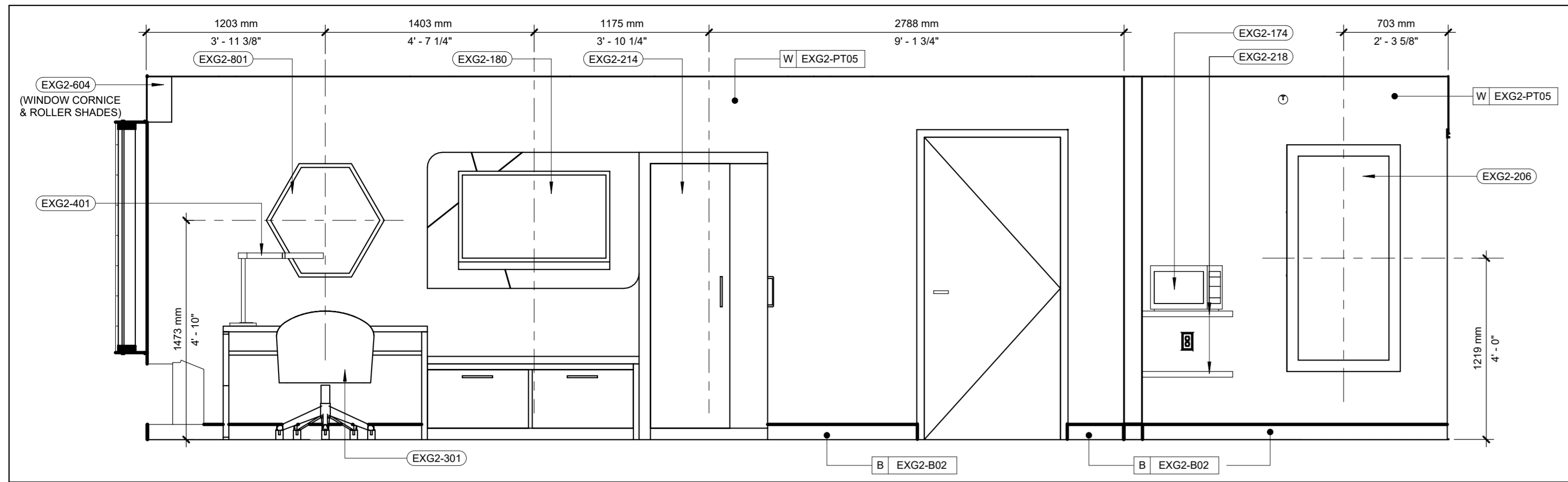
2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

**ENLARGED SUITE -  
EXISTING ACC. KING  
FF&E, FINISH PLAN  
& ELEVATIONS**

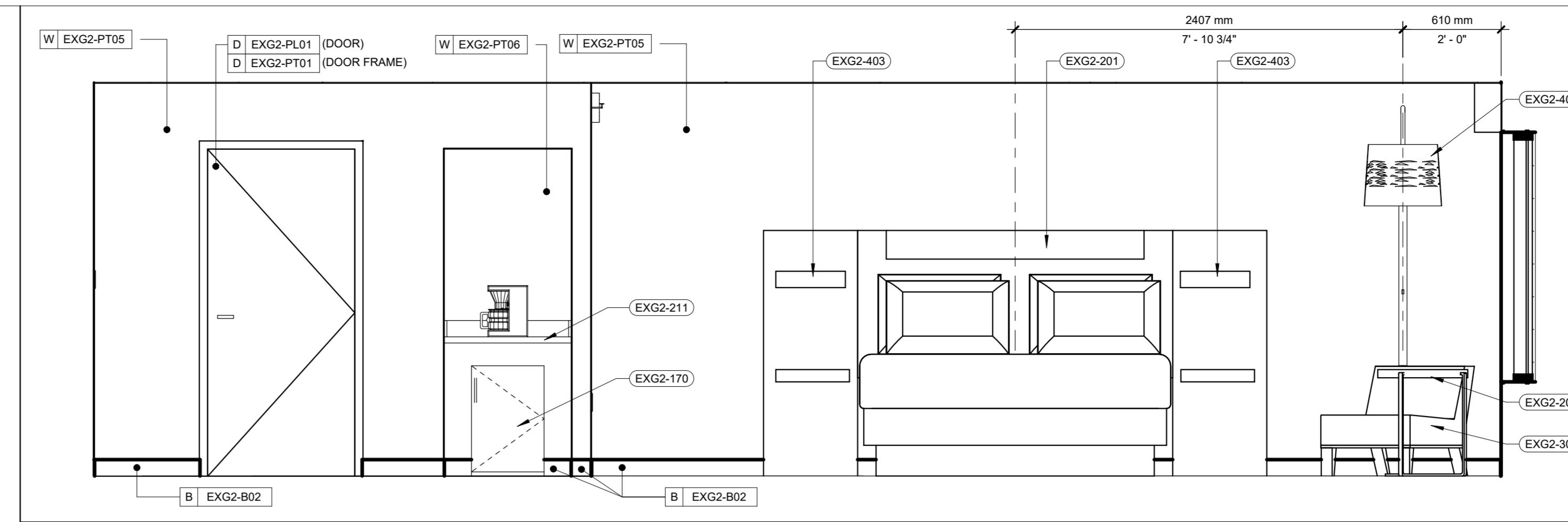
START DATE: JANUARY 2025  
DRAWN BY: AM  
CHECKED BY: LC  
SCALE: As indicated  
PROJECT NO.: 125009

DRAWING  
**A711.2**

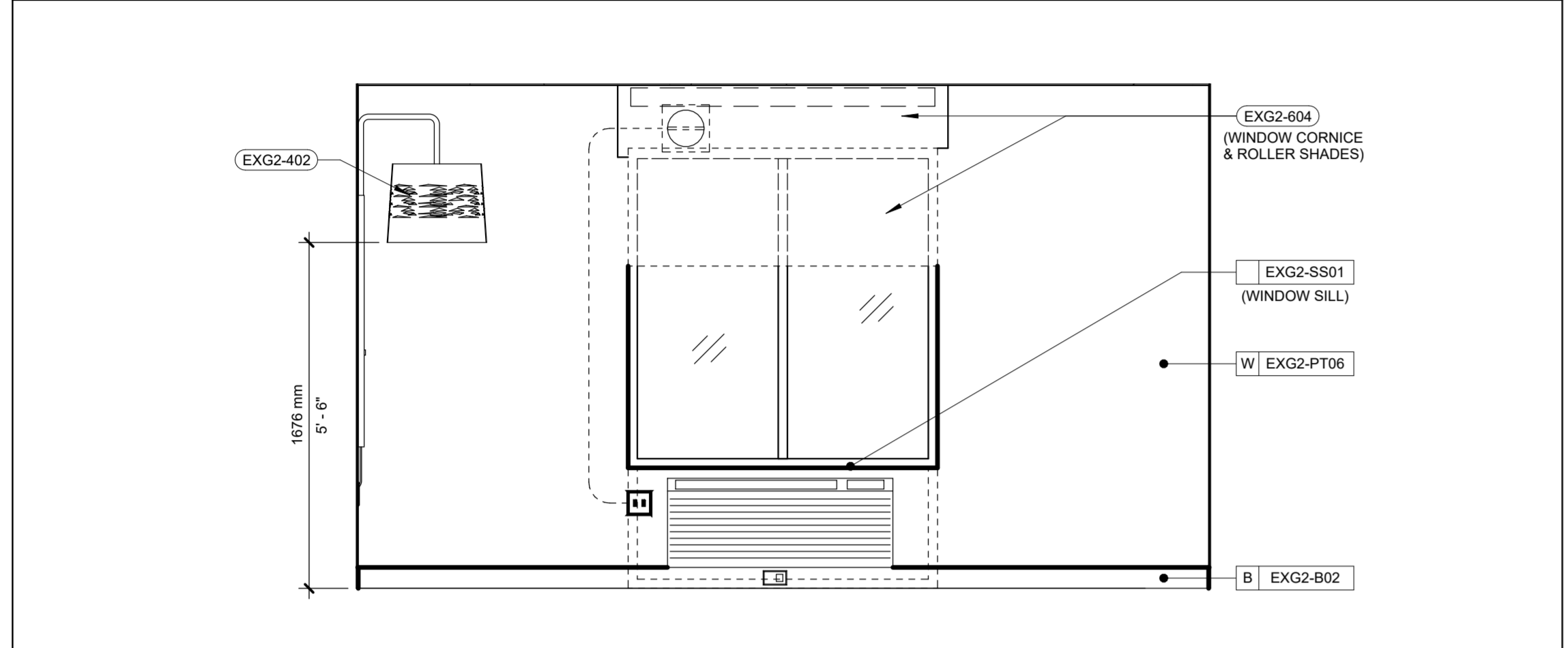
- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
  - SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID504 FOR TYPICAL SUITE MILLWORK DETAILS



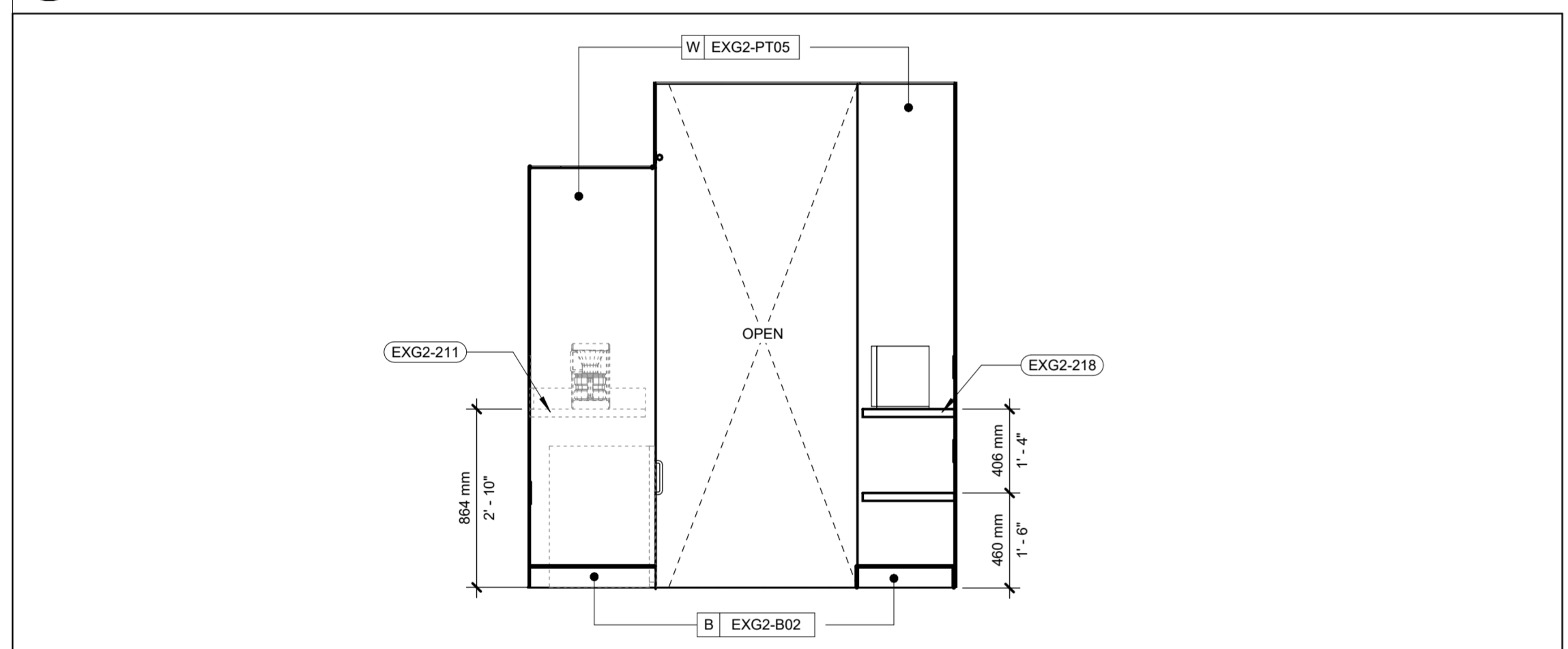
**7 KING ACC EXISTING - FUNCTIONAL RACK WALL - FF&E**  
A711.2 1:25



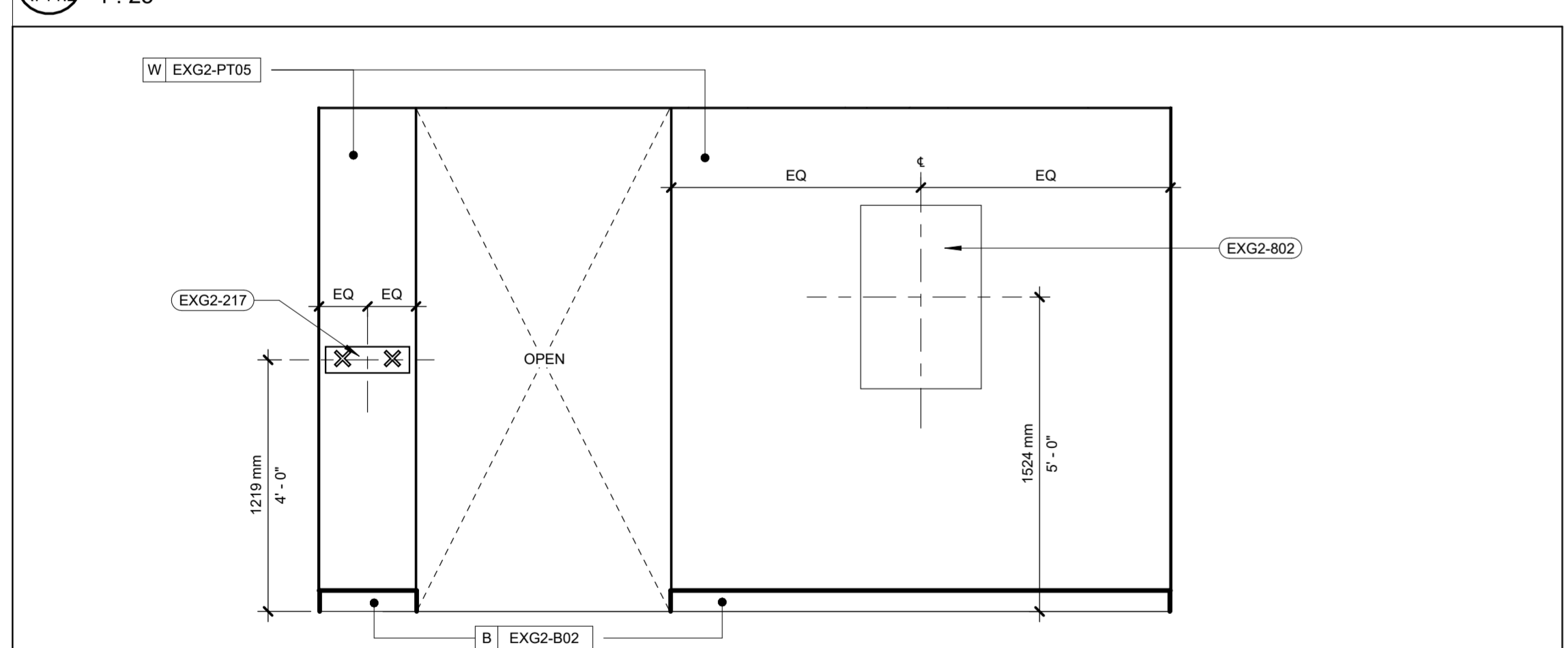
**8 KING ACC EXISTING - HEADBOARD WALL - FF&E**  
A711.2 1:25



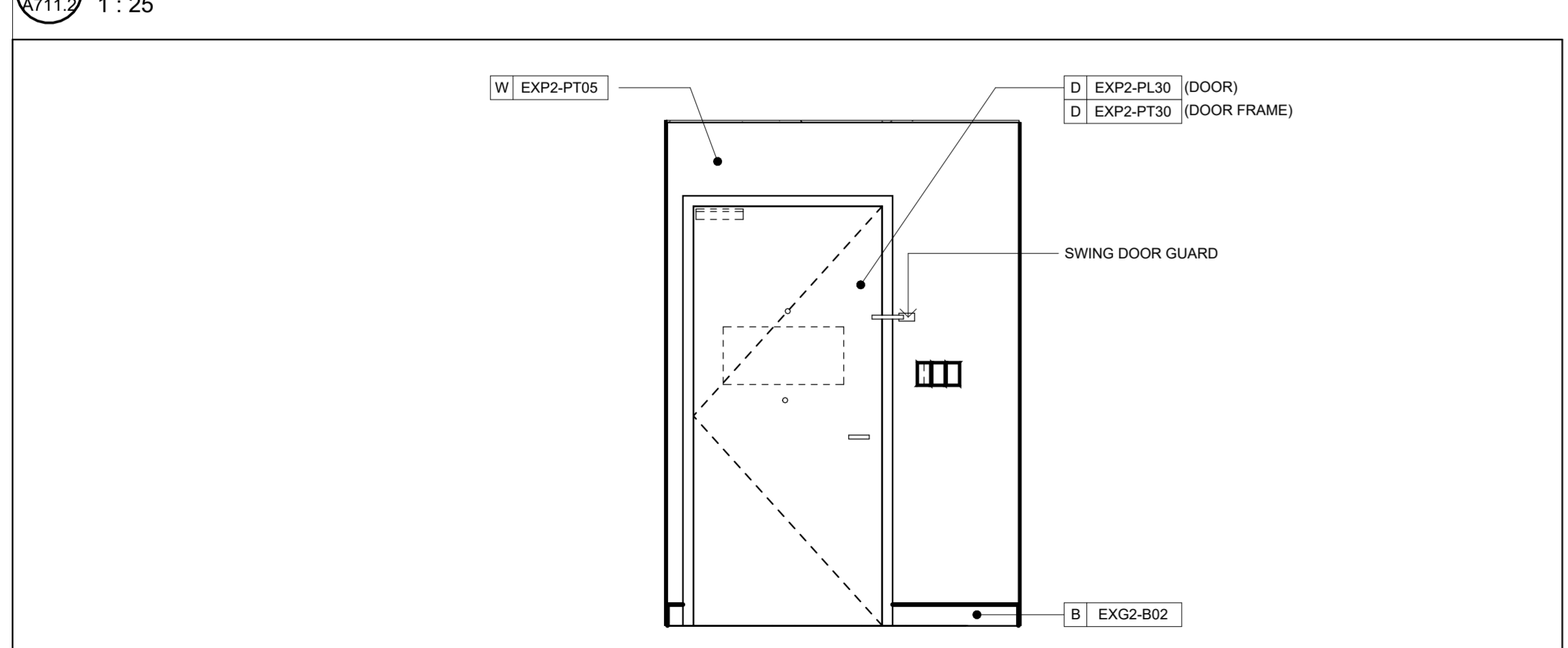
**6 KING ACC EXISTING - WINDOW WALL - FF&E**  
A711.2 1:25



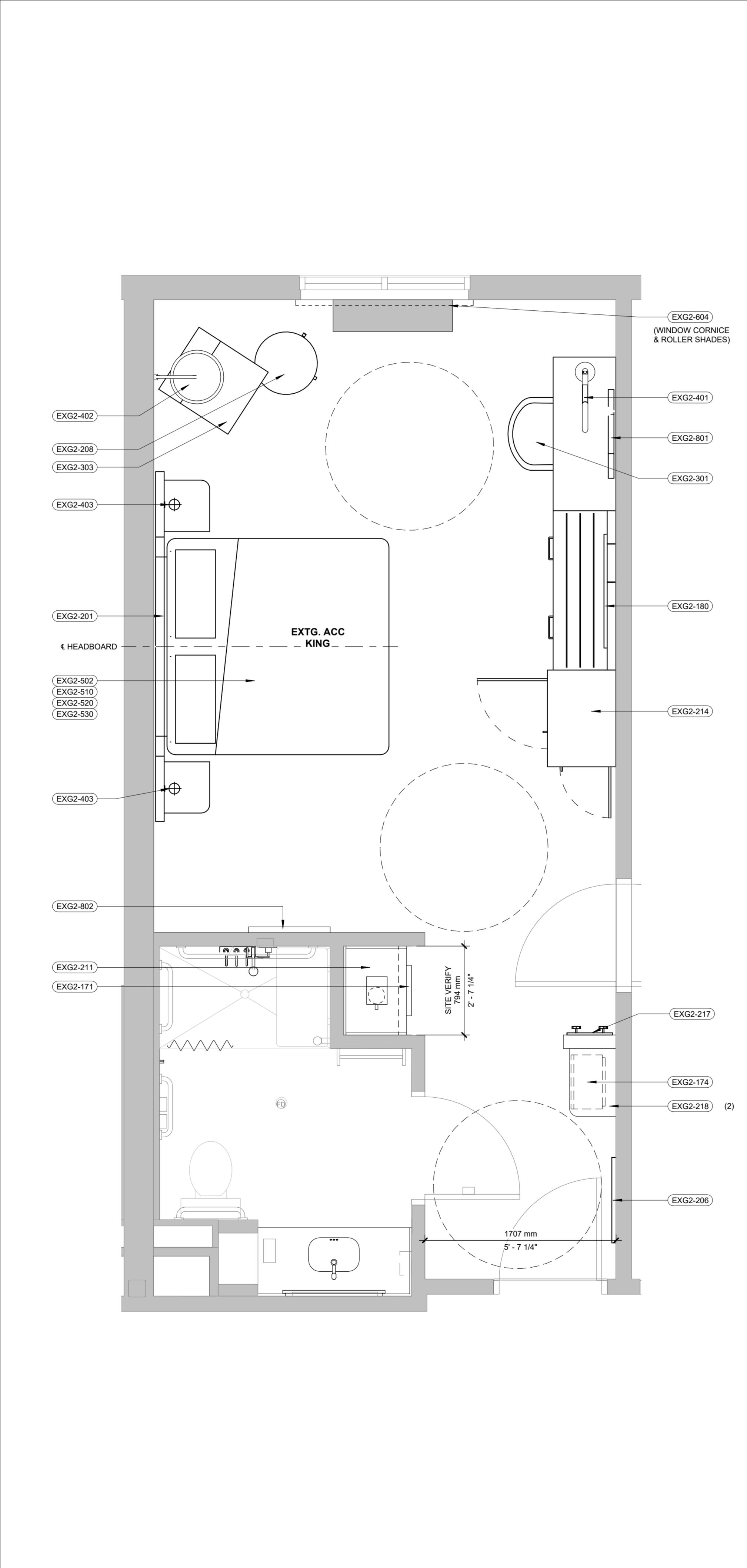
**5 KING ACC EXISTING - REFRESHMENT ZONE WALL - FF&E**  
A711.2 1:25



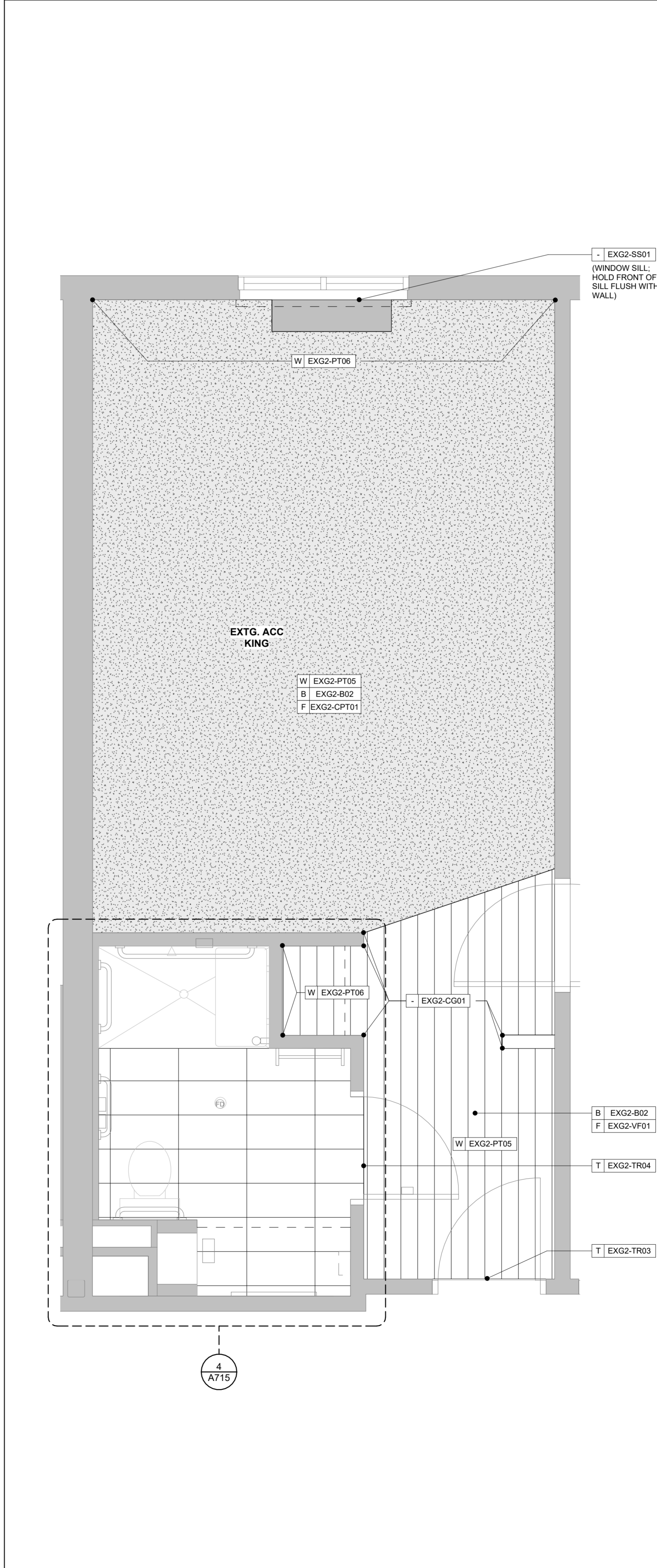
**4 KING ACC EXISTING - ENTRY WALL - FF&E**  
A711.2 1:25



