

NATIONAL CAPITAL BUSINESS PARK BUILDING A1  
4055 RUSSELL RD.  
OTTAWA, ON K1G 6Y4

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REVISED FOR SITE PLAN AMENDMENT

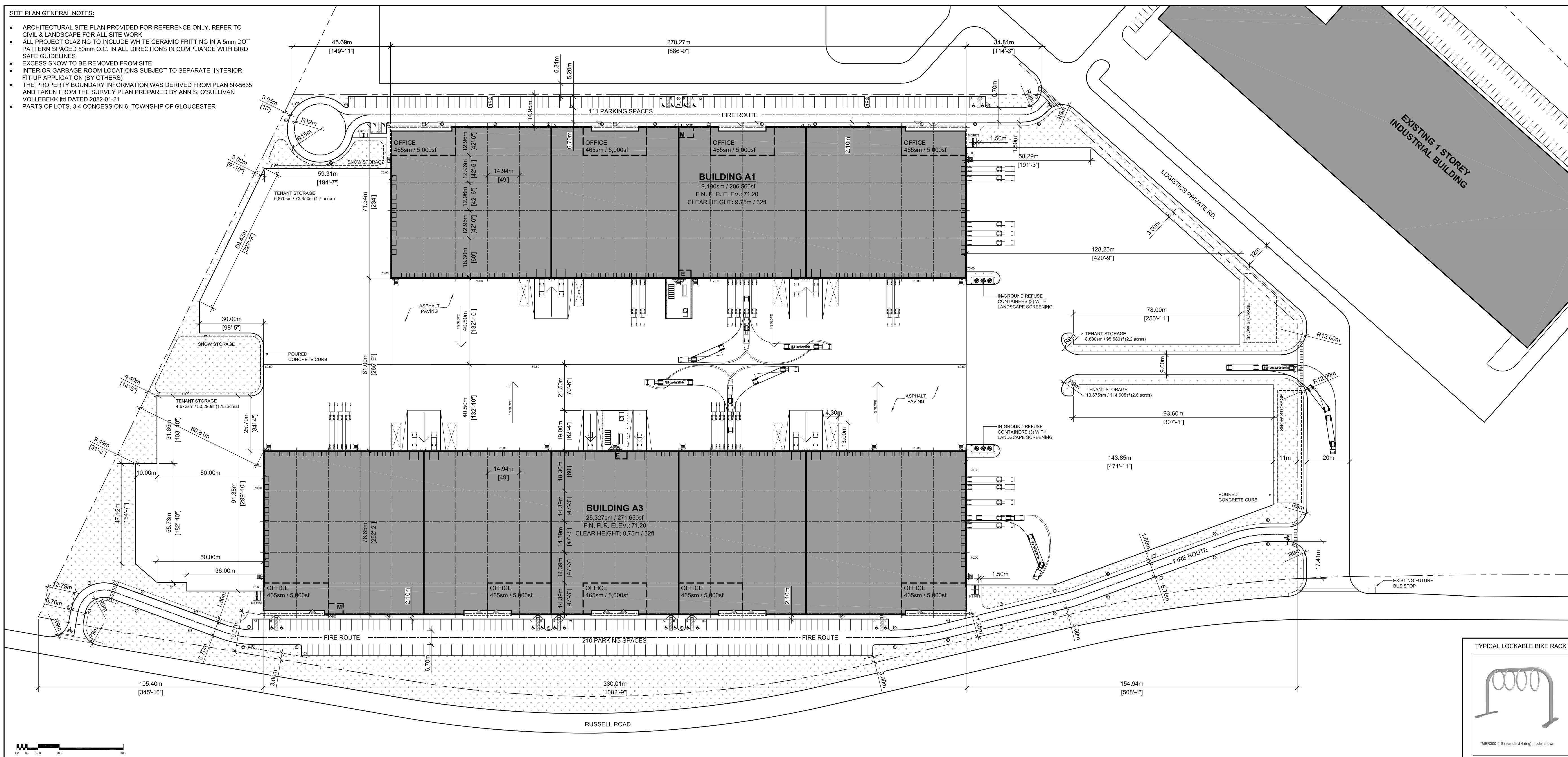
2026-04-29

ARCHITECTURAL

SPA-01	LOCATION PLAN, ZONING REVIEW & SITE PLAN
A101	GROUND FLOOR & ROOF PLANS
A201	EXTERIOR ELEVATIONS

**SITE PLAN GENERAL NOTES:**

- ARCHITECTURAL SITE PLAN PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL & LANDSCAPE FOR ALL SITE WORK
- ALL PROJECT GLAZING TO INCLUDE WHITE CERAMIC FRITTING IN A 5mm DOT PATTERN SPACED 150mm O.C. IN ALL DIRECTIONS IN COMPLIANCE WITH BIRD SAFE GUIDELINES
- EXCESS SNOW TO BE REMOVED FROM SITE
- INTERIOR GARAGE ROOM LOCATIONS SUBJECT TO SEPARATE INTERIOR FIT-UP APPLICATION (BY OTHERS)
- THE PROPERTY BOUNDARY INFORMATION WAS DERIVED FROM PLAN SR-5635 AND TAKEN FROM THE SURVEY PLAN PREPARED BY ANNIS, O'SULLIVAN VOLLEBEK INC DATED 2022-01-21
- PARTS OF LOTS, 3,4 CONCESSION 6, TOWNSHIP OF GLOUCESTER



**CLIENT:**  
AVENUE 31 CAPITAL INC.

**REGISTERED OWNER:**  
Avenue 31 Capital Inc.  
801-250 City Centre  
Ottawa, ON K1R 6R7

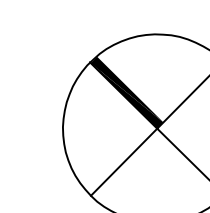
**PLANNING CONSULTANT:**  
REPUBLIC URBANISM  
Montreal, QC