**3 KING ACC EXISTING - ENTRY DOOR WALL - FF&E**  
A711.2 1:25



**2 EXTG. ACC. KING FF&E**  
A711.2 1:25



**1 EXTG. ACC. KING FINISH PLAN**  
A711.2 1:25

**FLOOR LEGEND**

	12" x 24" CERAMIC TILE WITH A THIRD TILE OFFSET-(EXP2-T01 / EXP2-T03 / EXP2-T06)
	12" x 12" CERAMIC TILE-(EXP2-T02)
	6" x LINEAR VINYL FLOORING-(EXG2-VF01)
	12" x 24" CERAMIC TILE-(EXG2-T01)
	12" x 12" VINYL FLOORING-(EXP2-VF01)
	RESILIENT FLOORING-(EXP2-VF02)
	6" x 48" VINYL FLOORING-(EXP2-VF03)
	12" x 24" STAMPED CONCRETE
	CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

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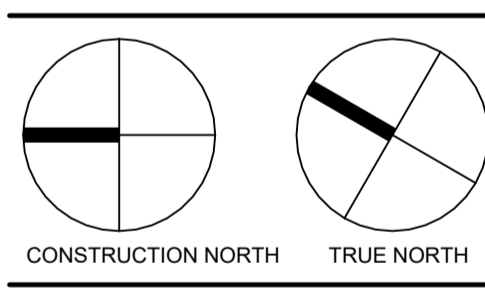


NO.	ISSUED	DATE
1	0 - CLIENT REVIEW	2025-03-07
2	0 - BRAND REVIEW R2	2025-06-11
3	0 - BRAND REVIEW 100%	2025-06-11
4	0 - COORDINATION	2025-10-01
5	0 - COORDINATION	2025-11-03
6	0 - COORDINATION	2025-11-17

**FLOOR LEGEND**

- 6" x 48" VINYL FLOORING-(EXP2-VF01)
- CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

**CLIENT**  
 Owner



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
 NEPEAN, ON K2H 5Y9

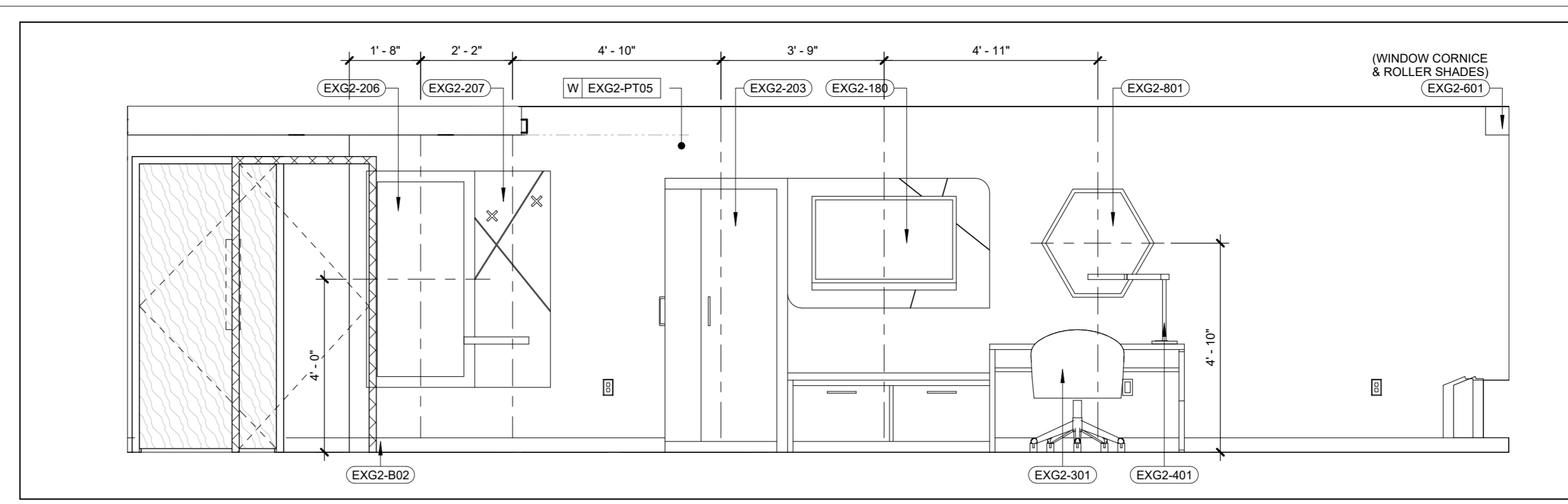
**ENLARGED SUITE - NEW QQS FF&E, FINISH PLAN & ELEVATIONS**

START DATE: JANUARY 2025  
 DRAWN BY: AM  
 CHECKED BY: LC  
 SCALE: As indicated  
 PROJECT NO: 125009

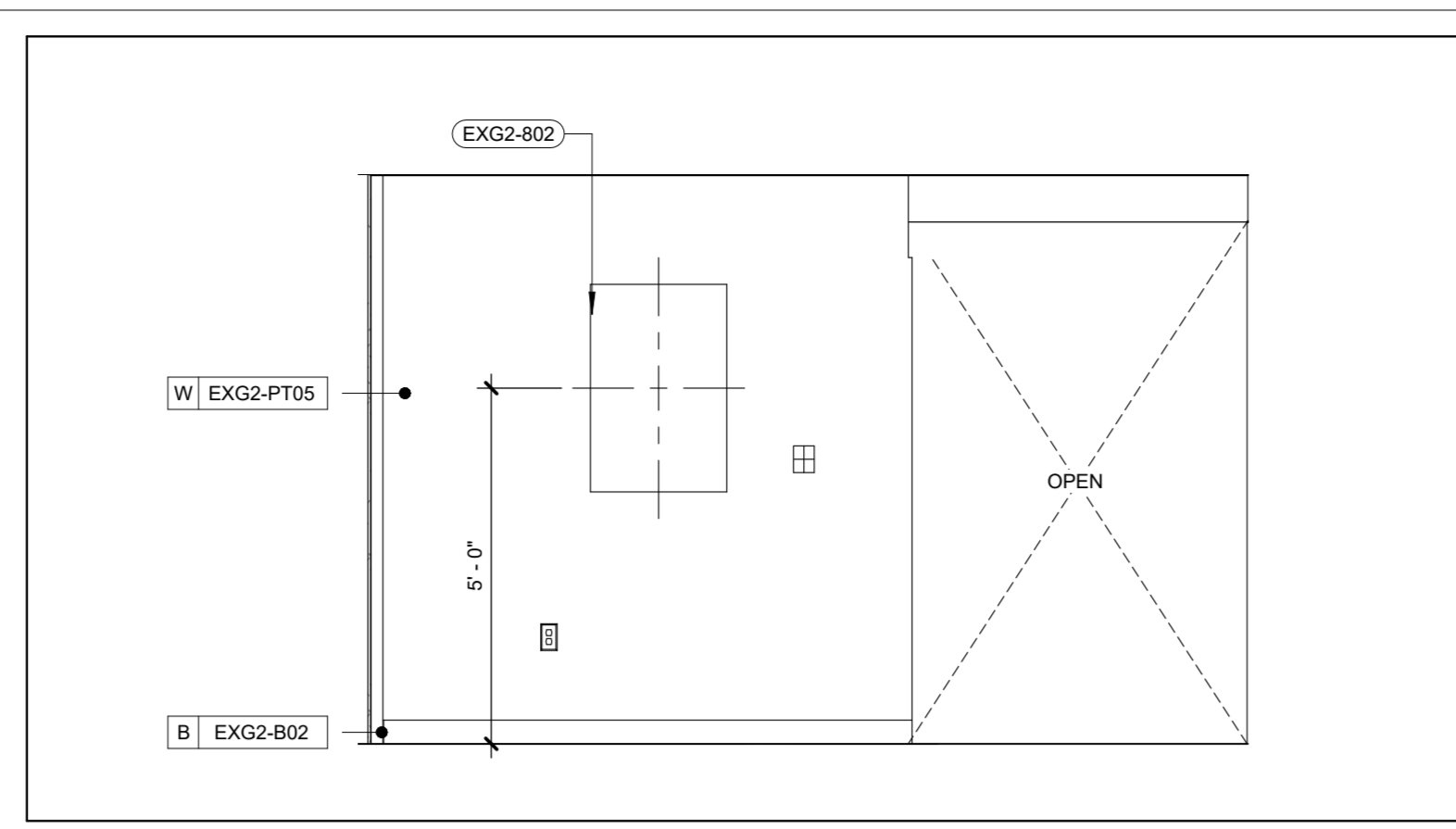
**A713**

**ENLARGED FINISH/FURNISHING GENERAL NOTES:**

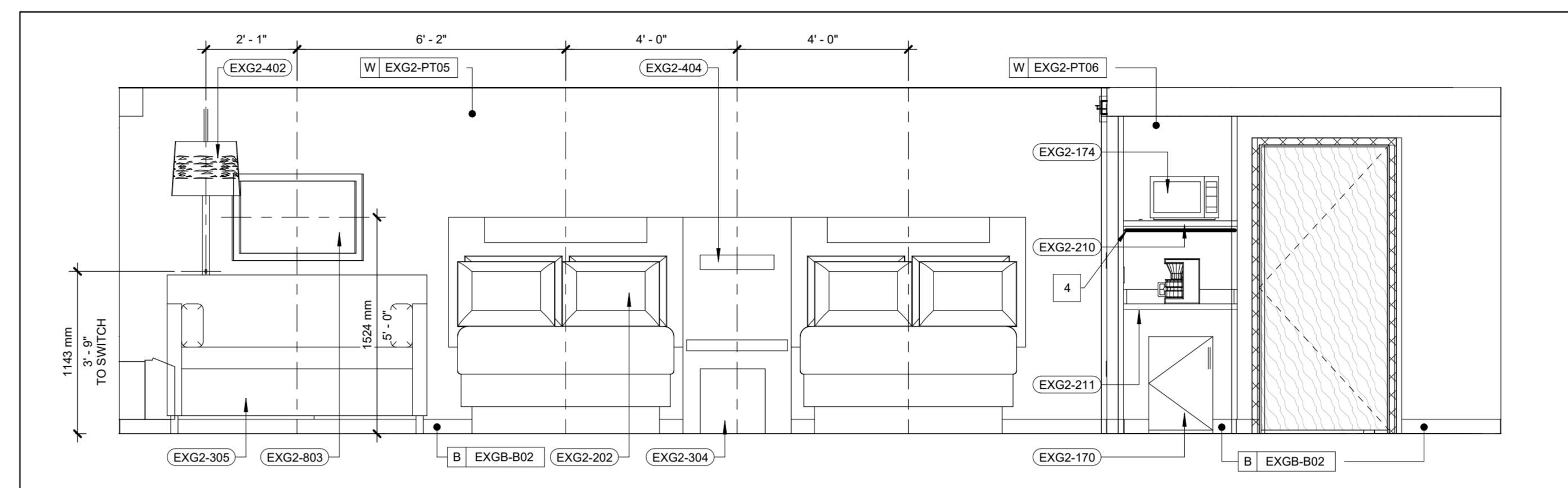
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
- PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH/FURNISHINGS VIEW.
- PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
- PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
- FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
- REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
- REFER TO ID55 FOR FLOORING TRANSITION DETAILS.
- ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
- ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
- EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
- REFER TO ID54 FOR TYPICAL SUITE MILLWORK DETAILS.



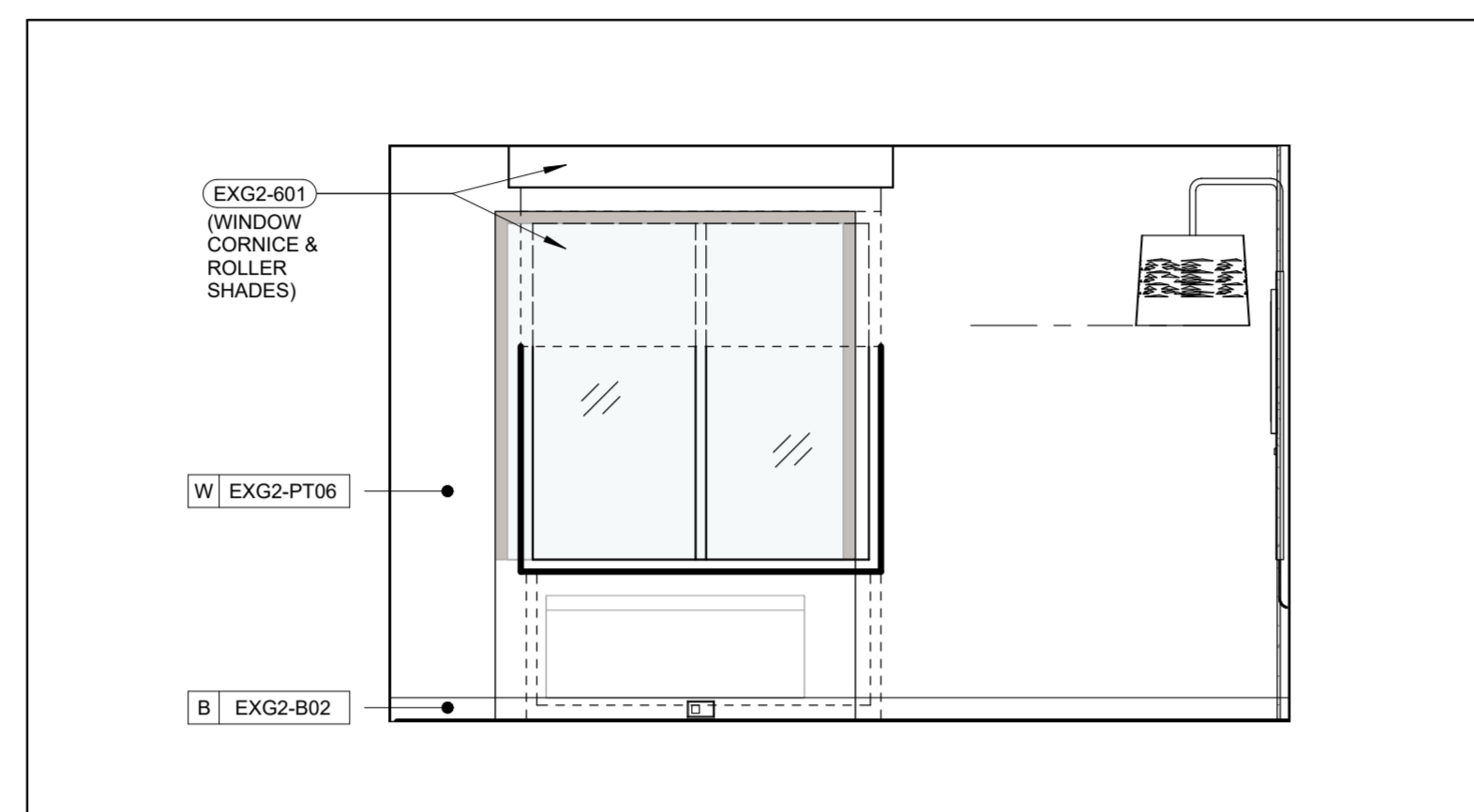
**4 DOUBLE QUEEN SUITE - ELEVATION 02**  
 A713 1:30



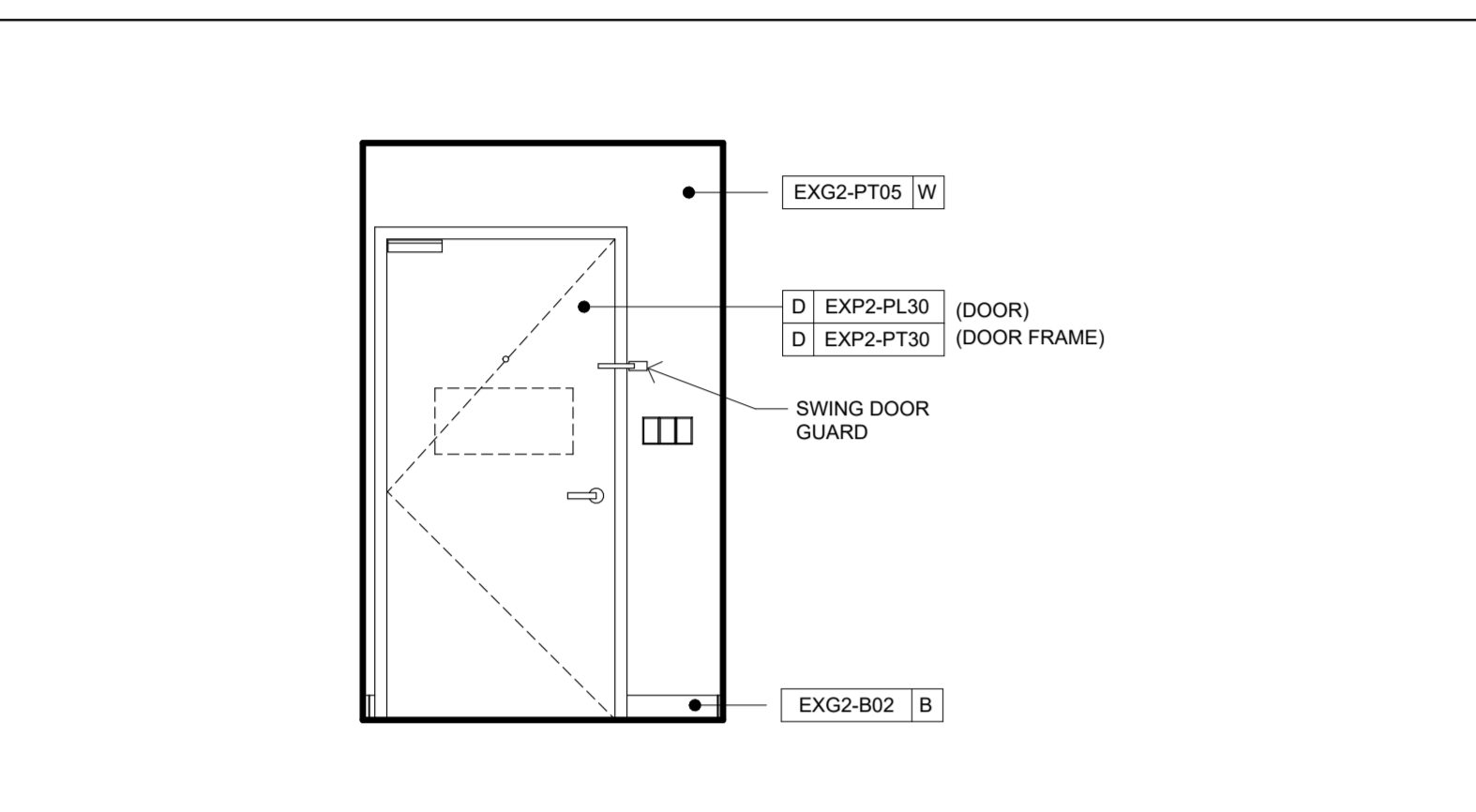
**6 DOUBLE QUEEN SUITE - ELEVATION 04**  
 A713 1:30



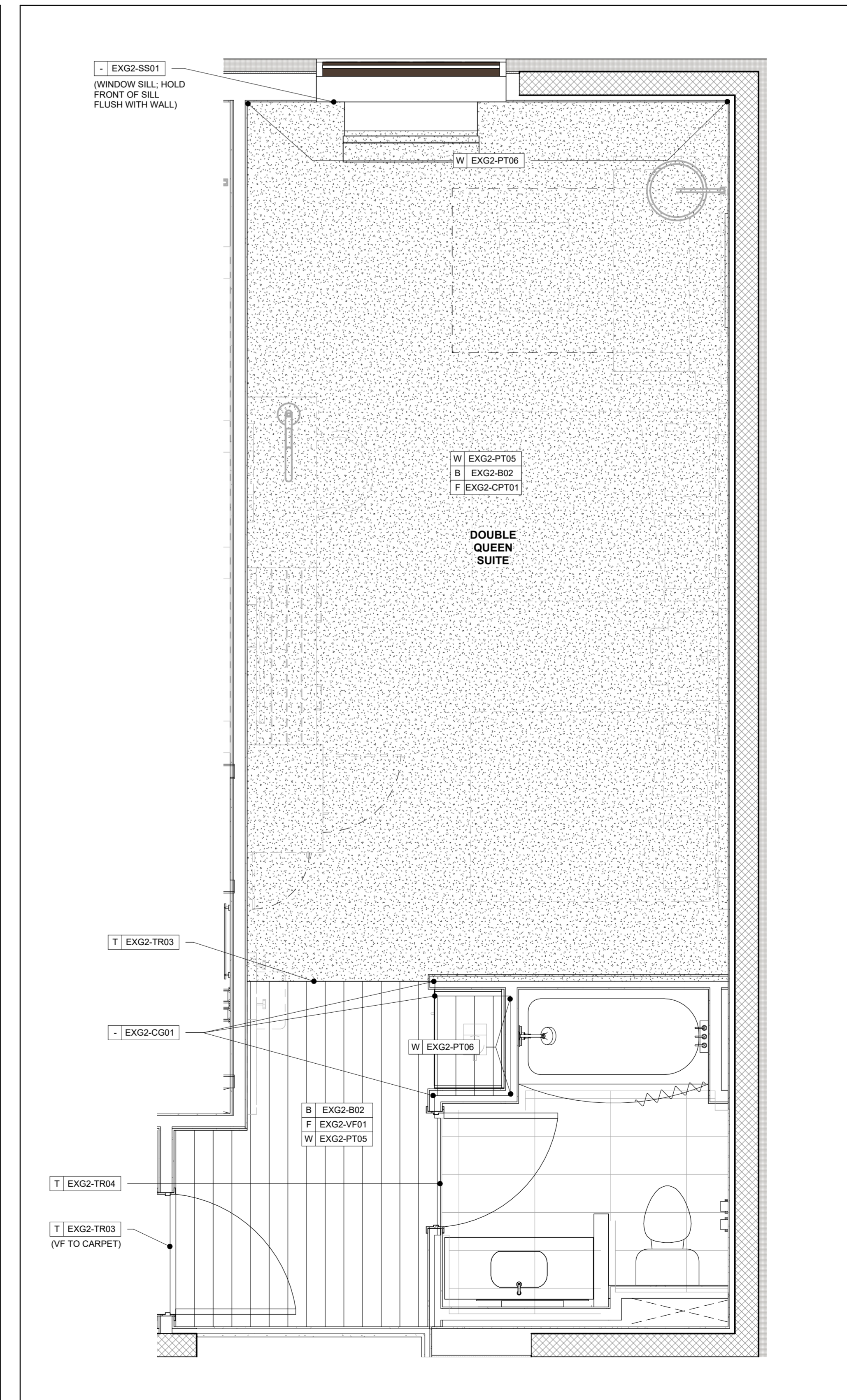
**3 DOUBLE QUEEN SUITE - ELEVATION 01**  
 A713 1:30



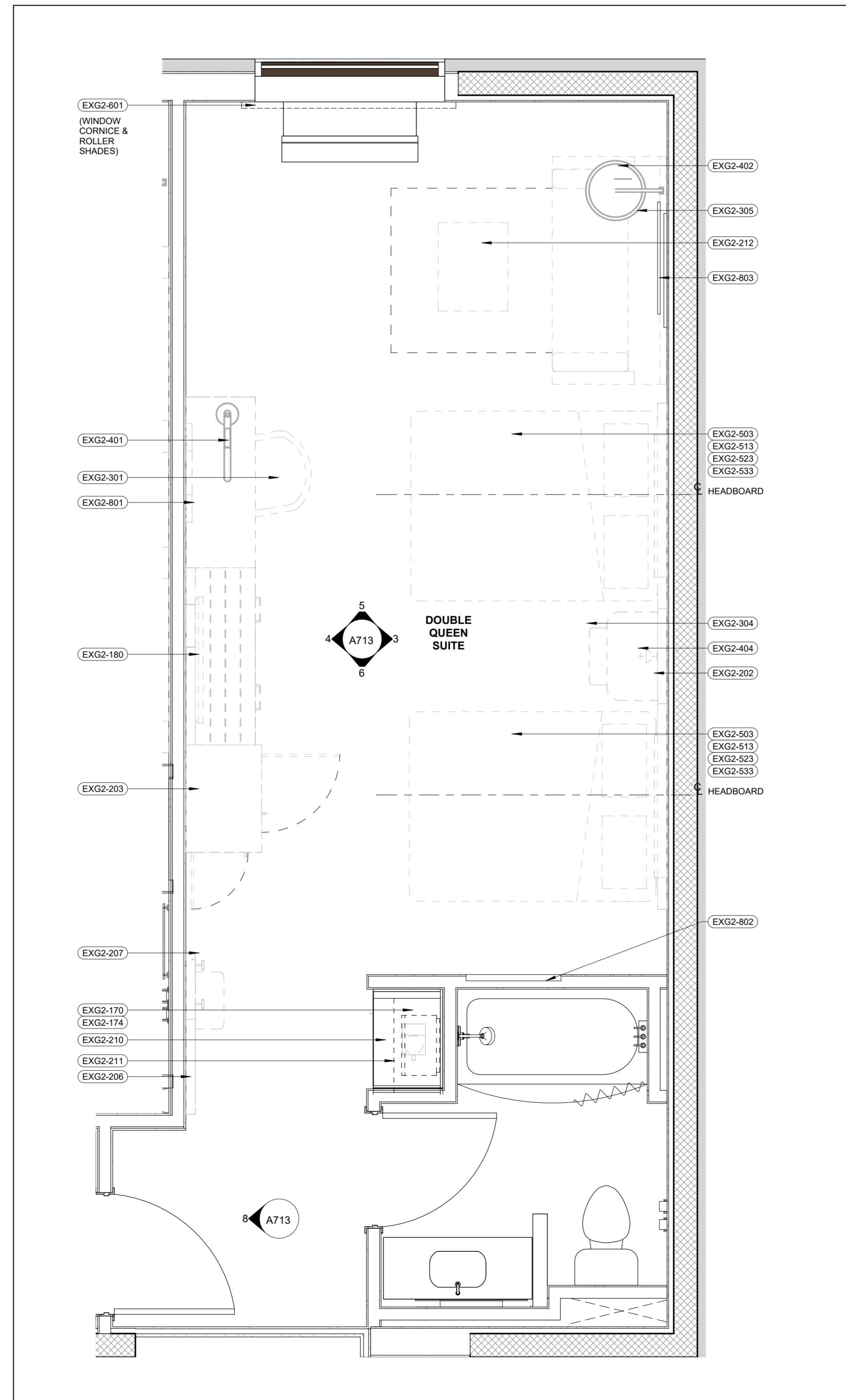
**5 DOUBLE QUEEN SUITE - ELEVATION 03**  
 A713 1:30



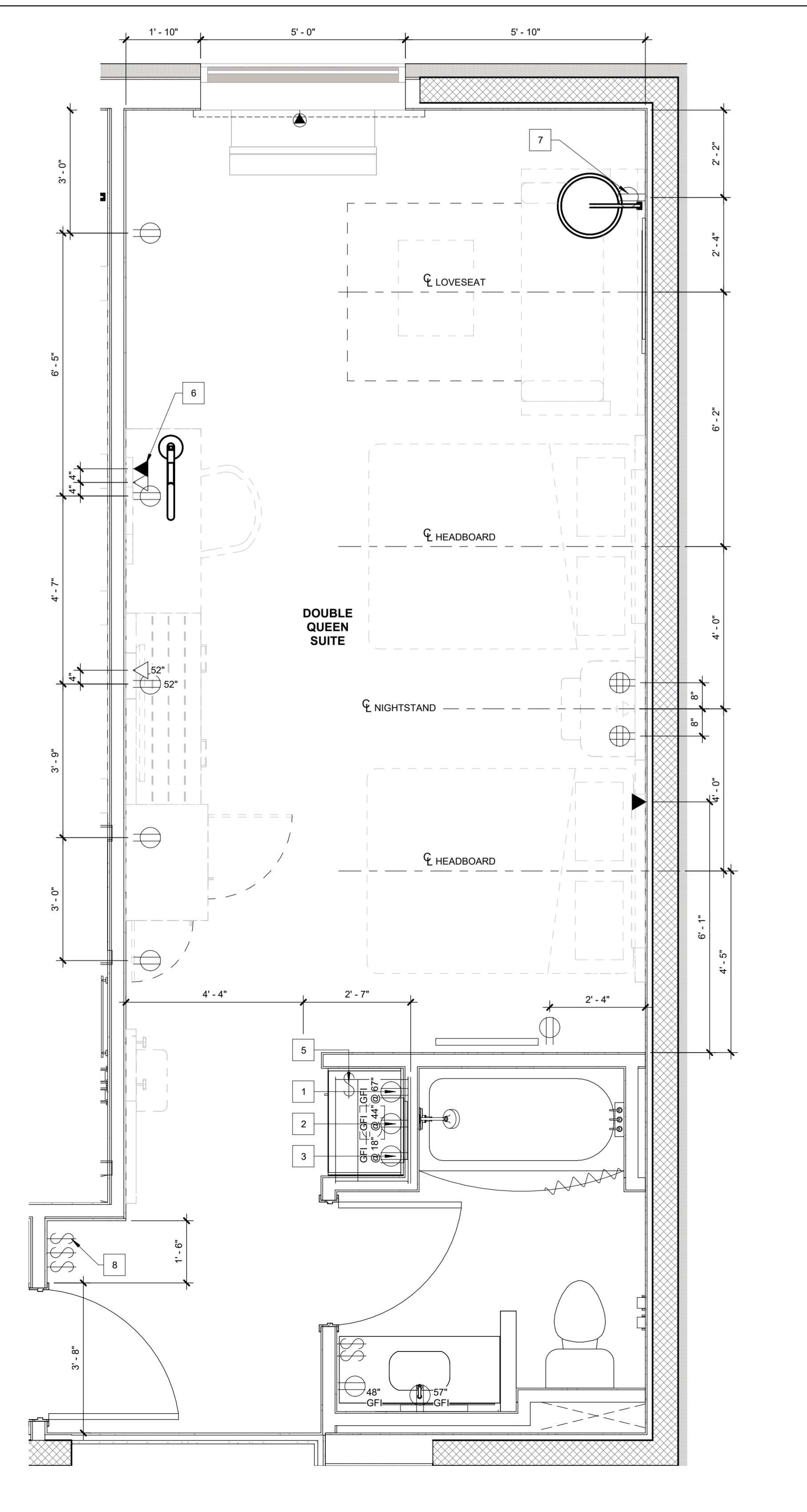
**8 QQS NEW - EXISTING - ENTRY DOOR WALL**  
 A713 1:30



**2 ENLARGED QQ SUITE FINISHES PLAN**  
 A713 1:25



**1 ENLARGED QQ SUITE FF&E**  
 A713 1:25



**7 ENLARGED QQ SUITE POWER PLAN**  
 A713 1:25

**RCP GENERAL NOTES**

- REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO.
- PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP.
- REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
- WHERE REQUIRED, PROVIDE 1/2"x1/2" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWS HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- EXISTING WALL SCENIC TO BE REMOVED

**POWER PLAN NOTES**

- (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- (STANDARD) AT COFFEE MAKER
- (STANDARD) AT REFRIGERATOR
- NOT USED
- (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- (OPTIONAL) VOICEDATA RECEPTACLE - TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER WIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK AS REQUIRED.
- NOT USED
- GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS
- ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH HARDWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY)
- IN-WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHIP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

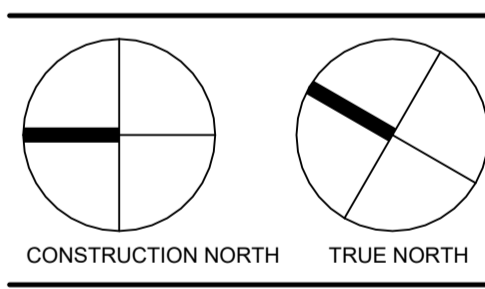
C:\Users\ahood\Documents\25009 - Nepean - Building RVT25-0005-03-10\_JamiesonAA1414.rvt

NO.	ISSUED	DATE
1	BRAND REVIEW R2	2025-06-11
2	BRAND REVIEW 100%	2025-10-01
3	COORDINATION	2025-10-01
4	COORDINATION	2025-11-03
5	COORDINATION	2025-11-17

**FLOOR LEGEND**

- 6" x 48" VINYL FLOORING (EXP2-VF01)
- CARPET - COLOR VARIANCES INDICATE DIFFERENT COLORS OR STYLES

**CLIENT**  
Owner



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

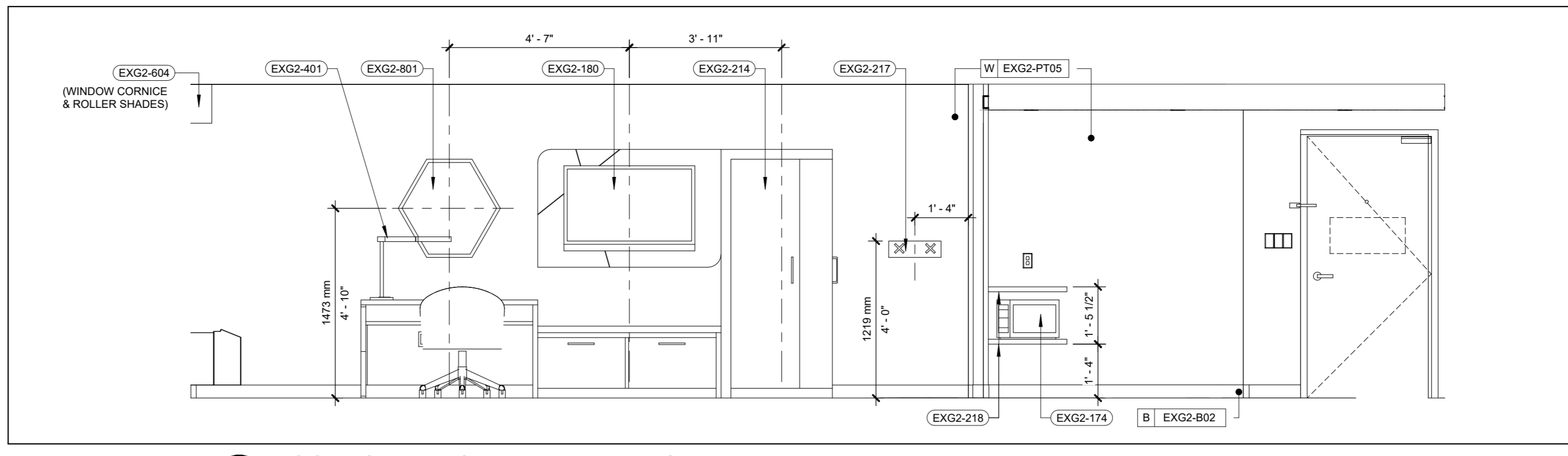
SHEET NAME

**ENLARGED SUITE - NEW ACC. QO FF&E, FINISHES PLAN & ELEVATIONS**

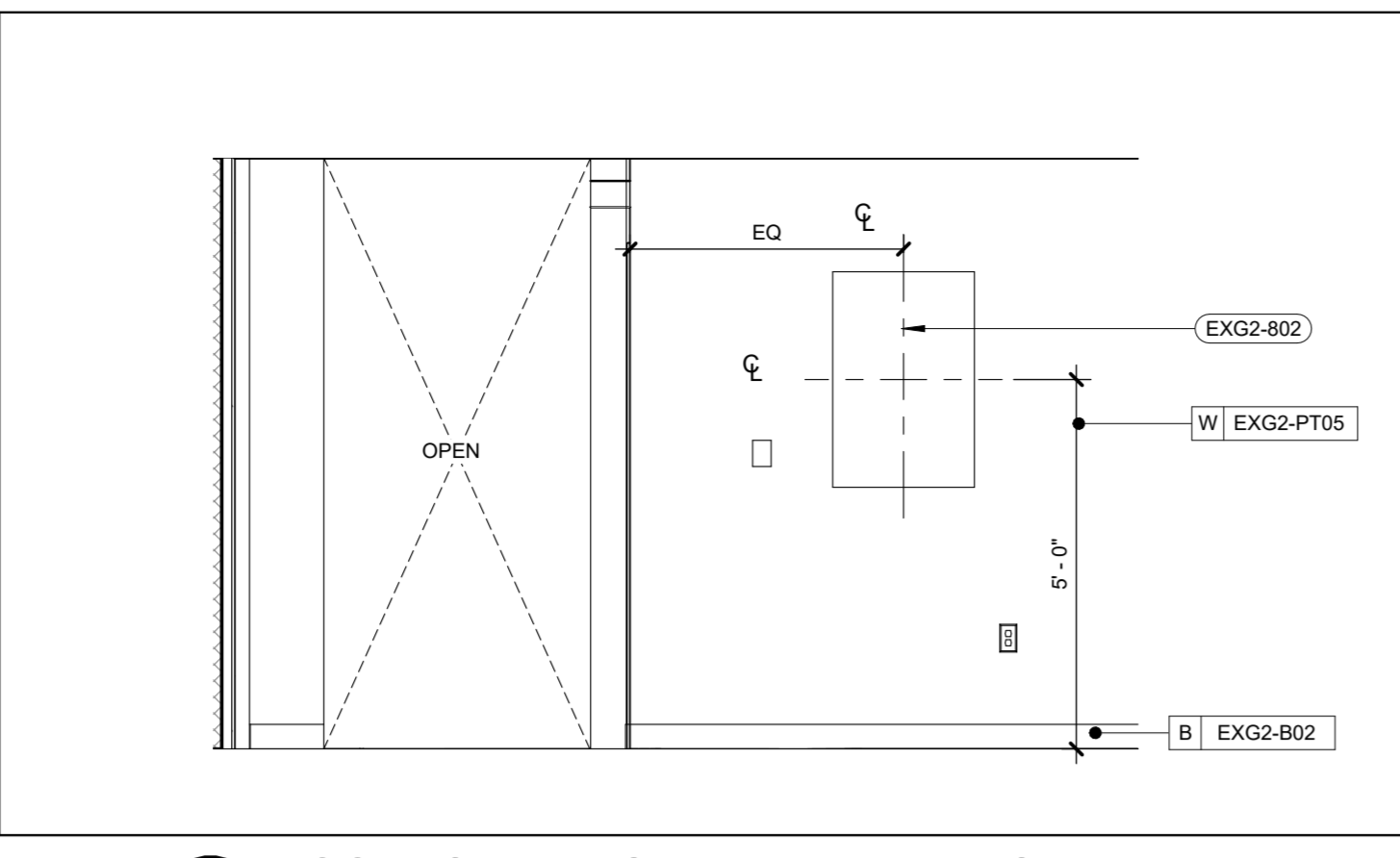
START DATE: JANUARY 2025  
 DRAWN BY: AM  
 CHECKED BY: LC  
 SCALE: As indicated  
 PROJECT NO.: 125009  
 DRAWING

**A714**

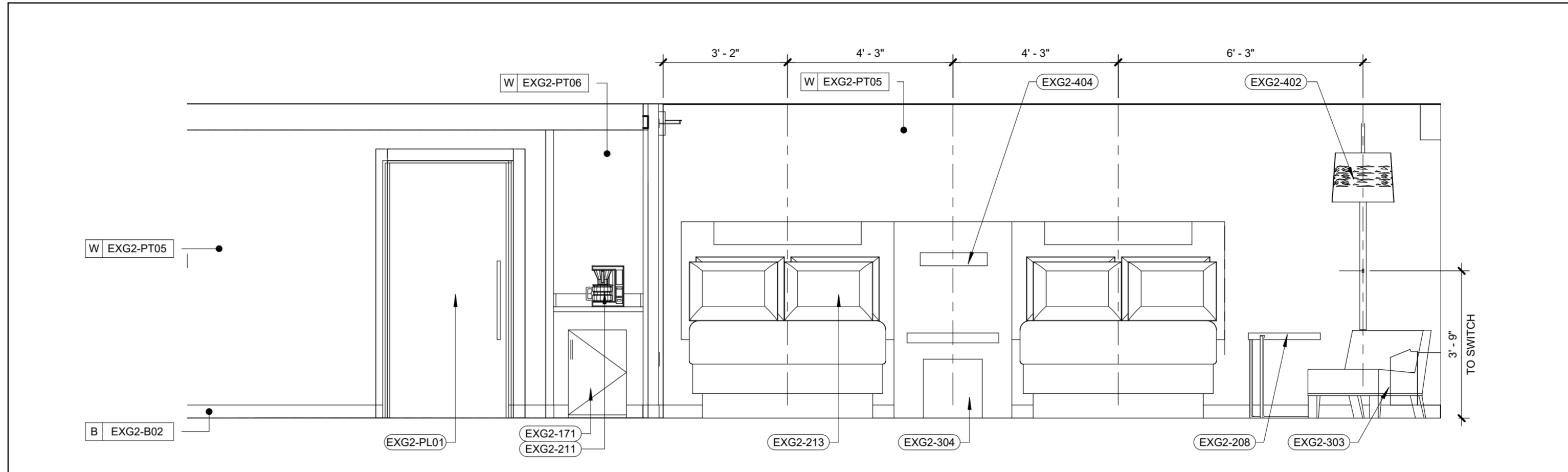
- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
  - SEE ARCHITECTURAL FINISHES MANUAL FOR FINISH AND OTHER PRODUCT SPECIFICATIONS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH/FURNISHINGS VIEW.
  - PROVIDE IN-ROOM HEARING IMPAIRED DEVICES AS REQUIRED BY LOCAL JURISDICTION FOR ROOM FOR THE HEARING IMPAIRED.
  - PROVIDE WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.
  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO ID505 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA.
  - EXG2-210 & EXG2-211 - WIDTHS VARY DEPENDING ON SUITE. GC TO VERIFY SITE MEASUREMENTS PRIOR TO FABRICATION AND INSTALL.
  - REFER TO ID54 FOR TYPICAL SUITE MILLWORK DETAILS.



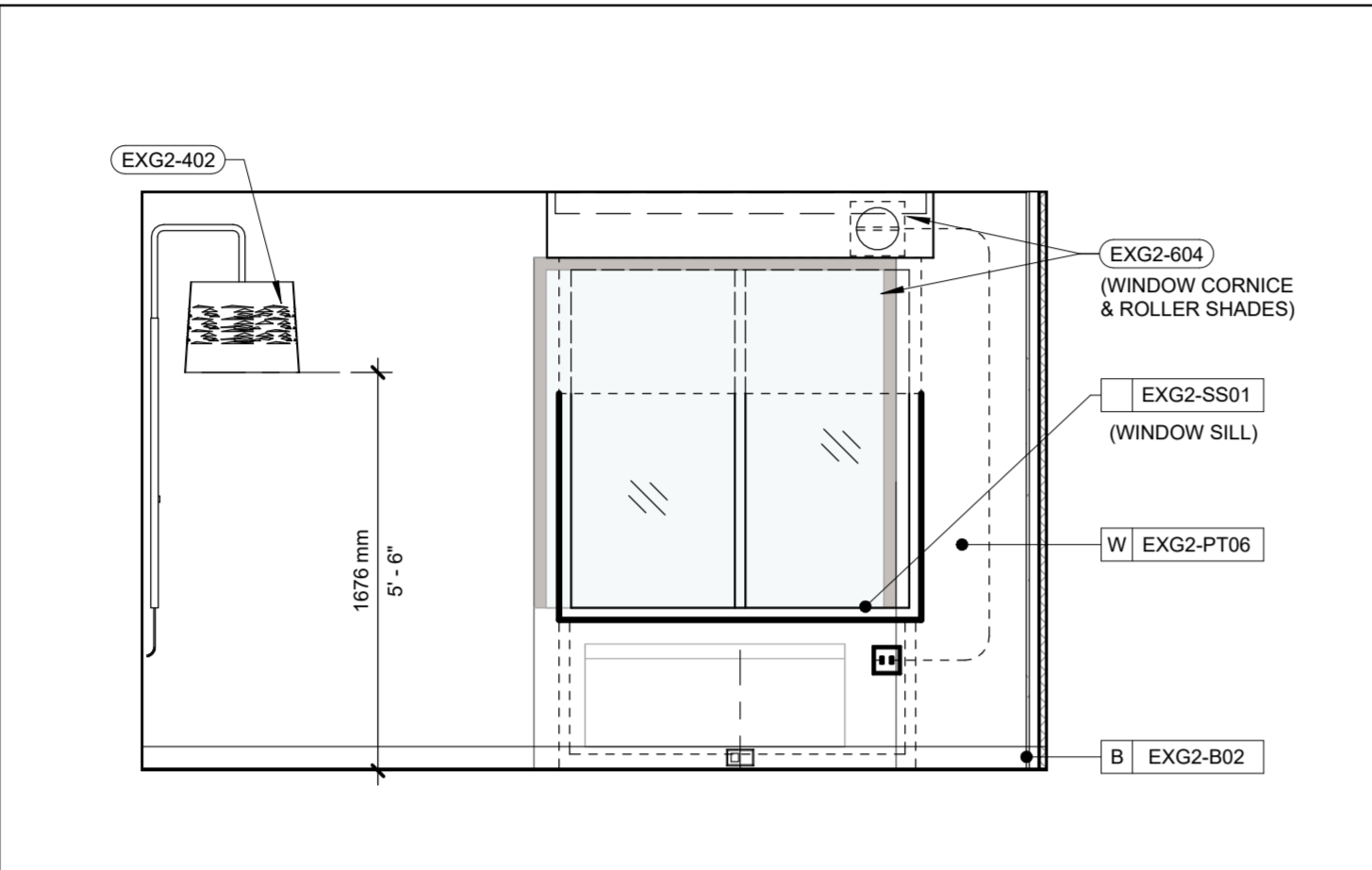
**5 ACC. DOUBLE QUEEN ELEVATION 03**  
A714 1:30



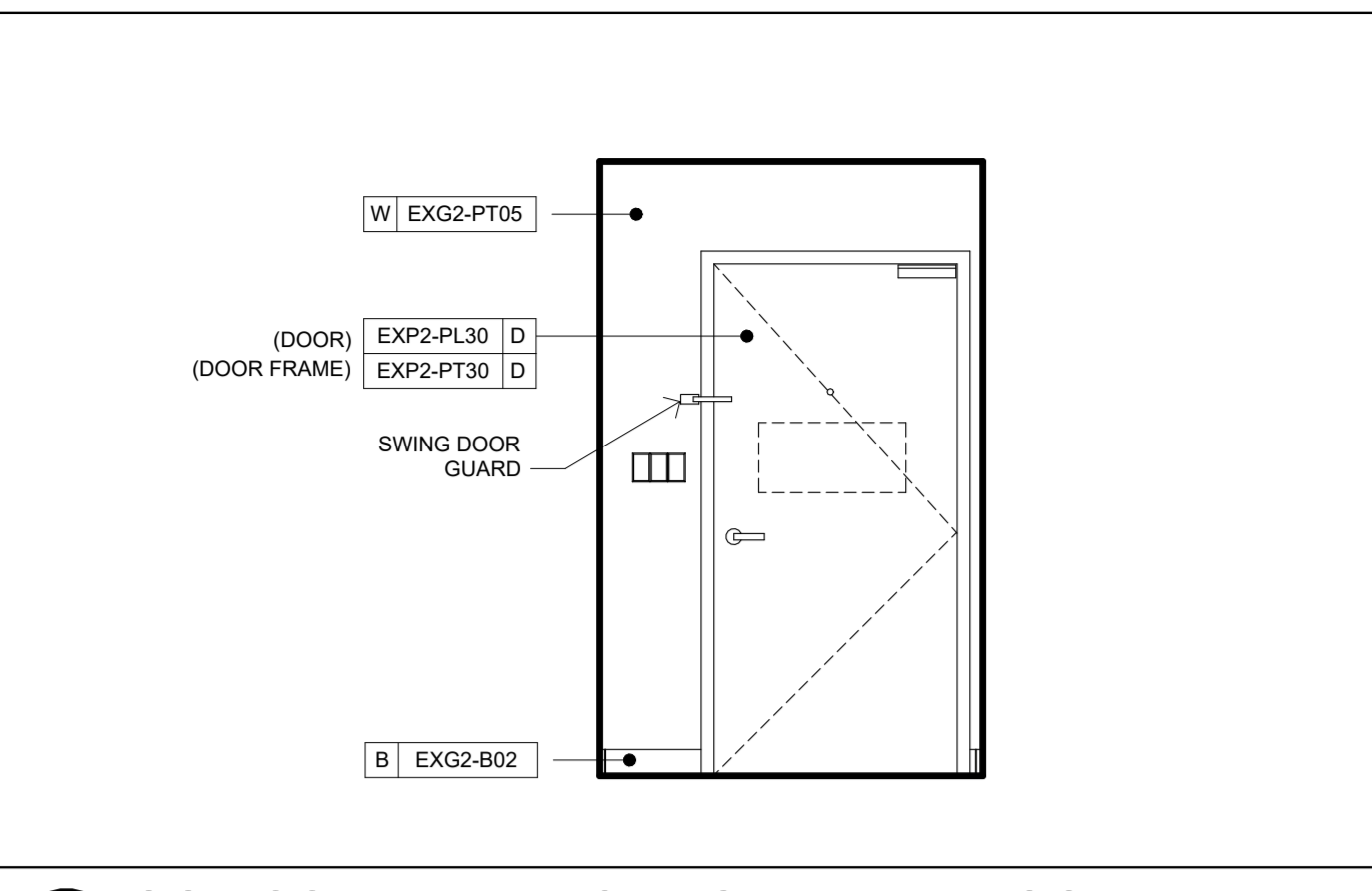
**6 ACC. DOUBLE QUEEN ELEVATION 04**  
A714 1:30



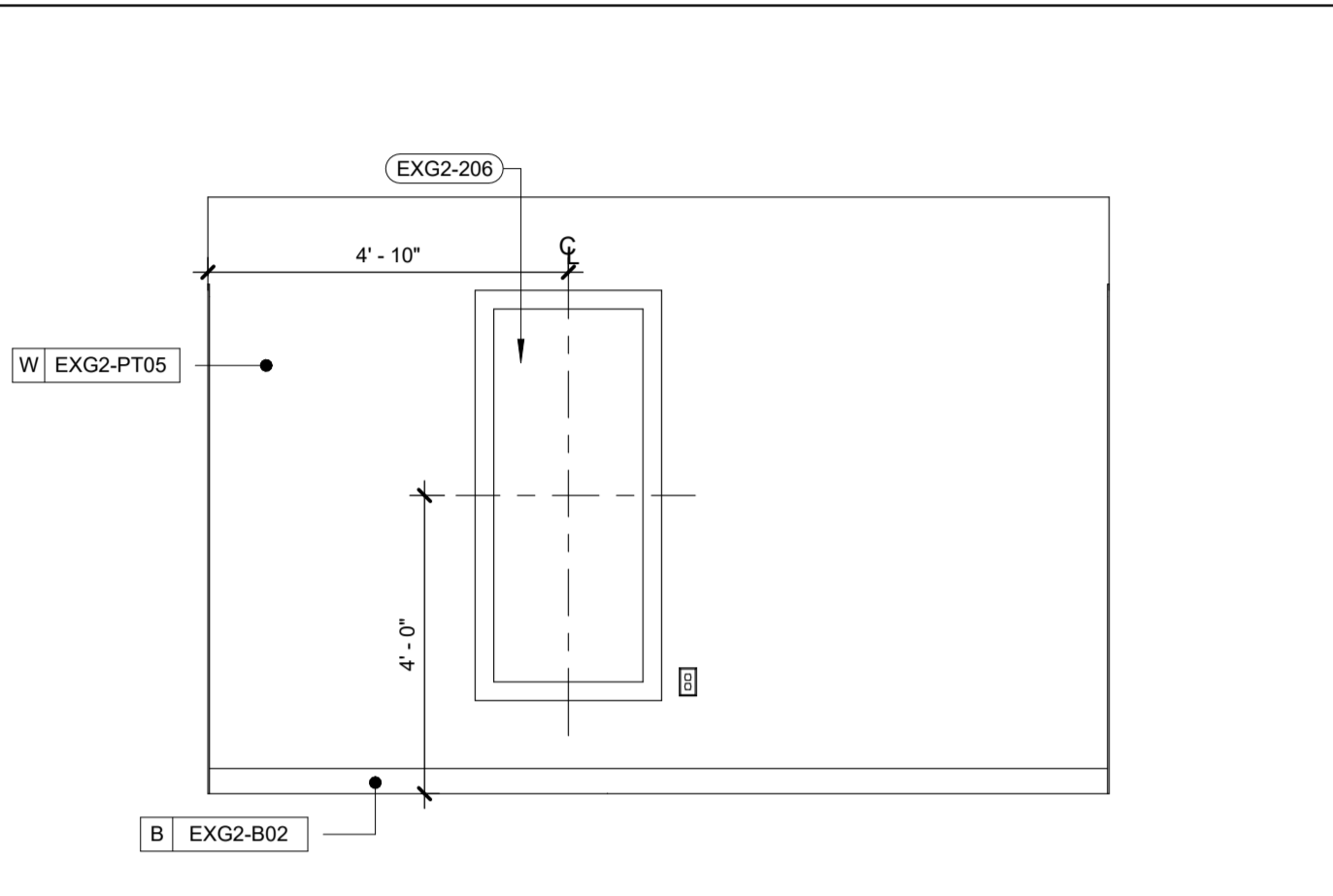
**3 ACC. DOUBLE QUEEN ELEVATION 01**  
A714 1:30



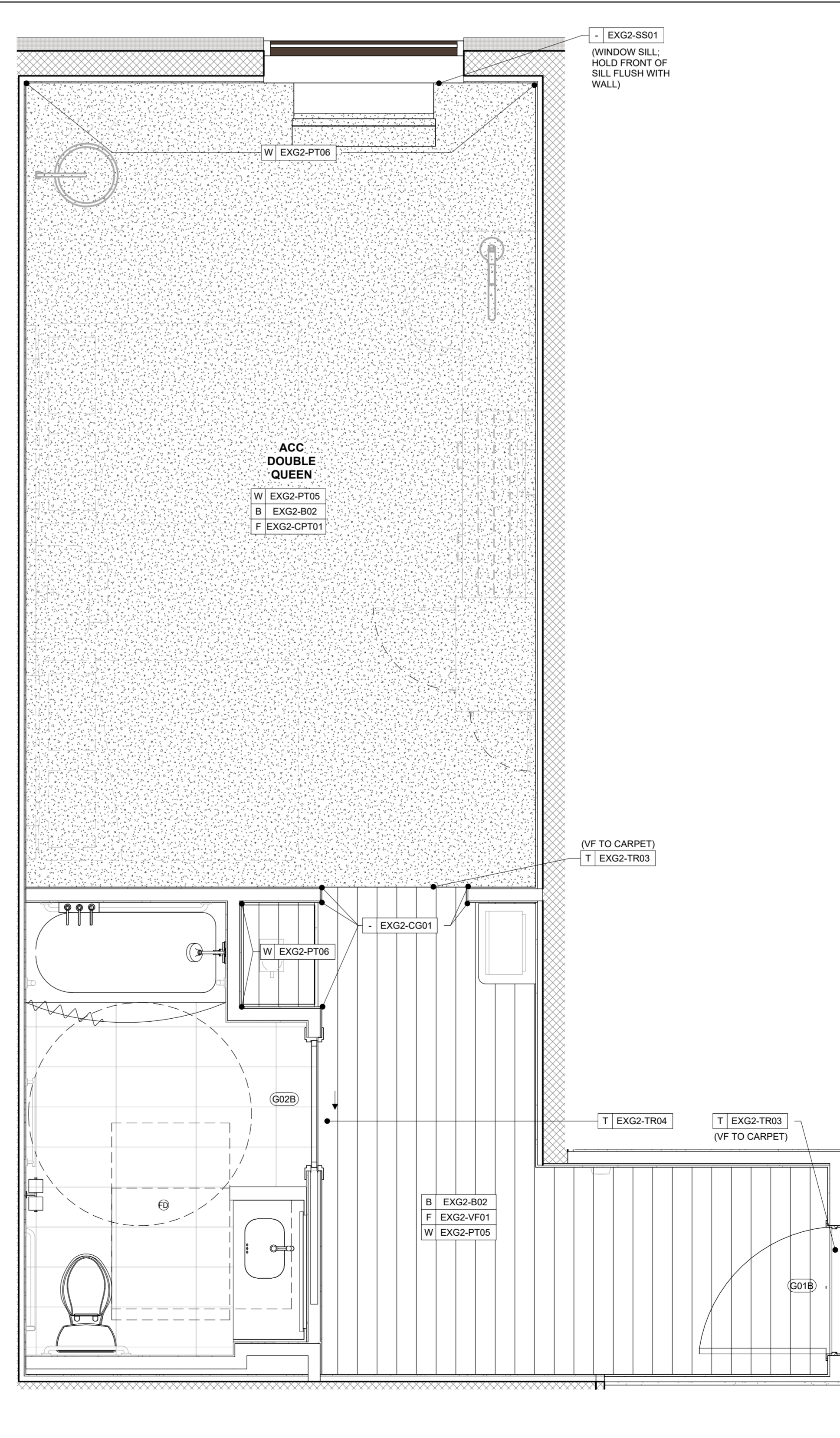
**4 ACC. DOUBLE QUEEN ELEVATION 02**  
A714 1:30



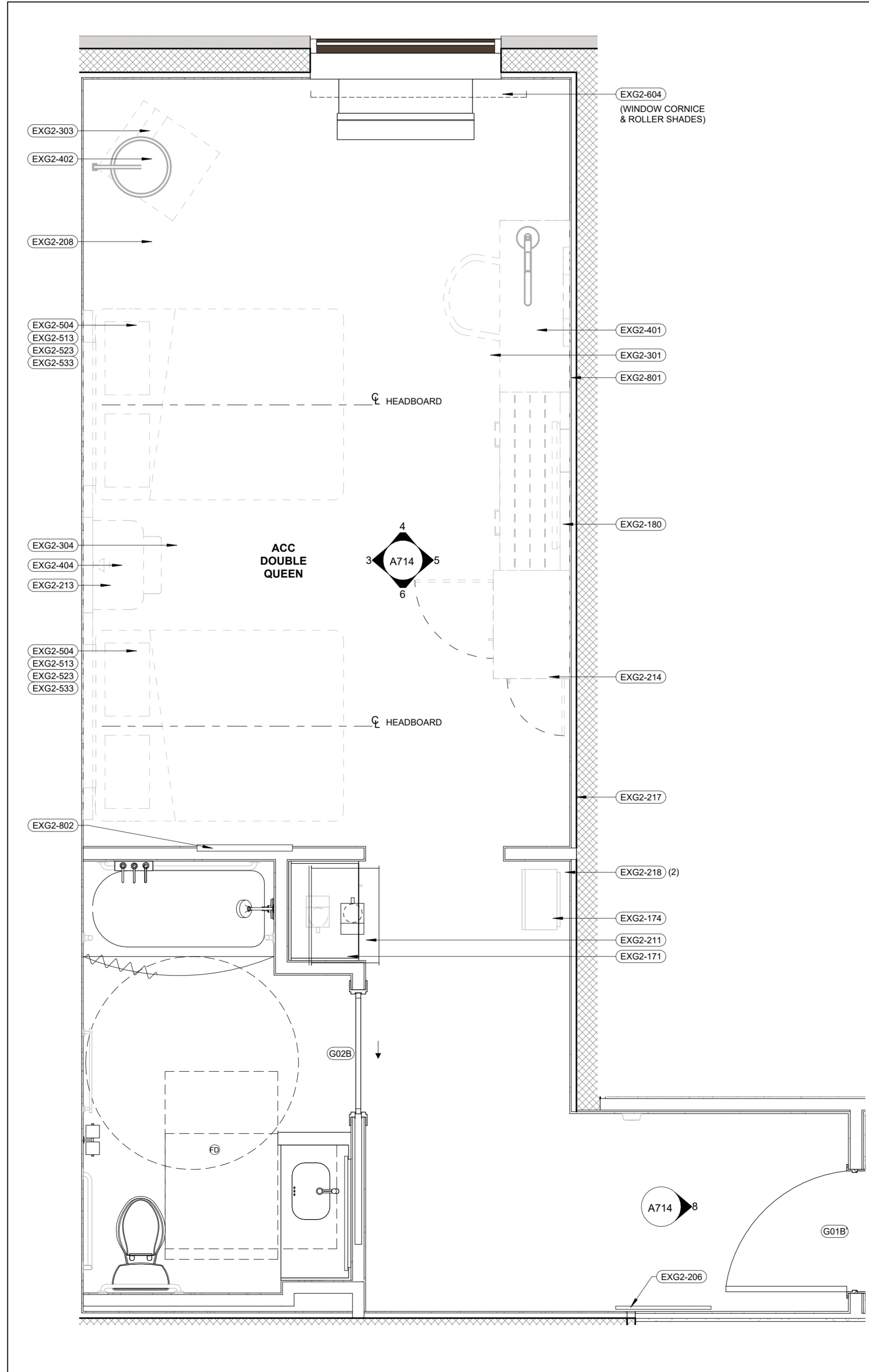
**8 QQ ACC NEW - EXISTING - ENTRY DOOR WALL**  
A714 1:30



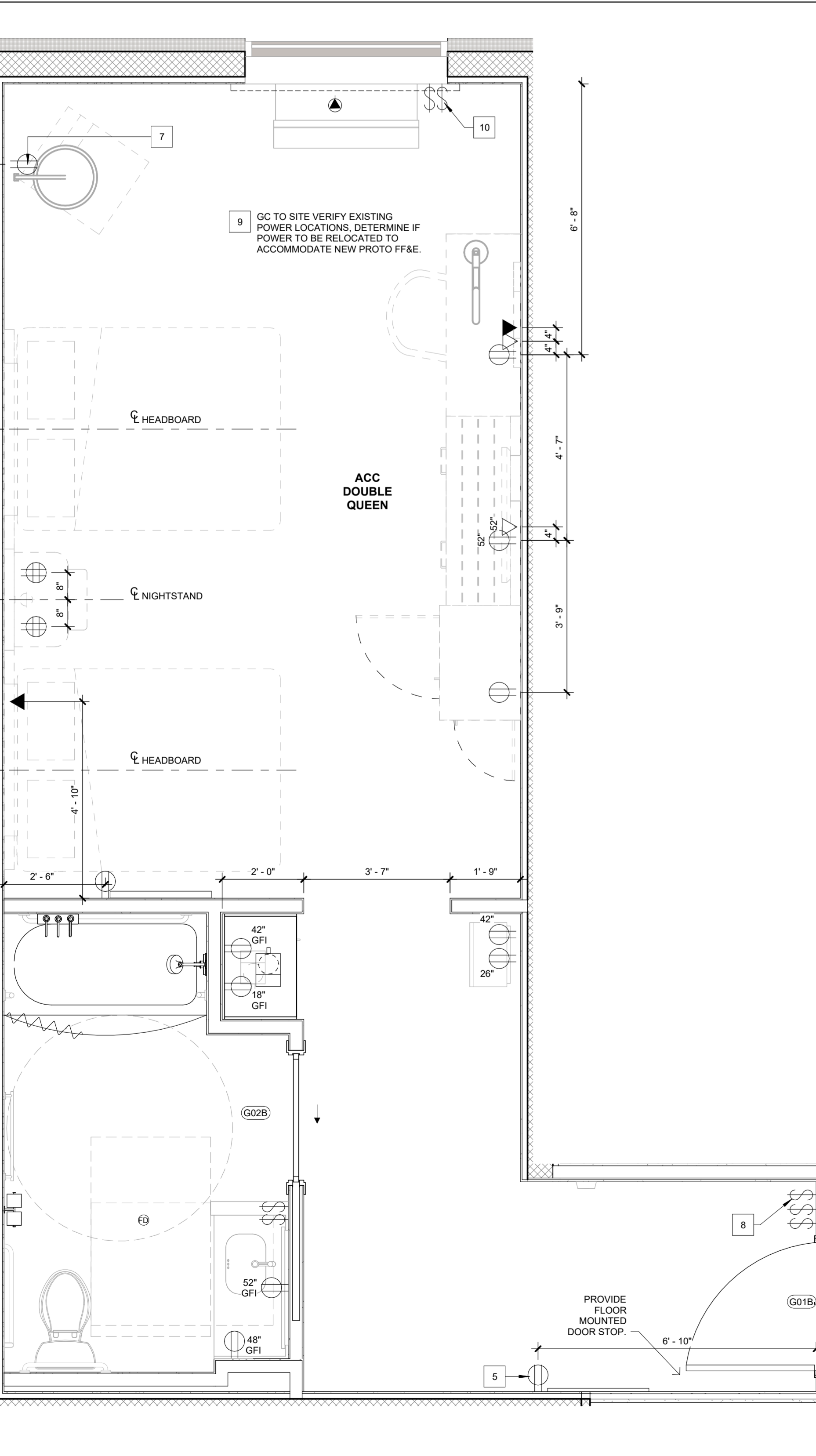
**9 QQ ACC NEW - EXISTING - MIRROR WALL**  
A714 1:30



**2 ENLARGED ACC. DOUBLE QUEEN FINISHES**  
A714 1:25



**1 ENLARGED ACC. DOUBLE QUEEN FF&E**  
A714 1:25



**7 ENLARGED ACC. DOUBLE QUEEN POWER PLAN**  
A714 1:25

**RCP GENERAL NOTES**

- REFER TO A110 FOR LEGENDS, SYMBOLS, AND ABBREVIATIONS.
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO.
- PROVIDE NEW LED LAMPS FOR ALL GENERAL LIGHT FIXTURES TYP.
- REFER TO SHEET A302 FOR DETAILS SHOWING TYPICAL CEILING CONDITIONS.
- WHERE REQUIRED, PROVIDE 12"x12" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GWB HOUSING. REFER TO A302 FOR DETAIL.

**RCP KEY NOTES**

- EXISTING WINDOW TREATMENTS TO BE REMOVED AND REPLACED WITH NEW
- REFINISH GYPSUM BOARD CEILINGS PER LATEST PROTO
- EXISTING WALL SCOFF TO BE REMOVED

**POWER PLAN NOTES**

- (STANDARD) UNSWITCHED DUPLEX RECEPTACLE AT MICROWAVE (OPTIONAL) HALF-SWITCHED QUAD RECEPTACLE (IF UNDER-CABINET LIGHTING IS TO BE PROVIDED - OWNER TO CONFIRM)
- (STANDARD) AT COFFEE MAKER
- (STANDARD) AT REFRIGERATOR
- NOT USED
- (OPTIONAL) SWITCH FOR UNDER CABINET LIGHT STRIP - OWNER TO CONFIRM DIRECTION.
- (OPTIONAL) VOICEDATA RECEPTACLE - TO BE CONFIRMED BY OWNER. EXISTING PROVISIONS FOR VOICEDATA TO BE REVIEWED ON SITE BY GC PRIOR TO INSTALLATION OF NEW.
- OUTLET TO ALIGN WITH CENTRELINE OF WALL-MOUNTED PENDANT. ENSURE LOCATION OF OUTLET IS ADJUSTED ON EITHER SIDE OF DEMISING WALL TO PREVENT BACK-TO-BACK OUTLET INSTALLATION. GC TO SITE VERIFY EXISTING POWER LOCATIONS AND ADVISE IF OUTLETS NEED TO BE RELOCATED TO ALIGN WITH FF&E AND CASEWORK AS REQUIRED.
- NOT USED
- GC TO SITE VERIFY EXISTING POWER LOCATIONS. DETERMINE IF POWER TO BE RELOCATED TO ACCOMMODATE NEW PROTO FF&E LOCATIONS.
- ROLLER SHADE MOMENTARY DUAL ROCKER SWITCH HARDWIRED TO MOTOR. PROVIDE IN-WALL CONDUIT AND J-BOX IN WALL AT SWITCHES (ACCESSIBLE ROOMS ONLY).
- IN WALL J-BOX FOR HARDWIRED MECHANICAL ROLLER SHADES IN ACCESSIBLE ROOMS. PROVIDE QUAD PLATE. COORDINATE WHEN TO RECEIVE THE REQUIRED ELECTRICAL WHP AND S.O. CONNECTORS FROM ROLLER SHADE VENDOR FOR PRE-WIRE DURING ROUGH-IN.

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NO.	ISSUED	DATE
1	0 - CLIENT REVIEW	2025-03-07
2	0 - CLIENT REVIEW	2025-05-22
3	BRAND REVIEW P2	2025-06-11
5	BRAND REVIEW 100%	2025-10-01
4	COORDINATION	2025-10-01
6	COORDINATION	2025-11-03
7	COORDINATION	2025-11-17

**SHEET NOTES**

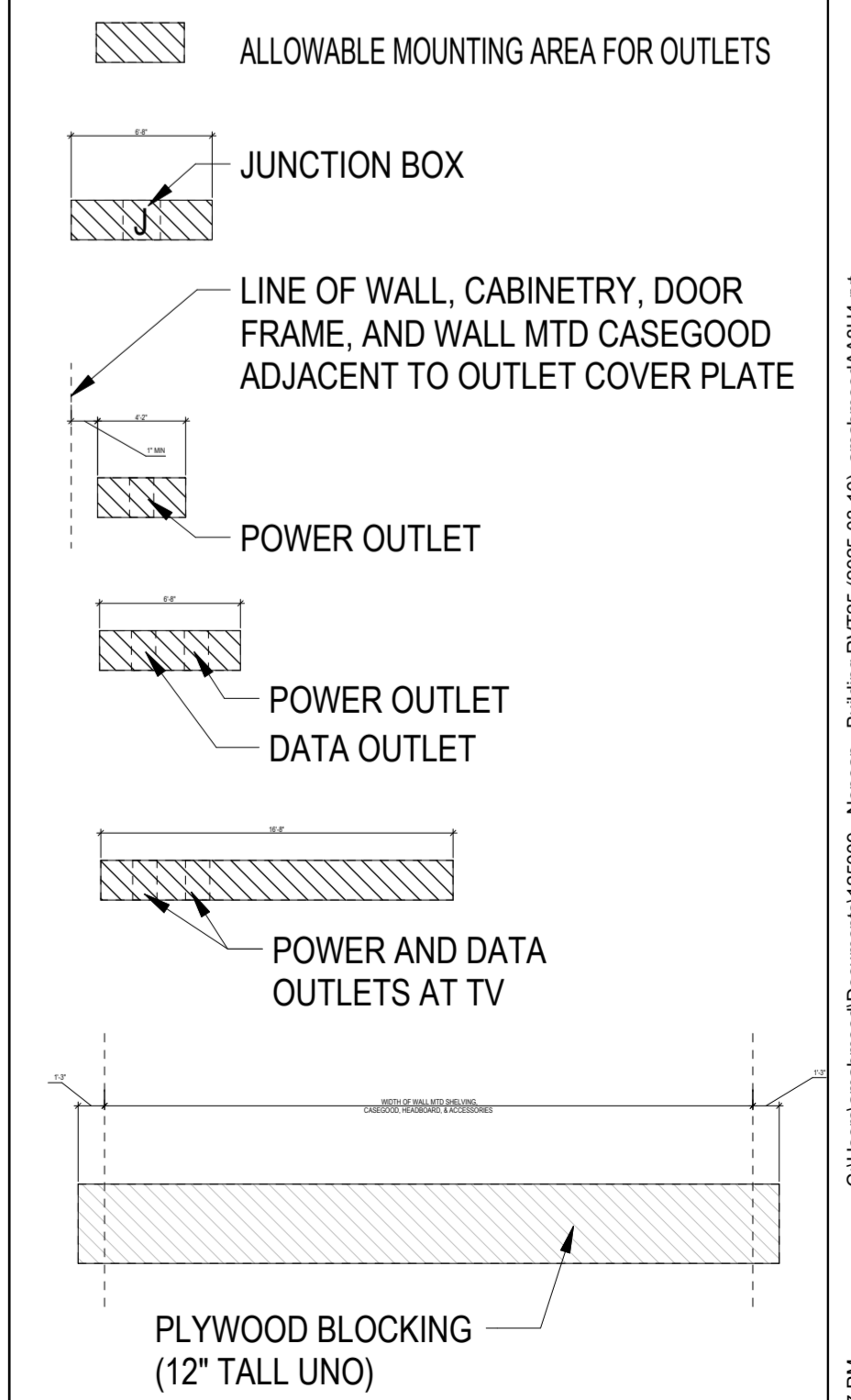
- GFCI WITH INTEGRATED NIGHT LIGHT; REFER TO DESIGN CONNECT FOR LIST OF BRAND-APPROVED DEVICES.
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- GUESTROOM VANITY SHALL BE SELECTED AS RIGHT-HAND (R) OR LEFT-HAND (L). DETERMINATION OF CORRECT ORIENTATION IS BASED ON THE SIDE WHICH FLOOR SUPPORT LOCATES WHEN VIEWED IN ELEVATION. FLOOR SUPPORT TO THE LEFT OF VANITY SHALL BE LEFT-HAND (L) AND RIGHT OF VANITY SHALL BE RIGHT-HAND (R).

**GENERAL NOTES**

- ENLARGED PLAN GENERAL NOTES:**
- REFER TO A002 FOR LEGENDS, SYMBOLS AND ABBREVIATIONS. SEE SHEET A9.00 FOR TYPICAL MOUNTING HEIGHTS.
  - PAINT MAY BE SUBSTITUTED FOR WALLCOVERING WHERE ALLOWED; SEE SPECIFICATIONS AND FINISH / FURNISHINGS VIEWS.
  - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL HEARING IMPAIRED ROOM DEVICES.
  - PROVIDE IN-WALL BLOCKING FOR ALL WALL-HUNG FURNITURE AND EQUIPMENT.

- ENLARGED FINISH/FURNISHING GENERAL NOTES:**
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  - FOR PROJECTS REQUIRING HARDWIRED INTERNET CONNECTION, LOCATE DATA OUTLET UNDER DESK WHERE INDICATED ON INTERIOR ELEVATIONS.
  - REFER TO DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
  - REFER TO A9.02 FOR FLOORING TRANSITION DETAILS.
  - ALL FINISH FLOORING TO EXTEND UNDERNEATH MILLWORK UNLESS NOTED OTHERWISE.
  - ENTRY AREA FLOOR FINISH - FOR VF OPTION, FINISH SHALL BE INSTALLED IN DIRECTION AS SHOWN ON PLAN AT ENTRY AREA. FOR TILE OPTION, FINISH SHALL BE INSTALLED IN SAME DIRECTION AS SHOWN ON PLAN AT BATHROOM AREA. SEE SHEETS ALT.02A AND ALT.02B.

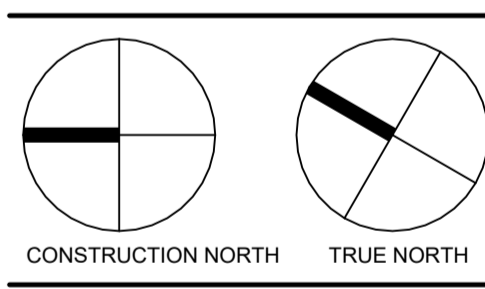
**BLOCKING AND ALLOWABLE MOUNTING AREA**  
BELOW ARE GUIDELINES FOR THE ALLOWABLE ZONE FOR OUTLETS AND EXTENTS OF BLOCKING IN WALLS



DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED ISSUED FOR CONSTRUCTION. VERIFY CONFIGURATIONS AND DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES. CHAMBERLAIN ARCHITECT SERVICES LIMITED AND CHAMBERLAIN CONSTRUCTION SERVICES LIMITED HAVE SIMILAR OWNERSHIP. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS COPYRIGHT. CONSTRUCTING A SUBSTANTIALLY SIMILAR BUILDING WITHOUT PERMISSION MAY INFRINGE THE COPYRIGHT OWNERS RIGHTS. MARKING AND CHANGES TO PLANS DOES NOT CONSTITUTE AN ACKNOWLEDGMENT OF ANY INADEQUACIES OR INADEQUATE INFORMATION. INDEQUATE INFORMATION IS NOT A DEFENSE TO COPYRIGHT INFRINGEMENT. ©

CLIENT: **Owner**

SCALE:



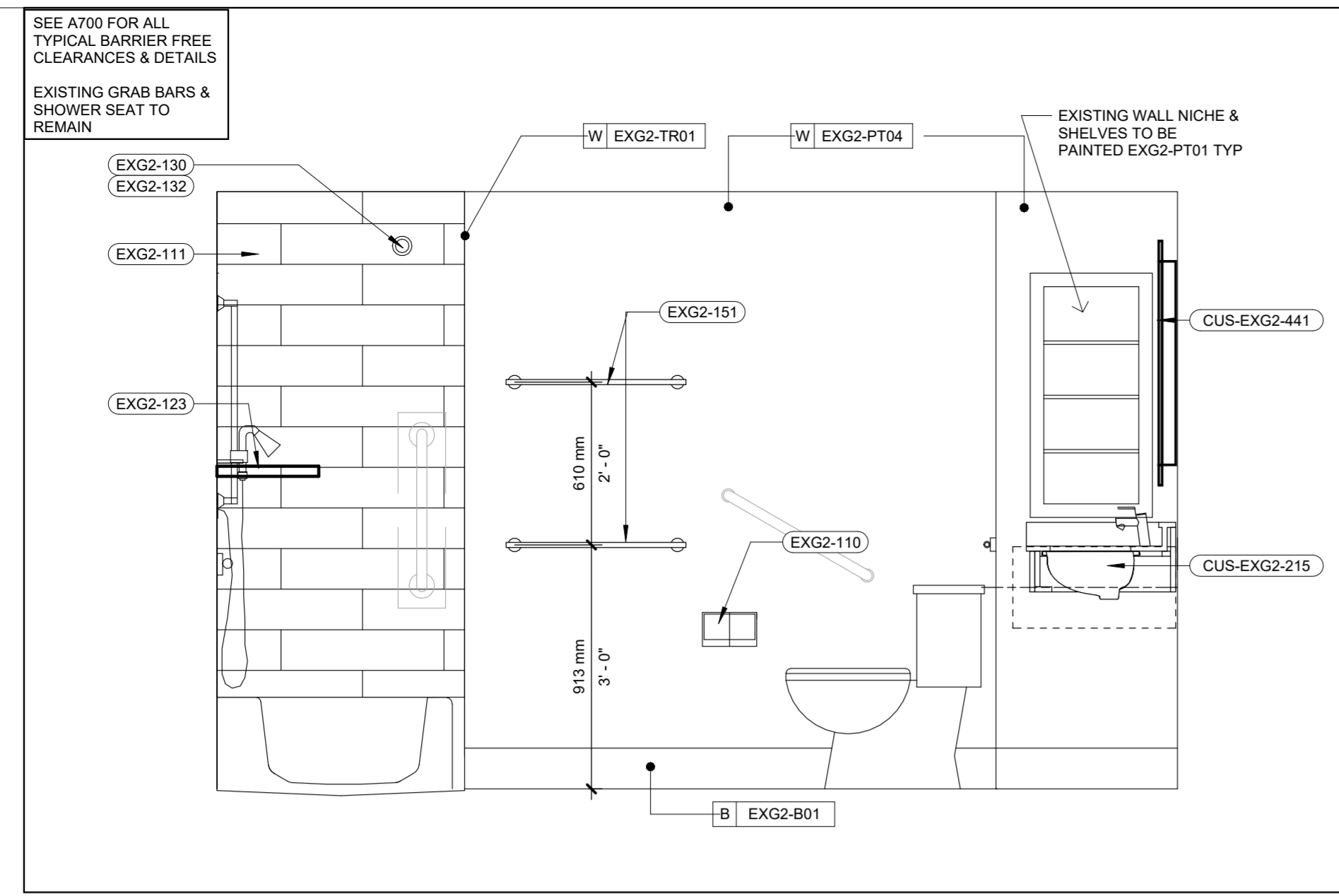
**NEPEAN HOLIDAY INN EXPRESS  
PROTOTYPE v2.2 -  
RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

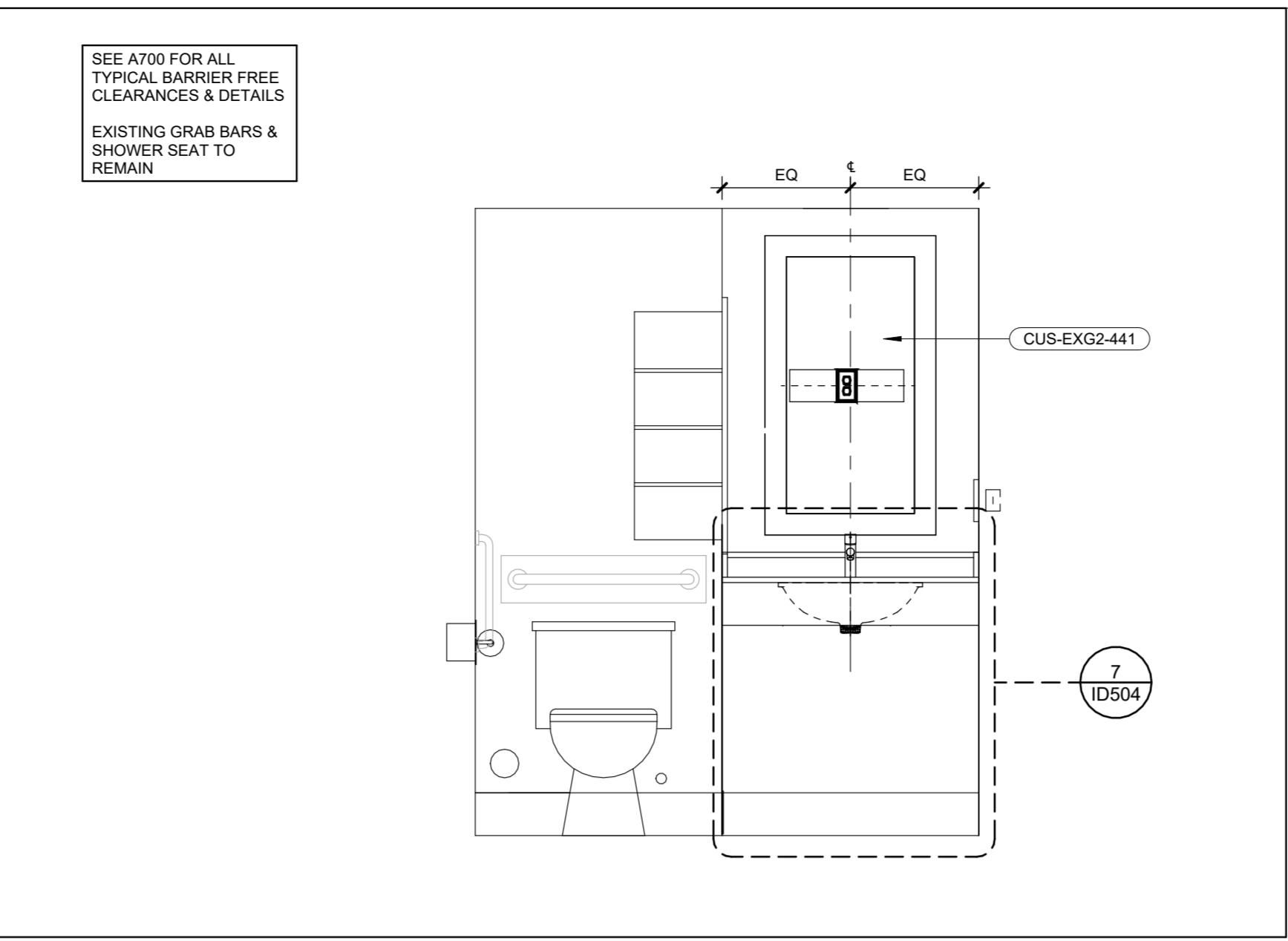
**ENLARGED SUITE -  
WASHROOMS**

START DATE: **JANUARY 2025**  
DRAWN BY: **AM**  
CHECKED BY: **LC**  
SCALE: **As indicated**  
PROJECT NO.: **125009**

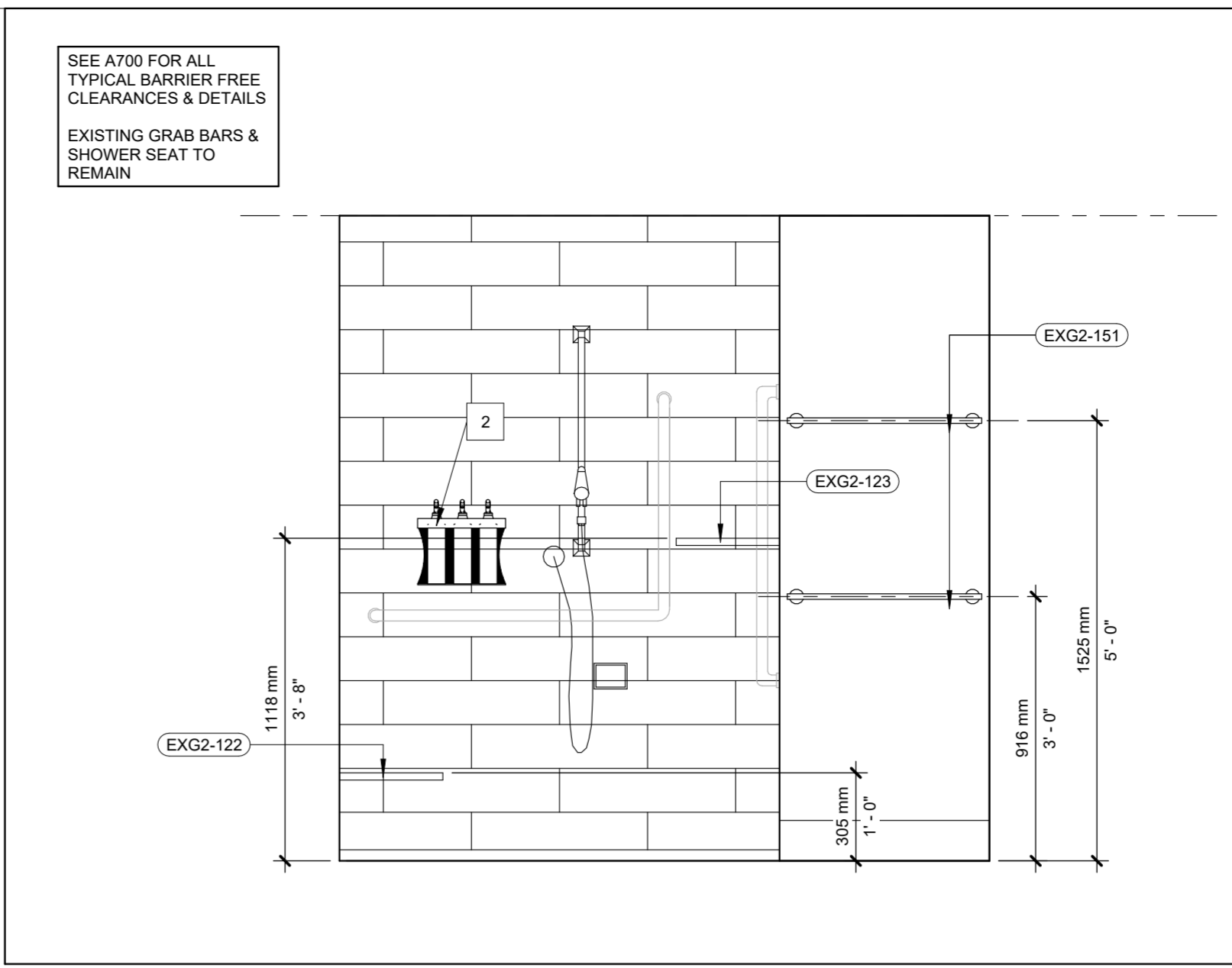
**A715**



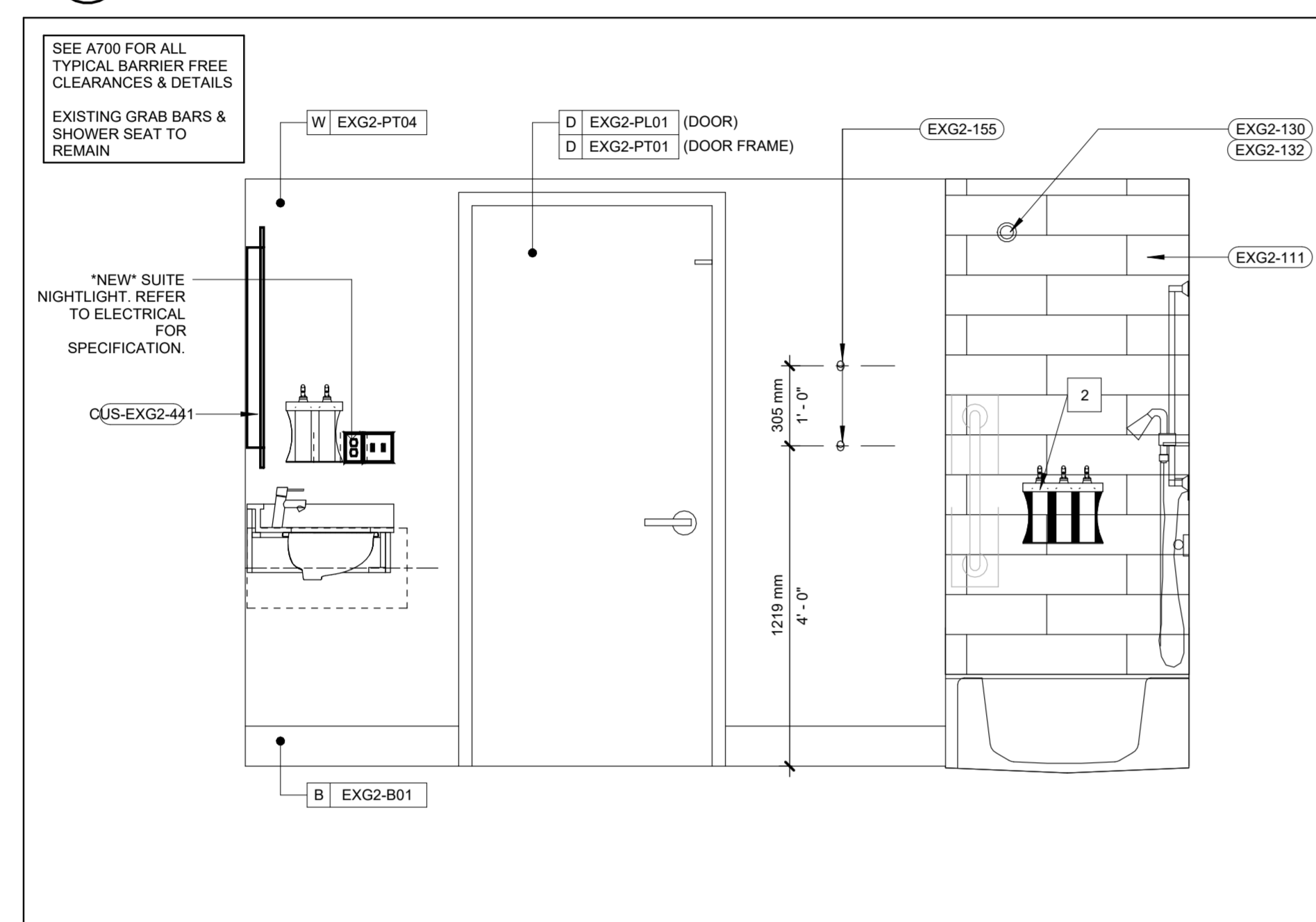
**8 ELEVATION - ACC GUEST WASHROOM W TUB III**  
A715 1 : 20



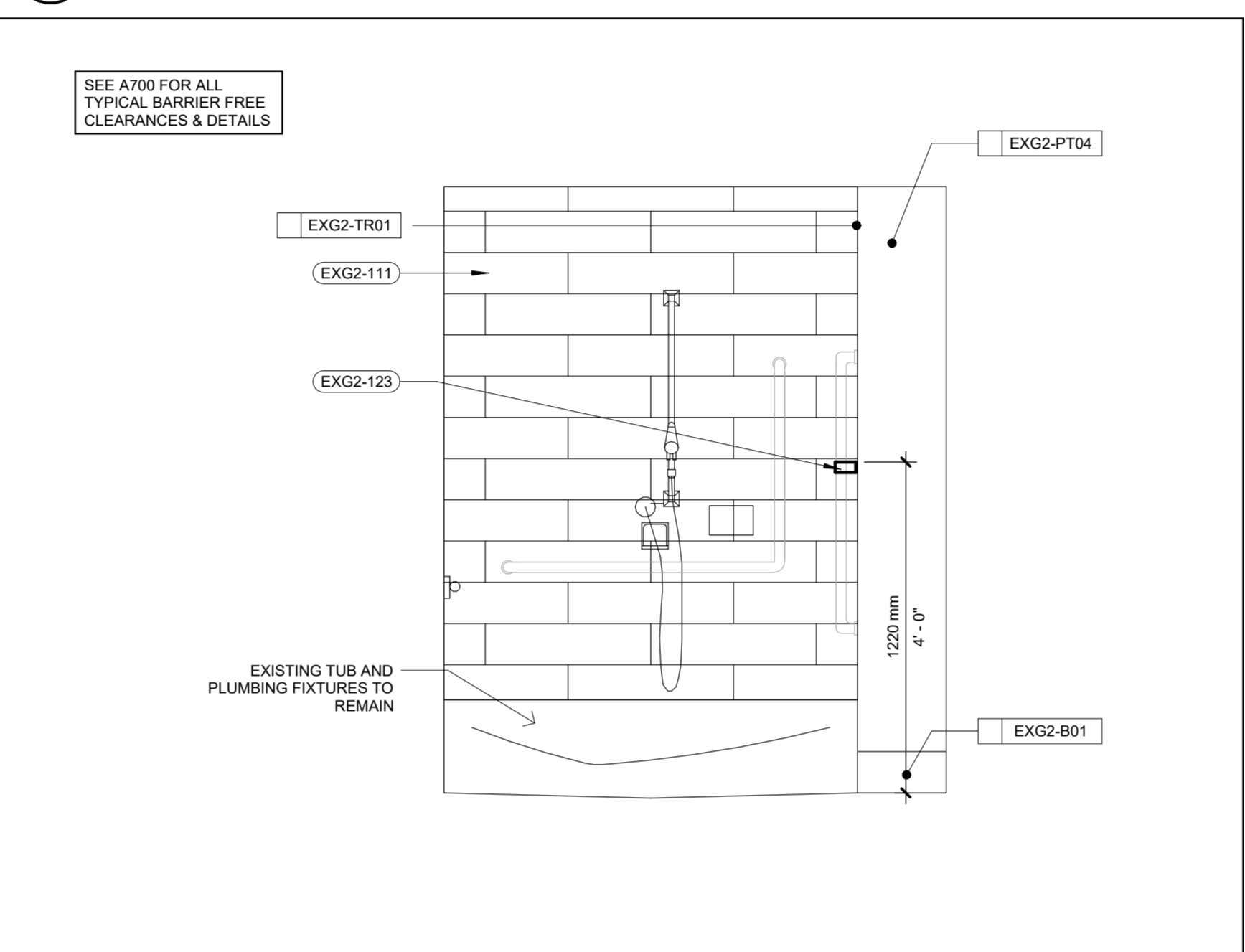
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A715 1 : 20



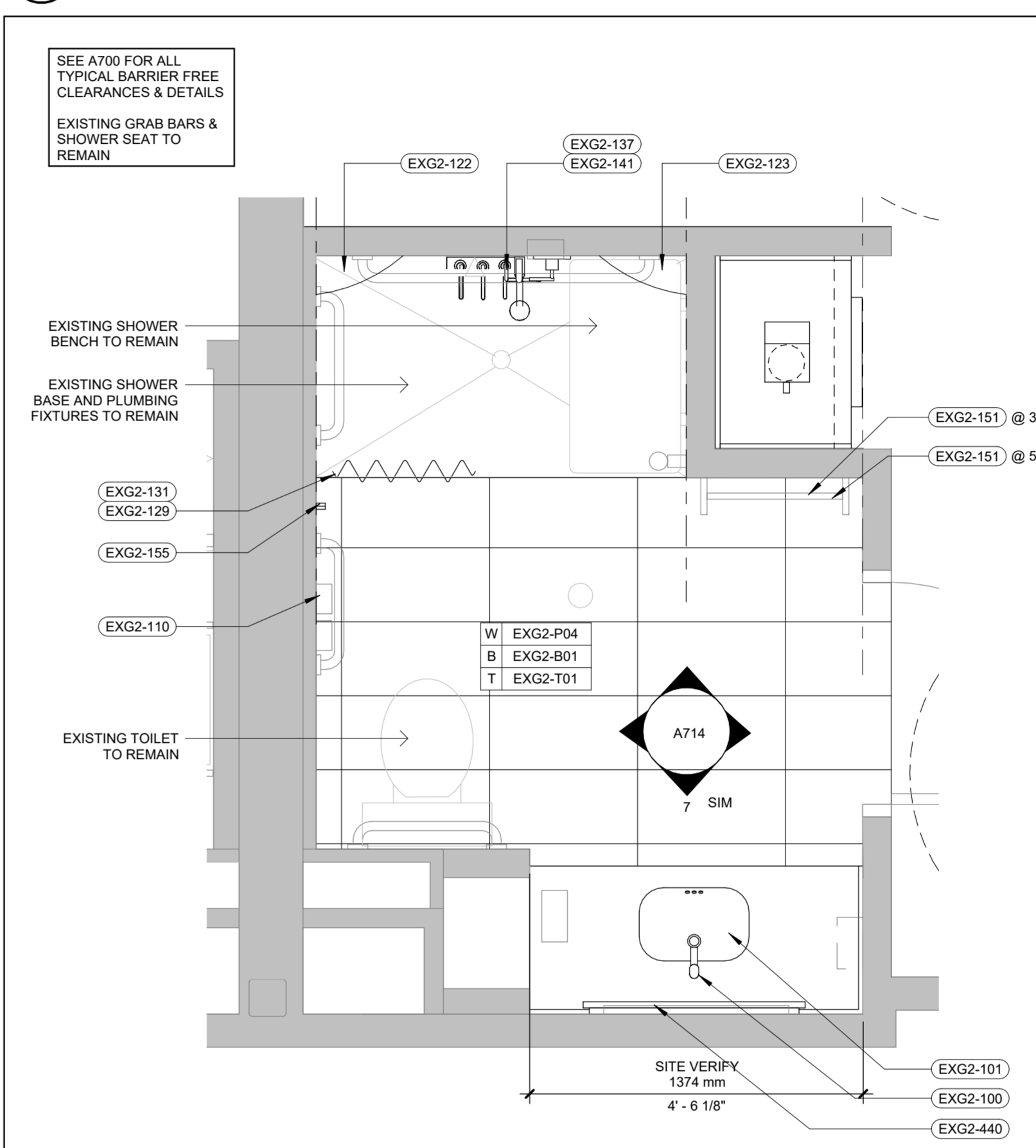
**9 ELEVATION - ACC GUEST WC WITH SHOWER**  
A715 1 : 20



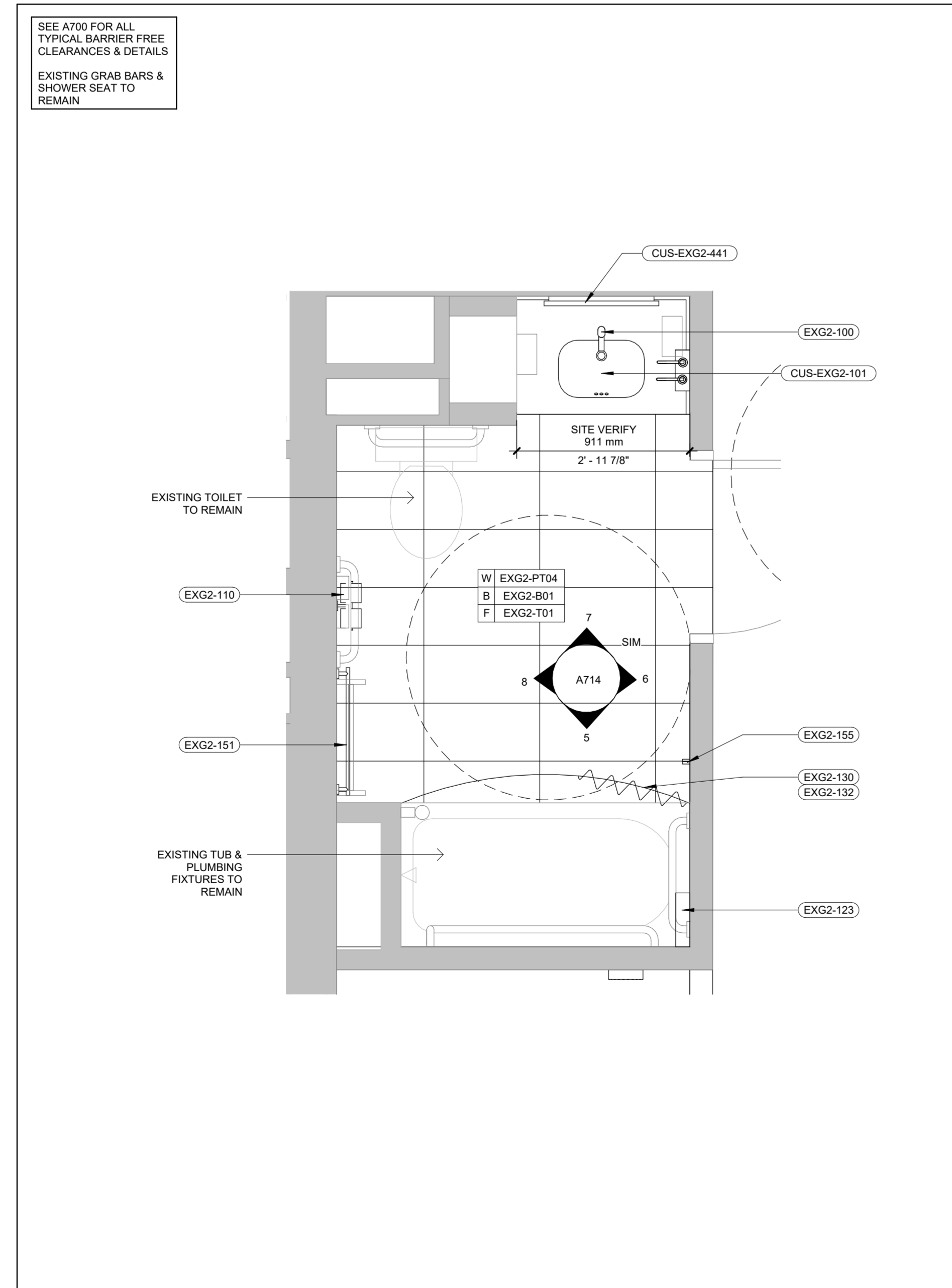
**6 ELEVATION - ACC GUEST WASHROOM W TUB II**  
A715 1 : 20



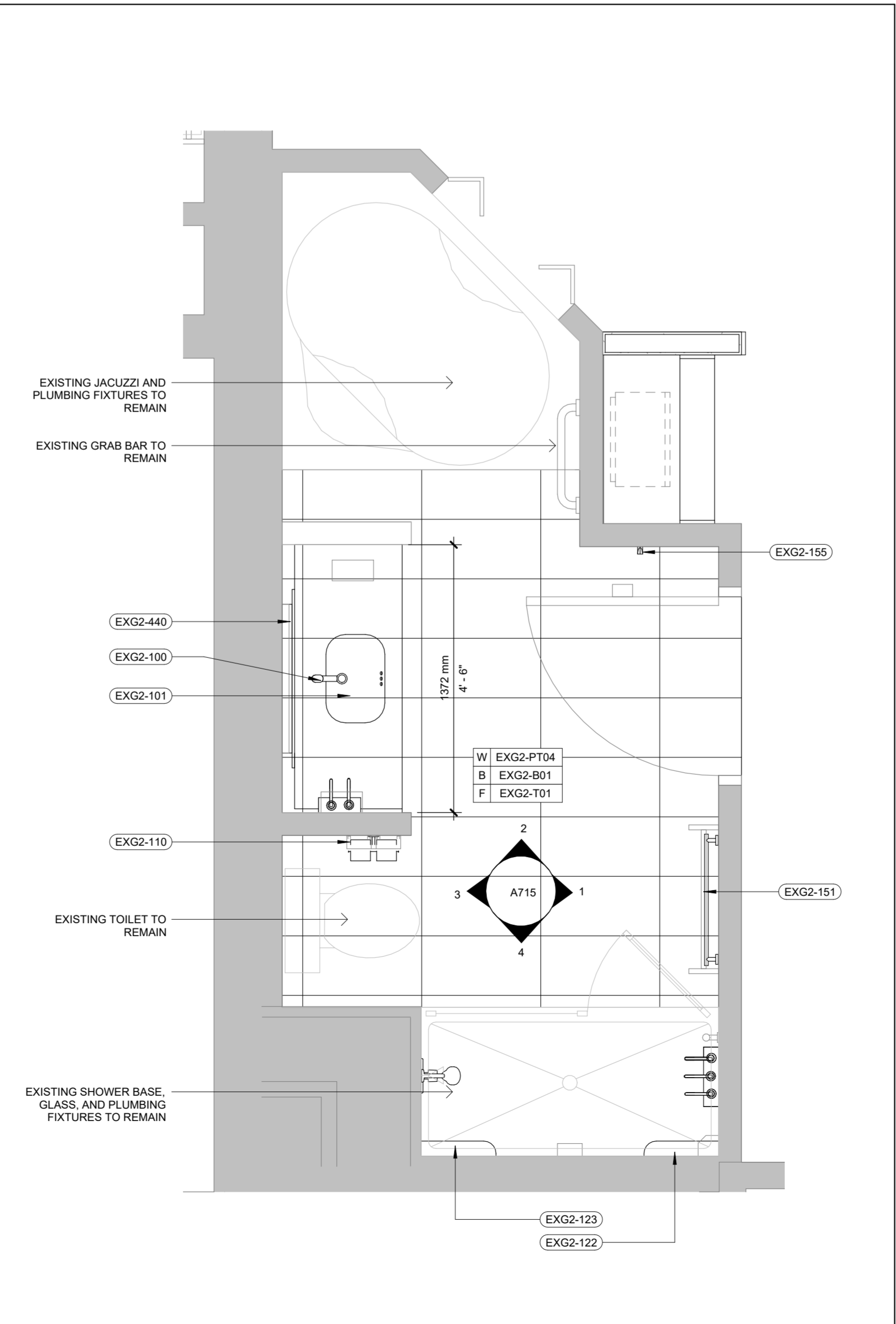
**5 ELEVATION - ACC GUEST WASHROOM W TUB I**  
A715 1 : 20



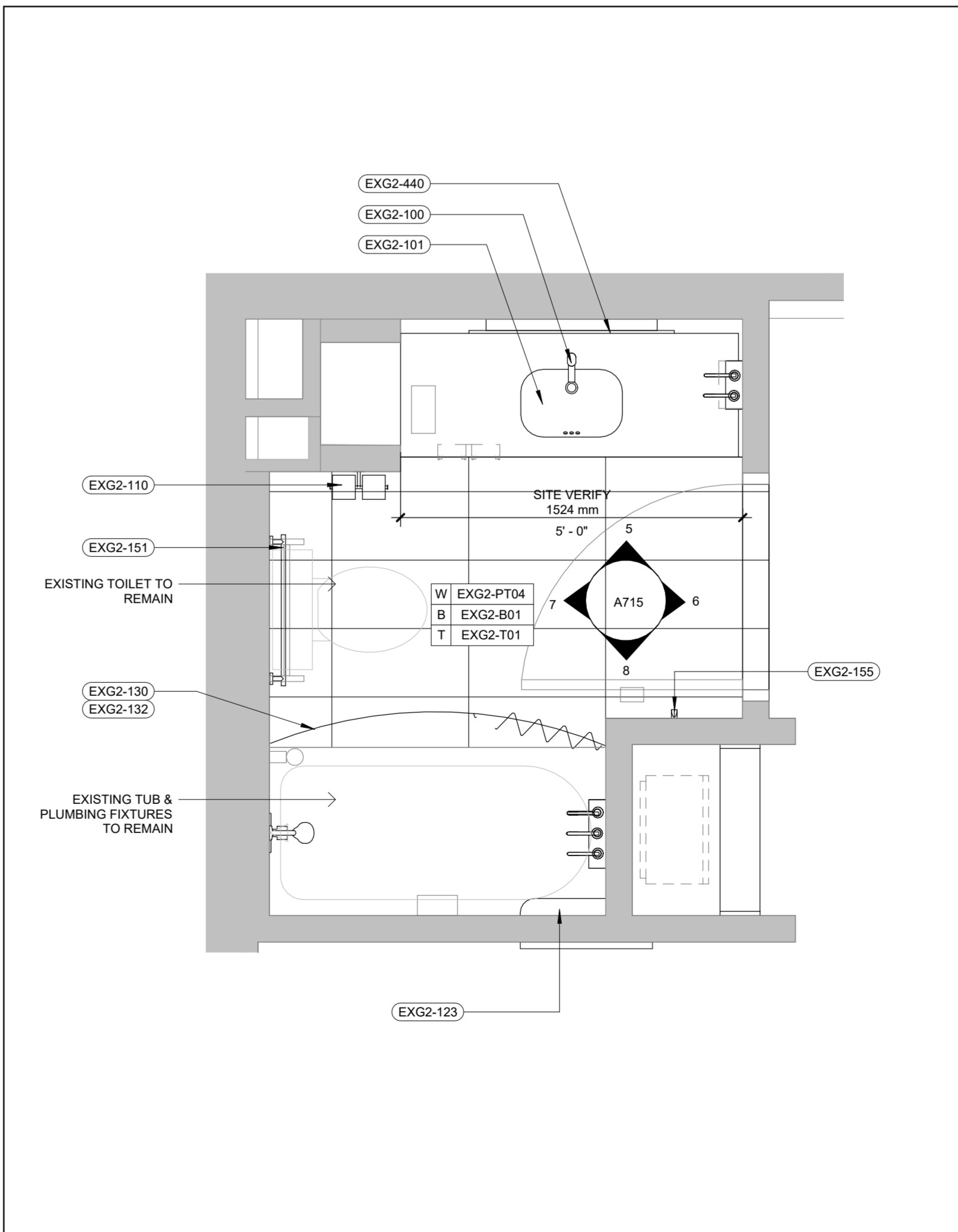
**4 ENLARGED ACC GUEST WC PLAN W SHOWER**  
A715 1 : 20



**3 ENLARGED ACC GUEST WC PLAN W TUB**  
A715 1 : 20



**2 ENLARGED KING JACUZZI WC PLAN**  
A715 1 : 20



**1 ENLARGED STANDARD GUEST WC PLAN**  
A715 1 : 20

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NO.	ISSUED	DATE
1	ID - CLIENT REVIEW	2025-03-07
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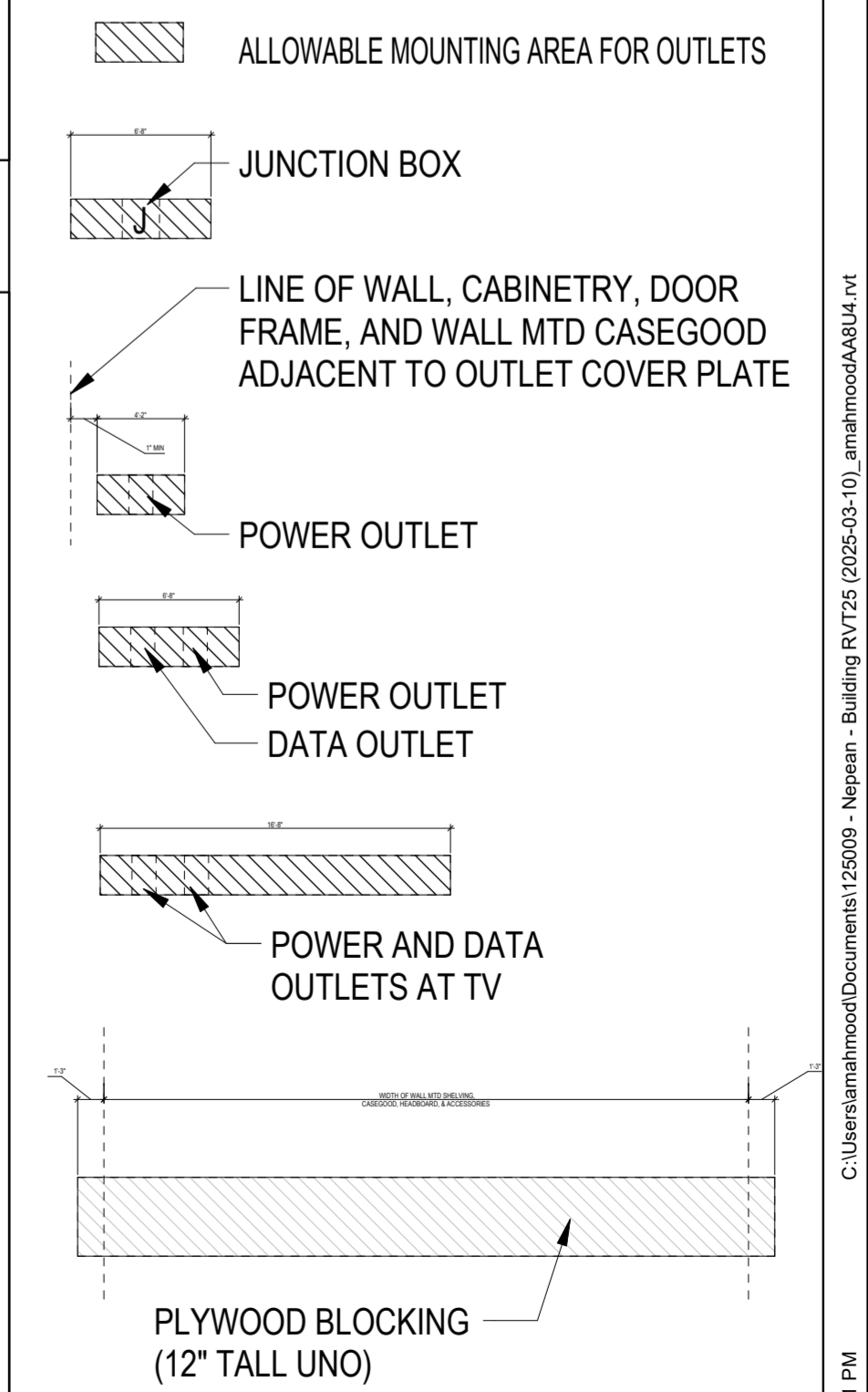
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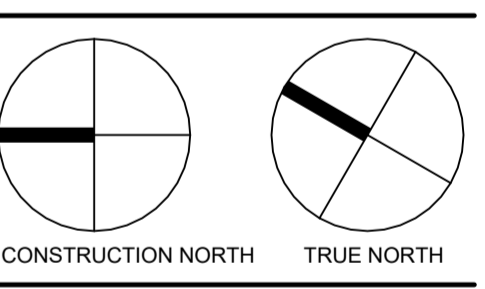
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CLIENT \_\_\_\_\_  
Owner \_\_\_\_\_

SCALE \_\_\_\_\_



**NEPEAN HOLIDAY INN EXPRESS PROTOTYPE v2.2 - RENO**

2055 ROBERTSON ROAD,  
NEPEAN, ON K2H 5Y9

SHEET NAME \_\_\_\_\_

**ENLARGED SUITE - WASHROOMS**

START DATE JANUARY 2025

DRAWN BY AM

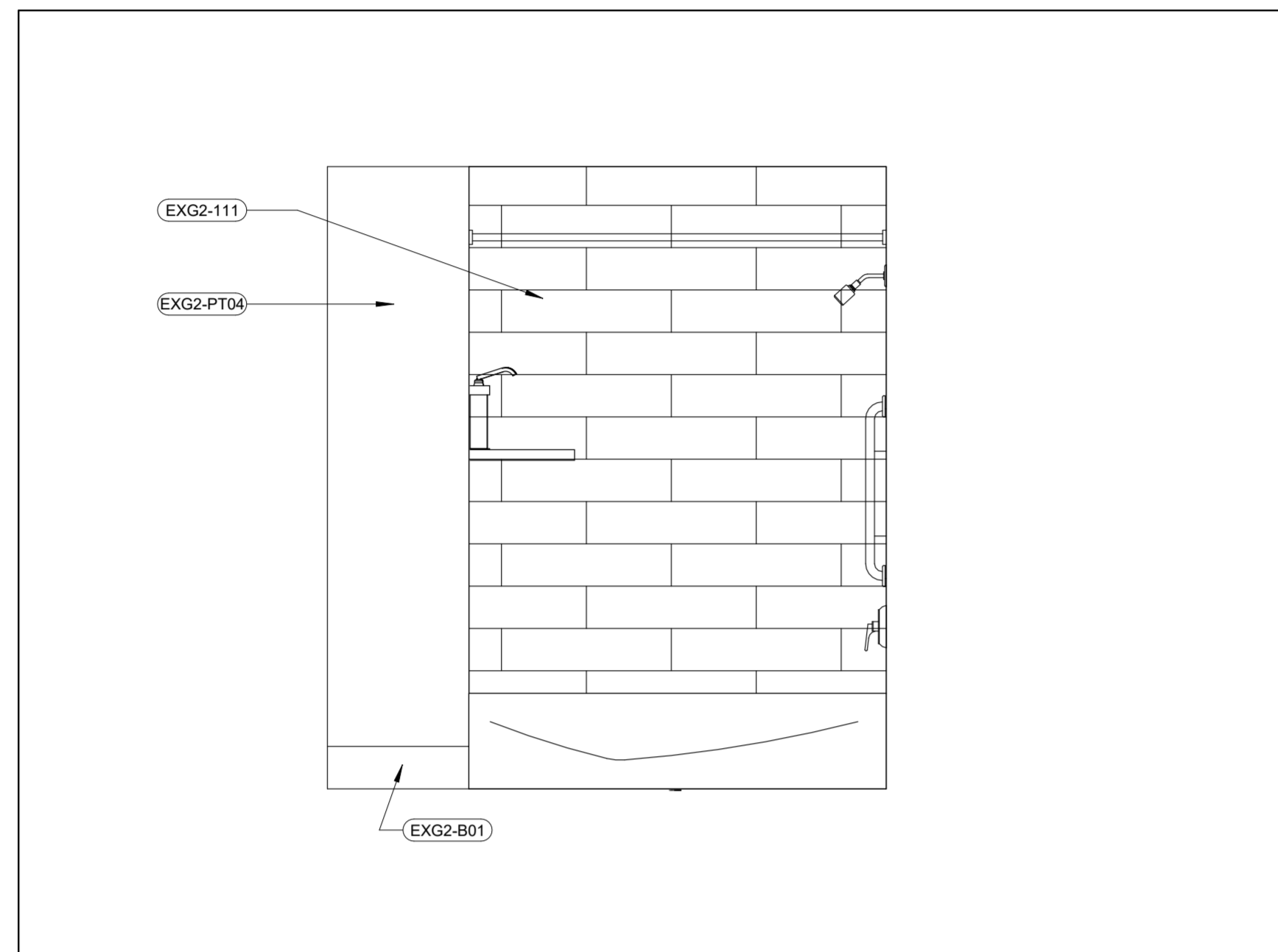
CHECKED BY LC

SCALE As indicated

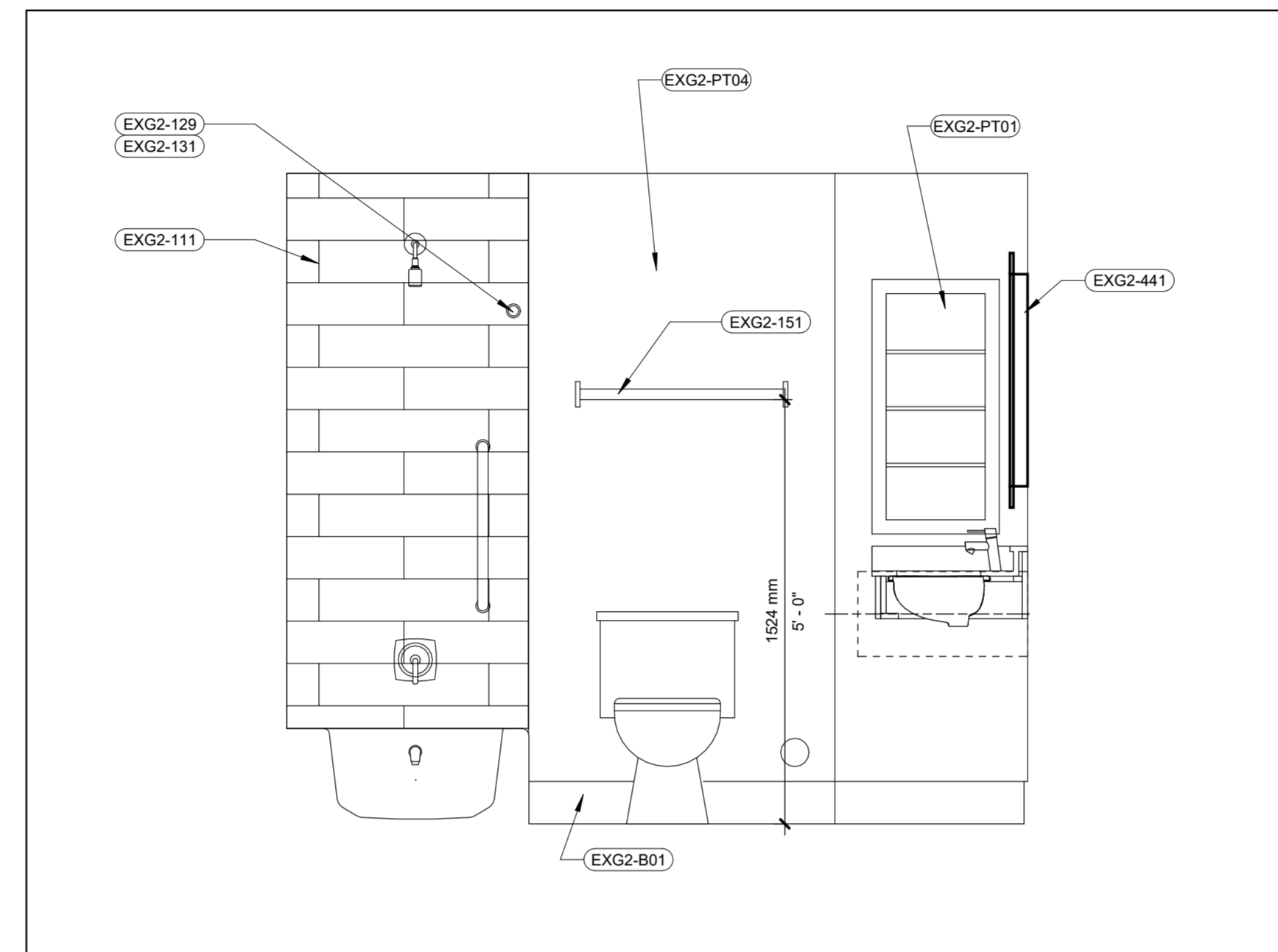
PROJECT NO. 125009

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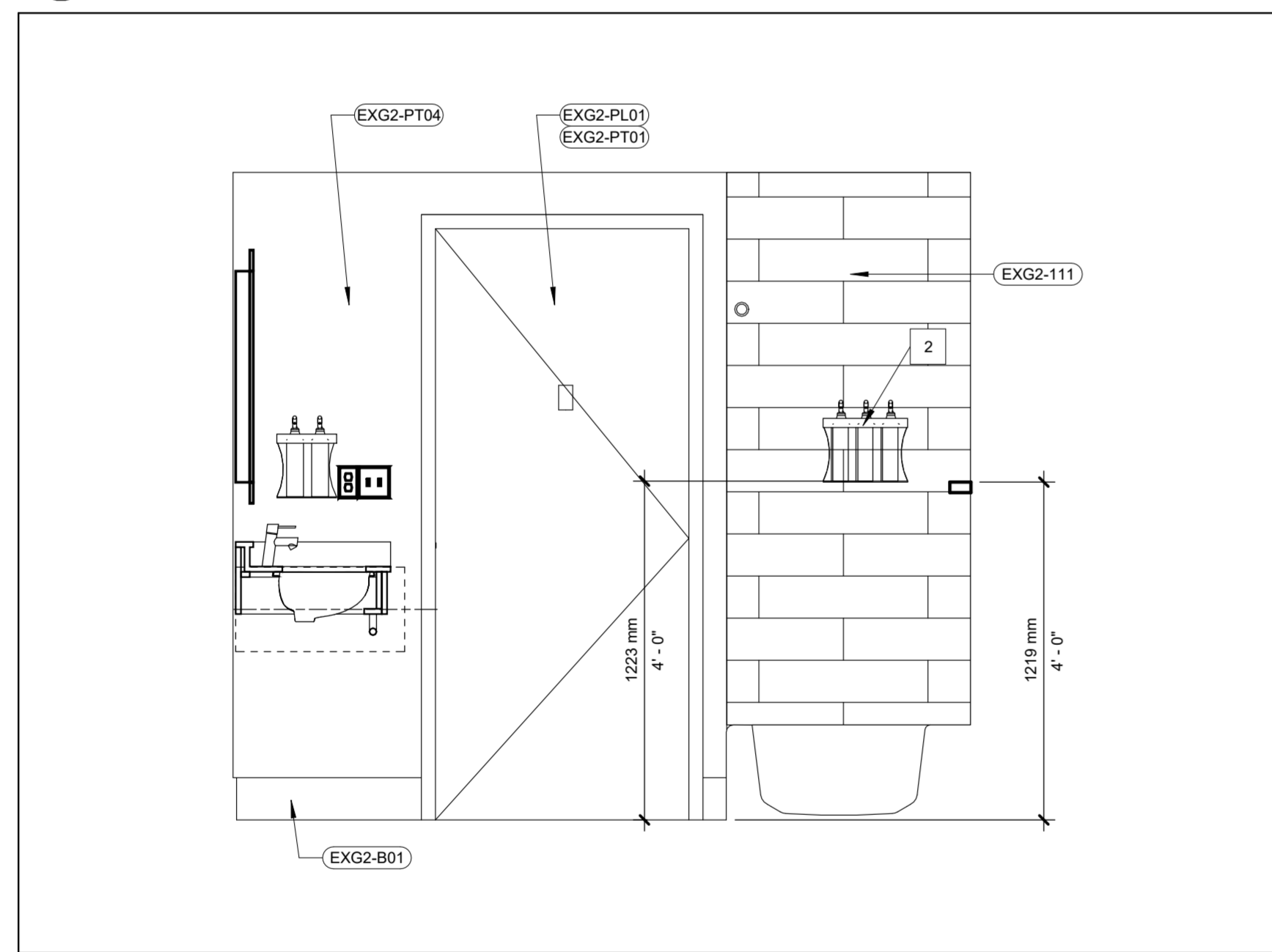
**A716**



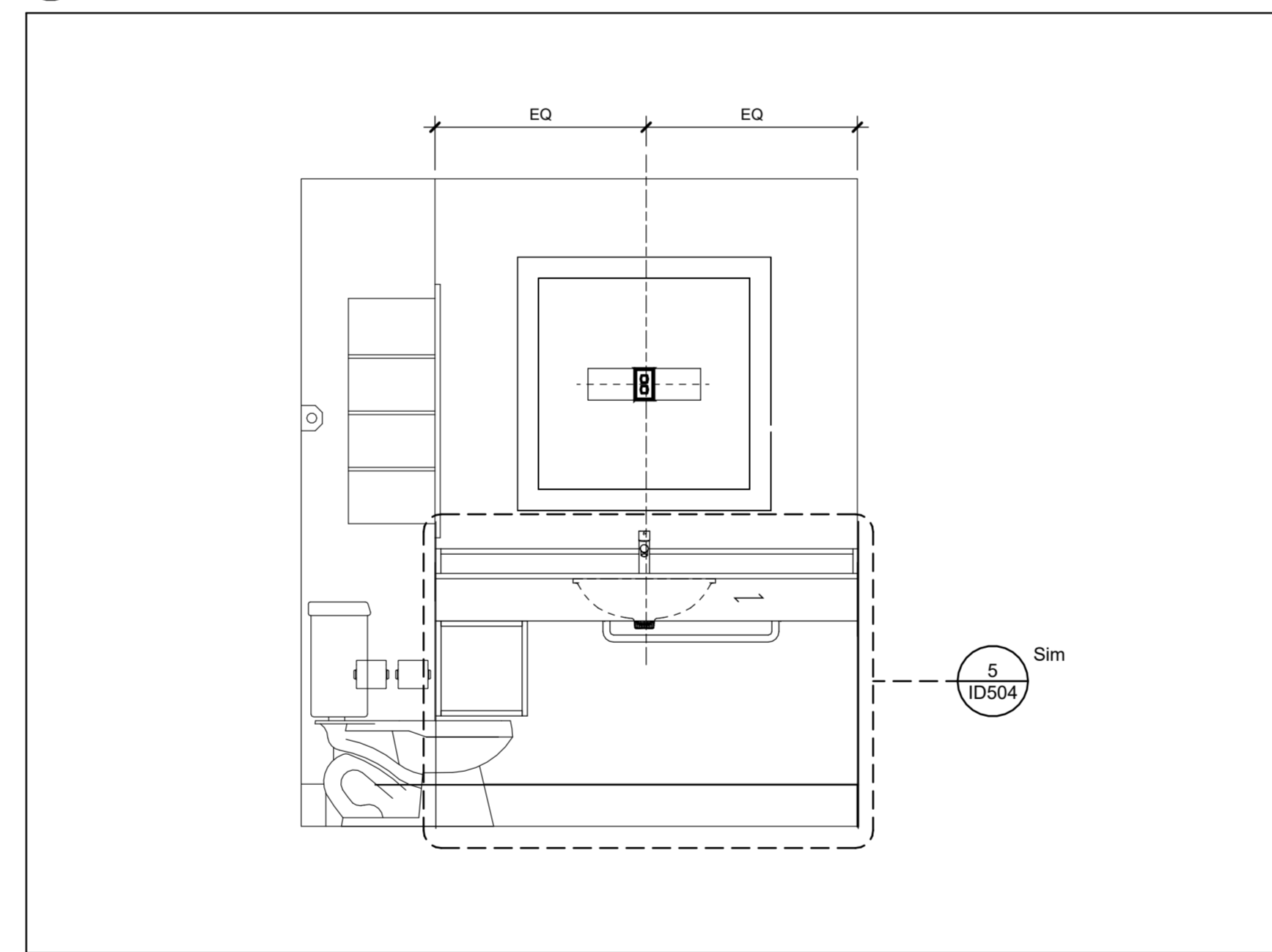
**8 ELEVATION - STANDARD GUEST WR III**  
A716 1:20



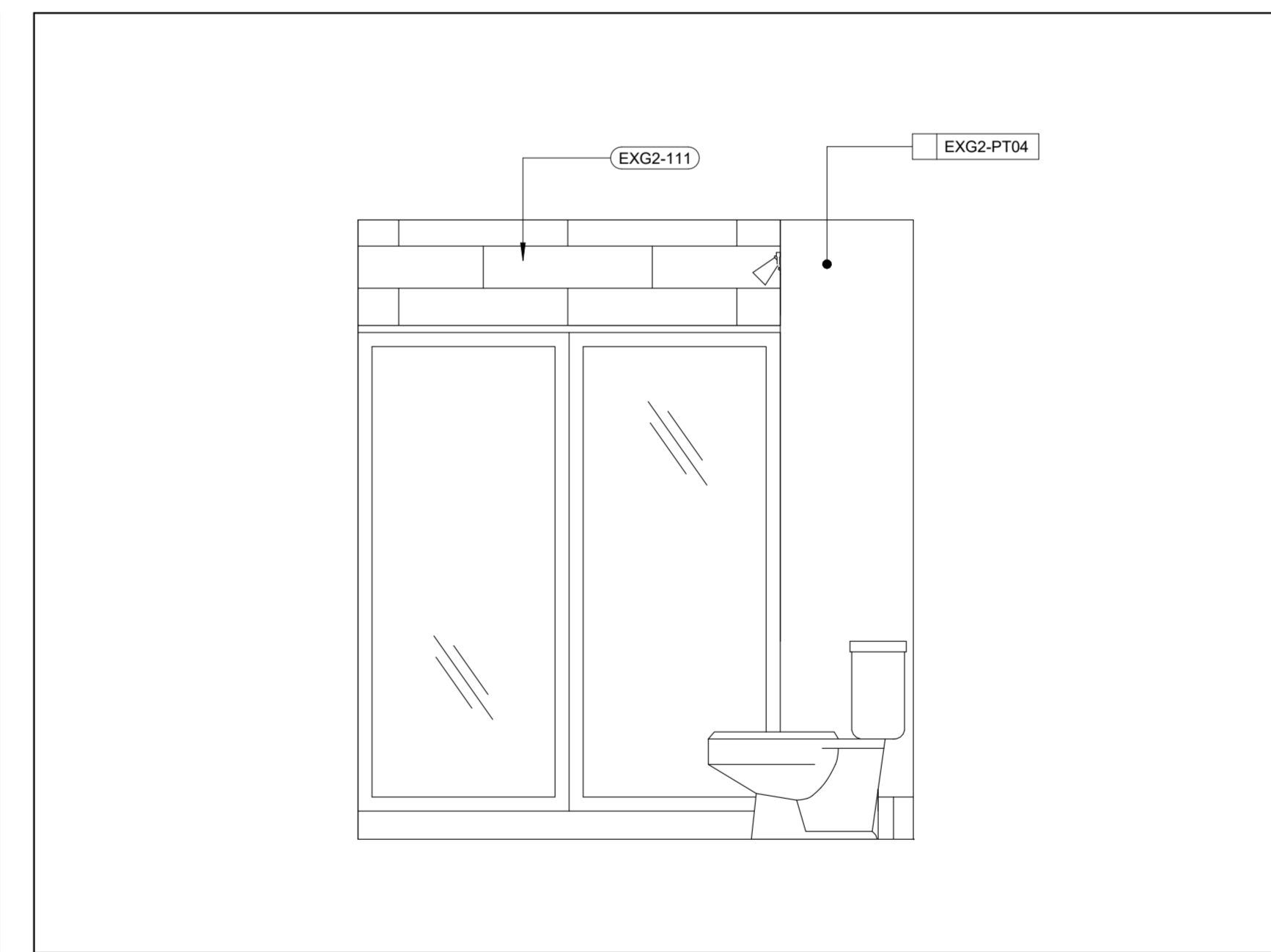
**7 ELEVATION - STANDARD GUEST WR III**  
A716 1:20



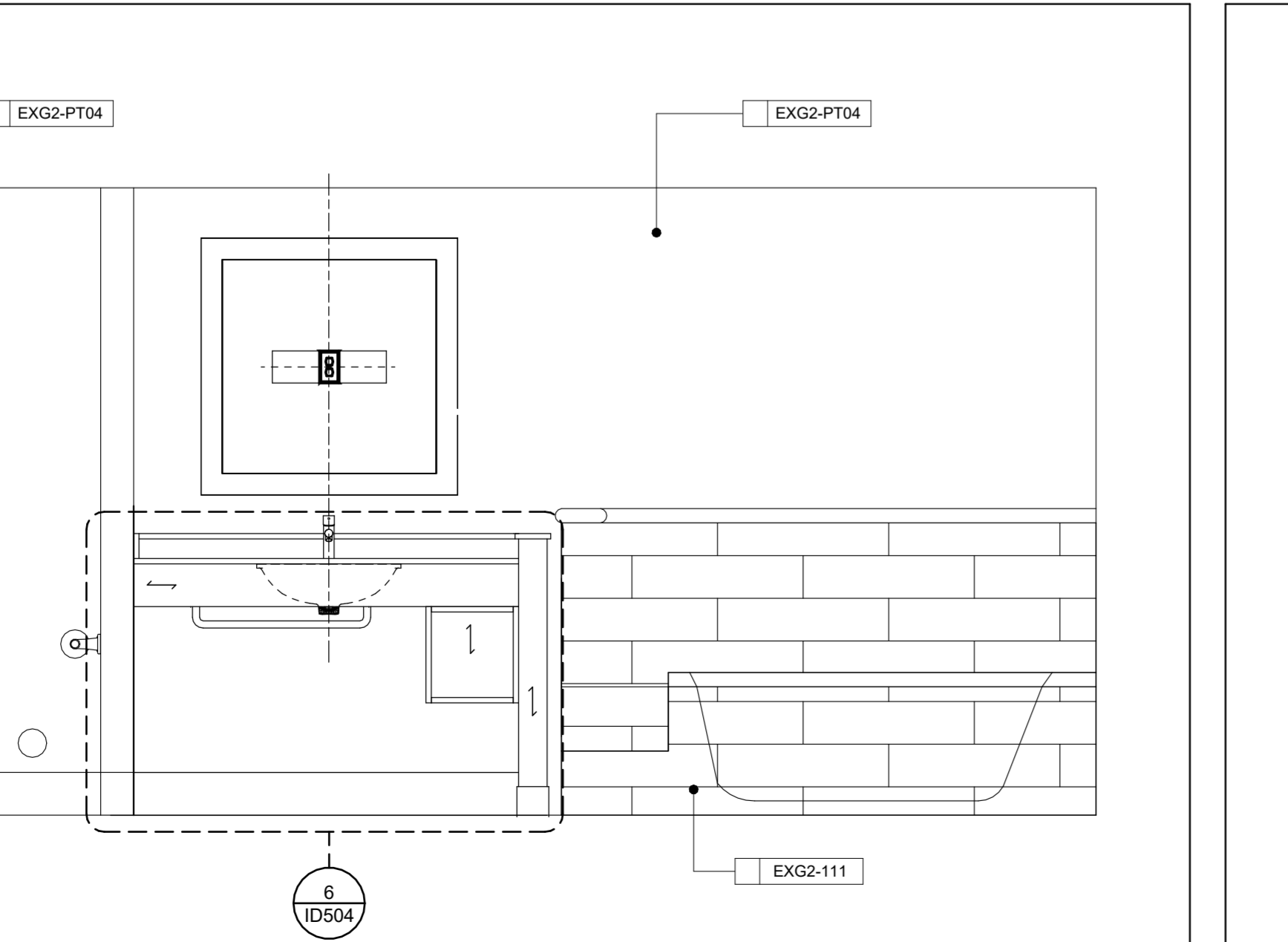
**6 ELEVATION - STANDARD GUEST WR II**  
A716 1:20



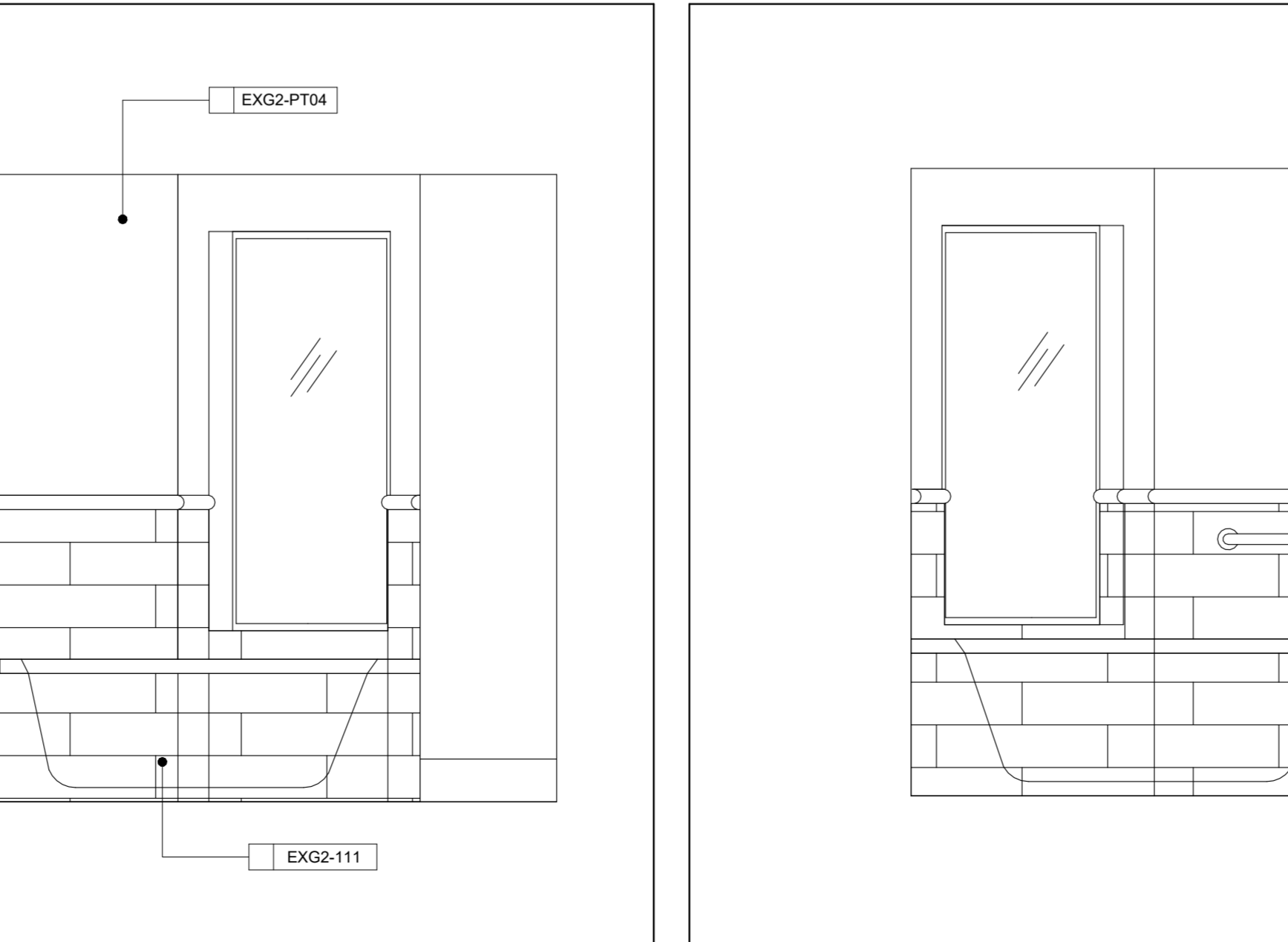
**5 ELEVATION - STANDARD GUEST WR I**  
A716 1:20



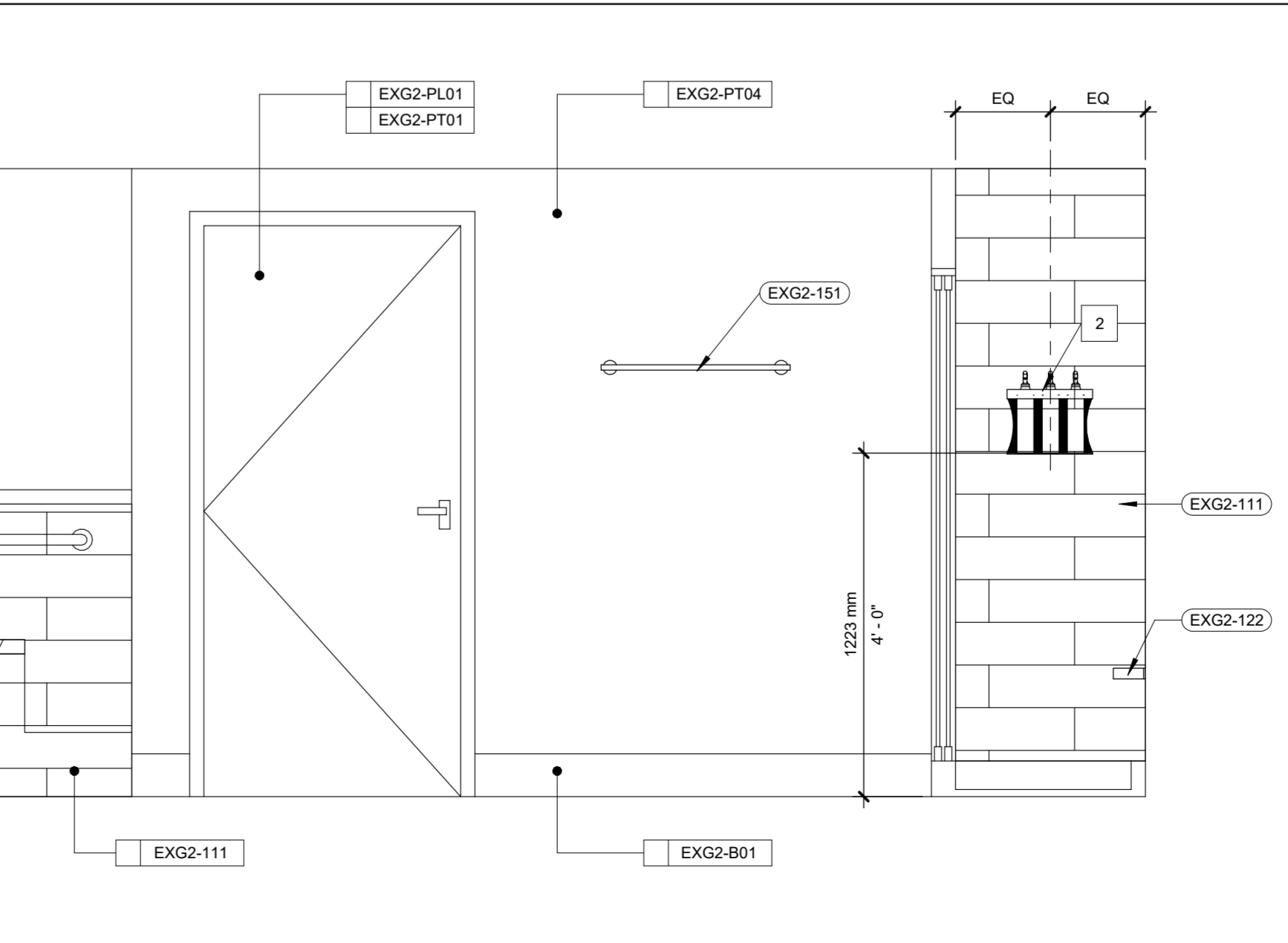
**4 ELEVATION - KING JACUZZI WR III**  
A716 1:20



**3 ELEVATION - KING JACUZZI WR III**  
A716 1:20



**2 ELEVATION - KING JACUZZI WR II**  
A716 1:20



**1 ELEVATION - KING JACUZZI WR I**  
A716 1:20

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**GENERAL NOTES:**

1. ALL WORKS AND MATERIALS SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS), WHERE APPLICABLE.
2. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES AND STRUCTURES TO BE CONNECTED TO AND EXISTING SERVICES THAT MAY BE DAMAGED OR CAUSE CONFLICTS PRIOR TO CONSTRUCTION OF ANY NEW SEWER, WATER AND/OR STORM WATER WORKS. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION, ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.
4. ALL ELEVATIONS ARE GEODETIC AND UTILIZE METRIC UNITS. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED. ALL DRAWINGS SHOULD NOT BE SCALED BY THE CONTRACTOR. ANY MISSING OR QUESTIONABLE DIMENSIONS ARE TO BE CONFIRMED WITH THE ENGINEER IN WRITING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED RELATED TO CONSTRUCTION ACTIVITIES AND BEAR COST OF THE SAME.
6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE "OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS", THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTOR AS DEFINED IN THE ACT.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND REINSTATEMENT OF ALL AREAS DISTURBED DURING CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER, THE CITY OF OTTAWA AND THE AUTHORITY HAVING JURISDICTION.
8. ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF OTTAWA REQUIREMENTS FOR TRAFFIC CONTROL WHEN WORKING ON CITY STREETS. ALL CONSTRUCTION SIGNAGE MUST CONFORM TO THE M.T.O. BOOK 7 AND T.A.C MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST AMENDMENT).
10. THE SUPPORT OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
11. THERE WILL BE NO SUBSTITUTION OF MATERIALS UNLESS WRITTEN APPROVAL BY THE ENGINEER HAS BEEN OBTAINED.
12. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE. REMOVALS MUST BE DONE AS PER THE EXCESS SOIL REGULATIONS.
13. THE SITE LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR. AS-BUILT SITE SERVICING & GRADING DRAWINGS SHALL BE MAINTAINED ON SITE BY THE CONTRACTOR AND SHALL BE PROVIDED TO THE ENGINEER UPON COMPLETION OF THE SITE WORK ACTIVITIES.
14. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH ENGINEER AND THE CITY OF OTTAWA PRIOR TO ANY TREE CUTTING.
15. ALL EDGES OF DISTURBED PAVEMENT SHALL BE SAW CUT TO FORM A NEAT AND STRAIGHT LINE PRIOR TO PLACING NEW PAVEMENT.
16. FOR GEOTECHNICAL INFORMATION REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY WSP CANADA INC, DATED OCTOBER 20, 2025.
17. DO NOT CONSTRUCT USING DRAWINGS THAT ARE NOT MARKED "ISSUED FOR CONSTRUCTION".
18. FOR TOPOGRAPHICAL INFORMATION REFER TO PLAN PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED AUGUST 29, 2025.
19. CIVIL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPE AND LEGAL DRAWINGS.

**STORM SEWER NOTES**

1. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. ALL PVC STORM SEWERS ARE TO BE SDR 35 APPROVED PER C.S.A. B182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.
3. SEWER BEDDING AS PER CITY STANDARD S6 & S7.
4. WITHIN THE FROST ZONE, THE BACKFILL IN THE SERVICE TRENCHES SHOULD MATCH THE SOIL ON SIDES TO MINIMIZE DIFFERENTIAL FROST HEAVING IN THE SUBGRADE.
5. MINIMUM SOIL COVER TO BE 2.1m TO PROTECT SEWERS FROM FROST DAMAGE. IN AREAS WHERE ADEQUATE FROST COVER CANNOT BE ACHIEVED, EQUIVALENT THERMAL INSULATION TO BE INSTALLED AS PER OPSD 514.010 AND CITY OF OTTAWA STANDARD S35.
6. SINGLE AND DOUBLE CATCHBASINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. S1. AND OPSD 705.020, RESPECTIVELY. FRAMES AND GRATE SHALL BE AS PER CITY OF OTTAWA STD. S19 FOR REAR LOT CATCHBASINS, AND STREET CATCHBASINS.
7. SINGLE AND DOUBLE CATCHBASIN LEADS SHALL BE 200mmØ AND 250mmØ (MIN) RESPECTIVELY, 1.0% SLOPE (MIN.) UNLESS OTHERWISE NOTED.
8. ALL CATCHBASINS AND CATCHBASIN MANHOLES SHALL HAVE SUMPS WITH 300m DEPTH, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL ENSURE THAT CATCHBASINS ARE INSTALLED AT THE LOW POINT OF SAG CURB WORKS.
10. THE STORM SEWER CLASSES HAVE BEEN DESIGNED BASED ON BEDDING CONDITIONS SPECIFIED. WHERE THE SPECIFIED TRENCH WIDTH IS EXCEEDED, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADDITIONAL BEDDING, A DIFFERENT TYPE OF BEDDING OR A HIGHER PIPE STRENGTH AT HIS OWN EXPENSE AND SHALL ALSO BE RESPONSIBLE FOR EXTRA TEMPORARY AND/OR PERMANENT REPAIRS MADE NECESSARY BY THE WIDENED TRENCH.
11. THE CONTRACTOR SHALL CONDUCT CCTV INSPECTION OF ALL NEWLY INSTALLED STORM SEWERS AND EXISTING SEWERS CONNECTED TO. THE TEST SHALL BE PERFORMED IMMEDIATELY AFTER SEWERS INSTALLED.

**WATERMAIN NOTES**

1. ALL WATERMAIN MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS).
2. NO WORK SHALL COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE. WATERMAIN CONNECTIONS BY CITY OF OTTAWA FORCES WITH ALL EXCAVATION BACKFILL AND ROAD REINSTATEMENT BY CONTRACTOR.
3. ALL PVC WATERMANS SHALL BE EQUAL TO AWWA C-900 CLASS 150, SDR 18, OR APPROVED EQUAL.
4. WATERMANS TRENCH AND BEDDING SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD W17, UNLESS OTHERWISE SPECIFIED. BEDDING AND COVER MATERIAL SHALL BE SPECIFIED BY PROJECT GEOTECHNICAL ENGINEER.
5. ALL PVC WATERMANS SHALL BE INSTALLED WITH A 10 GAUGE STRANDED COPPER TWU OR RWU TRACER WIRE IN ACCORDANCE WITH CITY OF OTTAWA STD. W36.

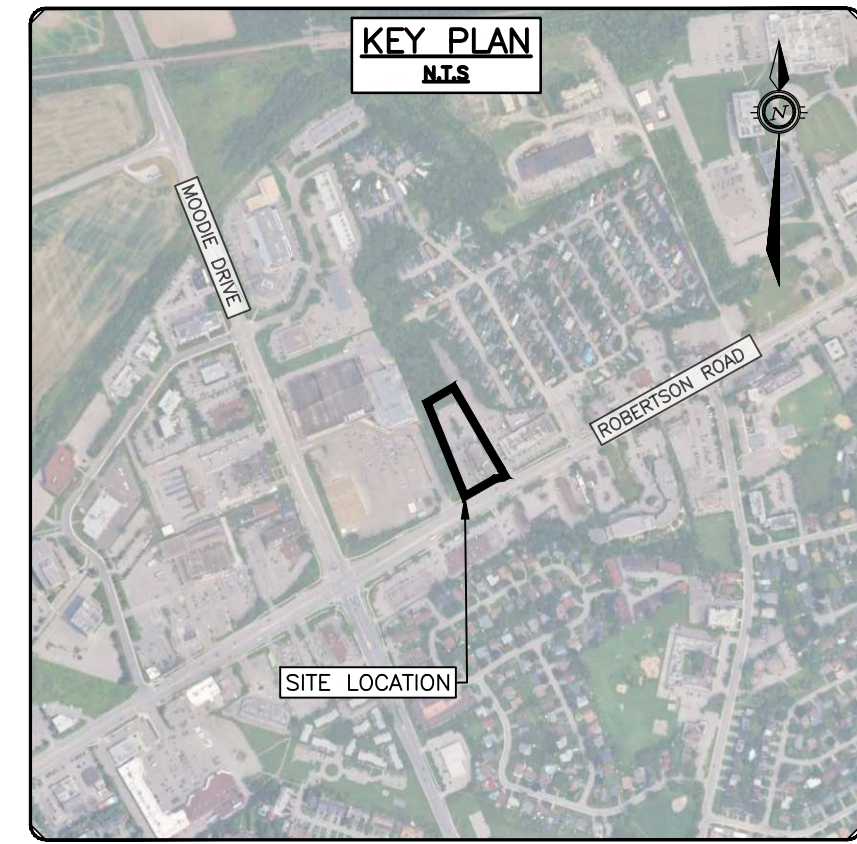
6. CATHODIC PROTECTION IS REQUIRED ON ALL METALLIC FITTINGS AS PER CITY OF OTTAWA STD. W40 AND W42.
7. VALVE BOXES SHALL BE INSTALLED AS PER CITY OF OTTAWA DETAIL W24.
8. ALL FIRE HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W19 AND LOCATED AS PER CITY STANDARD W18 AND/OR CITY STANDARD CROSS SECTIONS.
9. ALL WATERMANS TO BE INSTALLED AT MINIMUM COVER OF 2.4m. WHERE MIN. FROST COVER CAN NOT BE ACHIEVED, PROVIDE THERMAL INSULATION PER CITY OF OTTAWA STANDARD DETAIL W22.
10. THRUST BLOCKS AND RESTRAINT AS PER CITY OF OTTAWA DWGS: W25.3 AND W25.4, W25.5 AND W25.6.
11. IF WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS LESS THAN HALF THAT RECOMMENDED BY THE MANUFACTURER.
12. SWABBING, FLUSHING, DISINFECTION AND PRESSURE TESTING OF WATERMAIN TO BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS.
13. WATER METERS TO BE INSTALLED AS PER W30 FOR WATER SERVICES.
14. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CAPS, PLUGS AND BLOW-OFFS AND NOZZLES REQUIRED FOR TESTING AND DISINFECTION OF THE WATERMAIN.
15. INSULATION FOR WATERMAIN CROSSING OVER AND BELOW SEWER SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. W25.2 AND W25, RESPECTIVELY, WHERE WATERMAIN COVER IS LESS THAN 2.4m.
16. WHERE THE SEPARATION BETWEEN SERVICES AND MANHOLES IS LESS THAN 2.4m, WATER SERVICES ARE TO BE INSULATED AS PER CITY OF OTTAWA STD. W23.
17. AS PER CITY GUIDELINE, THE MINIMUM VERTICAL CLEARANCE BETWEEN WATERMAIN AND SEWER / UTILITY IS 0.25M FOR CROSSING OVER THE SEWER, AS PER CITY STD W25.2. FOR CROSSING UNDER SEWER, THE MINIMUM VERTICAL CLEARANCE IS 0.50M AS PER CITY STD. W25. FOR CROSSING UNDER SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWERS IS REQUIRED TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING. THE LENGTH OF WATER PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.

**ROADWAY SPECIFICATIONS**

1. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE STRIPPED WITHIN THE ROAD ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONCRETE CURB SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. SC1.1(BARRIER CURB) AND SC1.3 (MOUNTABLE CURB), AS NOTED. PROVISION SHALL BE MADE FOR CURB DEPRESSIONS AT SIDEWALKS AND DRIVEWAYS.
3. ROAD SUBDRAINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R1. SUBDRAINS SHALL BE 6m IN LENGTH AT CATCHBASINS. SUBDRAINS SHALL BE INSTALLED BOTH SIDES AT LOWPOINTS AND ON THE HIGH SIDE AT FLOWBY CATCHBASINS.
4. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R10 AND OPSD 509.010, OPSS 310.
5. GRANULAR "A" SHALL BE PLACED TO A MINIMUM THICKNESS OF 300mm AROUND ALL STRUCTURES WITHIN PAVEMENT AREA.
6. ALL GRANULAR FOR ROADS SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
7. ASPHALT WEAR COURSE SHALL NOT BE PLACED UNTIL THE VIDEO INSPECTION OF SEWERS & NECESSARY REPAIRS HAVE BEEN CARRIED OUT TO THE SATISFACTION OF THE ENGINEER.
8. SUB- EXCAVATE SOFT AREAS AND FILL WITH GRANULAR 'B' COMPACTED IN MAXIMUM 300mm LIFTS.
9. PAVEMENT STRUCTURE: AS PER GEOTECH INVESTIGATION REPORT PREPARED BY WSP CANADA INC, DATED OCTOBER 20, 2025.:  
 LIGHT DUTY ASPHALT SURFACE COURSE FOR PARKING AREAS:  
 ●●● 50mm SURFACE COURSE OF SUPERPAVE SP 12.5 (OR HL 3)  
 HEAVY DUTY ASPHALT SURFACE/BINDER COURSE FOR ACCESS ROADS/DRIVEWAYS:  
 ●●● 50 MM SURFACE COURSE OF SUPERPAVE SP 12.5 (OR HL 3) OVER  
 ●●● 50 MM BINDER COURSE OF SUPERPAVE SP19.0 (OR HL 8)
10. IN AREAS WHERE THE PAVEMENT STRUCTURE WILL BE FULLY DISTURBED INCLUDING GRANULAR BASE AND SUBBASE OR IS NON-EXISTENT, THE PAVEMENT STRUCTURE SHOULD BE RECONSTRUCTED TO MATCH THE EXISTING BASE AND SUBBASE THICKNESSES. THE GRANULAR BASE AND SUBBASE MATERIALS SHOULD BE REINSTATED TO THEIR ORIGINAL DEPTHS AND COMPACTED TO MEET OPSS REQUIREMENTS. ONCE THE GRANULAR STRUCTURE IS RESTORED AND PROOF-ROLLED TO CONFIRM ADEQUATE SUPPORT, THE ASPHALT LAYER SHOULD BE PLACED TO MATCH THE SURROUNDING PAVEMENT STRUCTURE. GRANULAR BASE AND SUB-BASE COURSES SHALL BE PLACED IN 300mm LIFTS AND COMPACTED TO MIN. 98% SPD.

**GENERAL NOTES FOR GRADING**

1. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ENSURE THAT GRADING AROUND HYDRANTS, TRANSFORMERS, AND UTILITY PEDESTALS, ETC., MEET CURRENT CITY OF OTTAWA, HYDRO AND UTILITY COMPANY REQUIREMENTS.
2. ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE OR CATCH BASIN OUTLETS ARE PROVIDED.
3. CONTRACTOR TO ADJUST EXISTING CATCH BASINS, MANHOLES, FIRE HYDRANTS, VALVE CHAMBERS AND VALVE BOXES TO FINAL GRADE AS REQUIRED.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING FOUNDATIONS OF ADJACENT BUILDINGS DURING EXCAVATION AND CONSTRUCTION PERIOD.
5. GRADING IN GRASSED AREAS WILL BE BETWEEN 2% TO 7%. GRADES IN EXCESS OF 7% WILL REQUIRE A MAXIMUM 3:1 TERRACING.
6. FINAL EXTERIOR ELEVATION ADJACENT TO BUILDING FOUNDATION TO BE MINIMUM 200mm BELOW BUILDING FTE (90.70) EXCEPT AS INDICATED AND AS REQUIRED FOR TAPERING AT ACCESSIBLE ENTRANCES.

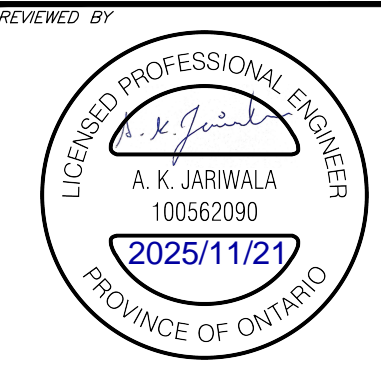


**CAUTION**  
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**JOB BENCH MARK**  
 AS NOTED  
**TOPOGRAPHIC INFORMATION**  
 PART OF BLOCK "A" REGISTERED PLAN 4M-65, CITY OF OTTAWA.  
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. O.L.S. SURVEY DATED AUGUST 29, 2025. BEARINGS ARE GRID, DERIVED FROM CAN-NET 2016 REAL TIME NETWORK GPS OBSERVATIONS AND ARE REFERENCED TO SPECIFIED CONTROL POINTS 01919680005 AND 01919750705, MTM ZONE 9 (76°30' WEST LONGITUDE)  
 ELEVATIONS SHOWN ARE GEODETIC, DERIVED FROM MINISTRY OF NATURAL RESOURCES VERTICAL CONTROL MONUMENT NO. 0011965303558, HAVING A PUBLISHED ELEVATION OF 91.079 METRES, AND ARE REFERRED TO THE GVD28 GEODETIC DATUM.NAD-83 (ORIGINAL).

REV	REVISION DESCRIPTION	DATE	BY	APPD	REV	REVISION DESCRIPTION	DATE	BY	APPD
1	ISSUED FOR SPA	21/11/25	AKJ	AKJ					

DESIGNED BY: [Signature]  
 REVIEWED BY: [Signature]  
 CLIENT: MANGA HOTELS (NEPEAN) LP.  
 PROJECT: NEPEAN HOLIDAY INN EXPRESS RENO



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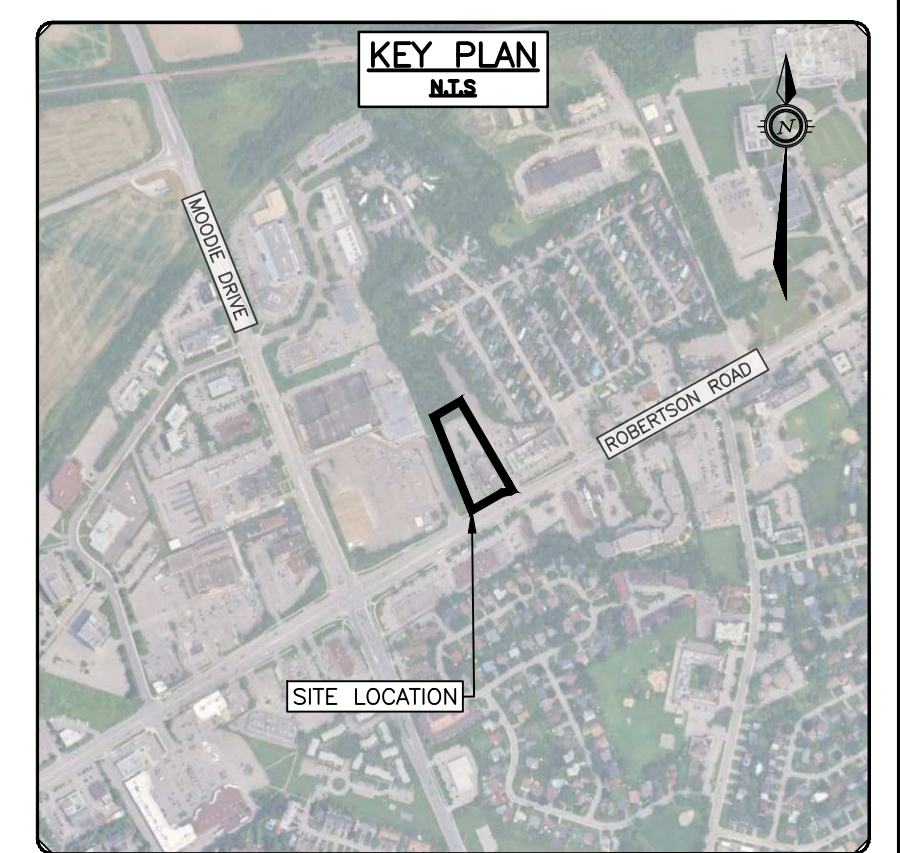
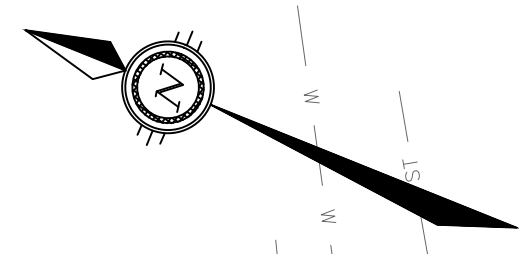
**NOTES**  
 PROJECT No. OTT-25002871-AO  
 SURVEY No. AGV  
 DATE 2025-08-26  
 DRAWING No. C000

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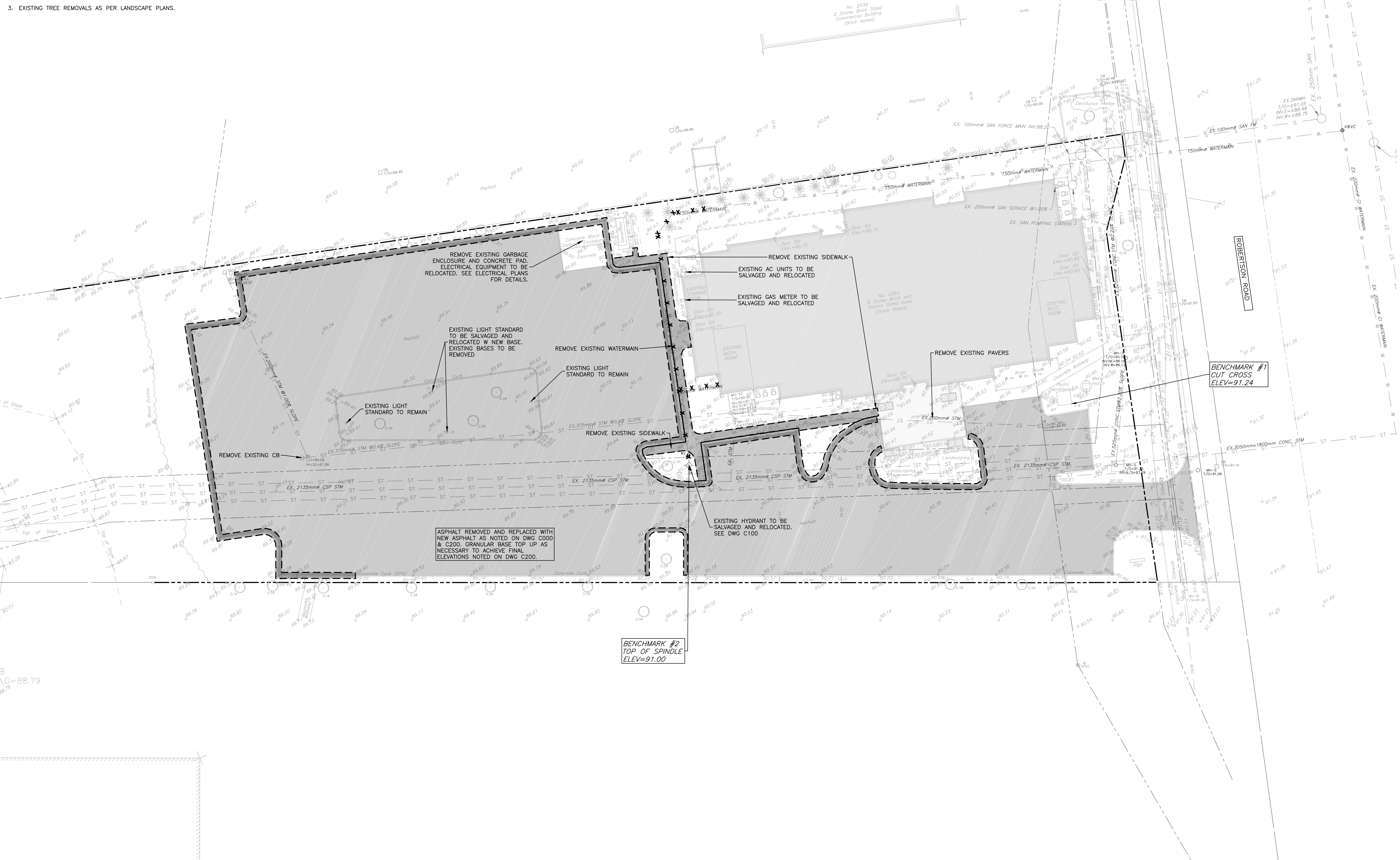
**NOTES:**

1. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE UNTIL SUCH TIME AS THE SERVICE PROVIDER HAS CONFIRMED IN WRITING THE SERVICE IS ABANDONED AND CAN BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.
3. EXISTING TREE REMOVALS AS PER LANDSCAPE PLANS.



**LEGEND**

- PROPERTY LINE
- - - ABUTTING PL
- - - EX. CROWN OF ROAD
- - - EX. FEATURE
- - - EX. CURB
- - - EX. ELEV
- - - EX. LIGHT STANDARD
- - - EX. VALVE AND VALVE CHAMBER
- - - EX. WATER VALVE
- - - EX. FIRE HYDRANT
- - - EX. WATER
- - - EX. CATCHBASIN
- - - EX. STORM MANHOLE
- - - EX. STORM
- - - EX. SANITARY FORCEMAIN
- - - EX. HANDHOLE
- - - EX. FLAGPOLE
- - - EX. SIGN
- - - EX. AIR CONDITIONER
- - - EX. METAL FENCE
- - - EX. TREE LINE
- - - EX. TOP OF SLOPE
- - - EX. OVERHEAD WIRE
- - - EX. GUY WIRE ANCHOR
- - - EX. UTILITY POLE
- - - EX. BOLLARD
- - - EX. CONCRETE SIDEWALK AND CURB REMOVALS
- - - EX. ASPHALT SURFACE AND BINDER COURSE REMOVALS (GRANULAR BASE TO REMAIN)
- - - EX. WATERMAIN REMOVALS



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REV	REVISION DESCRIPTION	DATE	BY	APPD
1	ISSUED FOR SPA	21/11/25	AKJ	AKJ

SCALE  
0 2m 4m 10m  
HORIZONTAL 1:250  
VERTICAL 1:250

DESIGNED BY: A.K. JARWALA  
PROVINCE OF ONTARIO  
2025/11/21

CLIENT: MANGA HOTELS (NEPEAN) LP.  
MR. VAHE KOUYOUNDJIAN  
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416.823.9202

PROJECT: NEPEAN HOLIDAY INN EXPRESS RENO  
2055 ROBERTSON ROAD  
OTTAWA, ONTARIO.

EXISTING CONDITIONS AND REMOVALS PLAN

PROJECT No. OTT-25002871-AO  
SURVEY AGV  
DATE 2025-08-26  
DRAWING No. C001

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