**CIVIL ENGINEER:**  
LRI ENGINEERING  
5430 Canotek Road  
Ottawa, ON K1J 9G2

**LANDSCAPE ARCHITECTS:**  
JAMES B. LENNOX & ASSOCIATES INC.  
3332 Carling Avenue  
Ottawa, ON K2H 5A8

**TRAFFIC ENGINEERING:**  
C.F. GROZIER & ASSOCIATES INC.  
211 Yonge Street, Suite 600  
Toronto, ON M5B 1M4

North

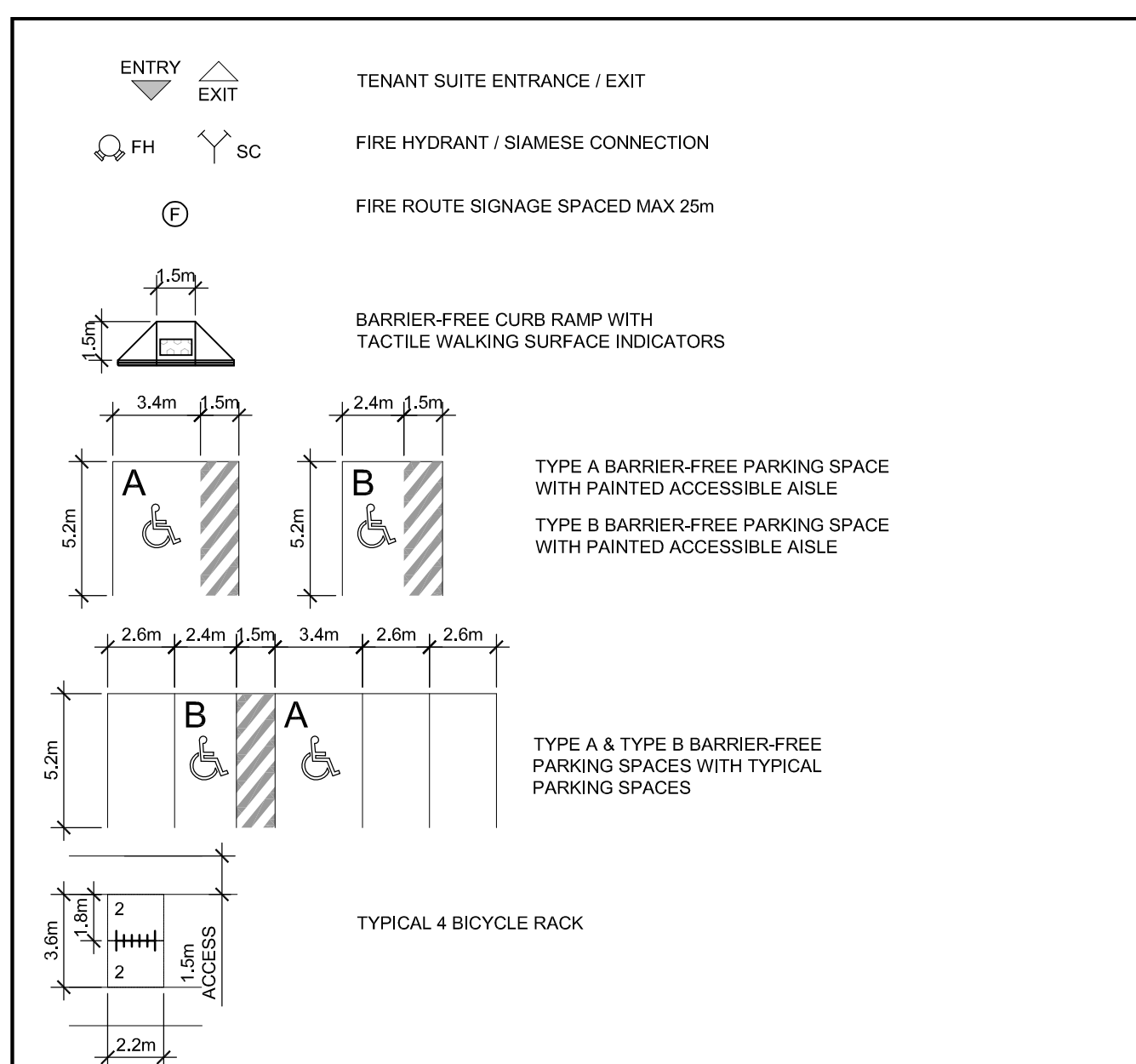


**Revisions**

No.	By	Description	Date
13	ERM	REVISED FOR COORDINATION	2026-03-18
14	ERM	REVISED FOR COORDINATION	2026-03-30
15	ERM	REVISED FOR COORDINATION	2026-04-07
16	ERM	REVISED FOR COORDINATION	2026-04-13
17	ERM	REVISED FOR COORDINATION	2026-04-15
18	ERM	REVISED FOR COORDINATION	2026-04-27
19	ERM	REVISED FOR SITE PLAN AMENDMENT	2026-04-29

**04 SITE PLAN**

SPA-01 SCALE: 1:1000



**03 DRAWING LEGEND**

SPA-01 SCALE:

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED / PERMITTED	PROVIDED
ZONING: IH HEAVY INDUSTRIAL ZONE	WAREHOUSE (N95) HEAVY INDUSTRIAL LIMITED COMMERCIAL TRUCK TRANSPORT	WAREHOUSE (N95) HEAVY INDUSTRIAL (N42)
MINIMUM LOT AREA	0.4HA	13.31HA / 32.88 ACRES
MINIMUM LOT WIDTH	no minimum	IRREGULAR LOT SHAPE
MINIMUM FRONT YARD	7.5m	COMPLIANT WITH ZONING
MINIMUM CORNER SIDE YARD	7.5m	COMPLIANT WITH ZONING
MINIMUM INTERIOR YARD SETBACK	15m (abutting R or I zone) 7.5m	COMPLIANT WITH ZONING
MINIMUM REAR YARD	15m (abutting R or I zone) 7.5m	COMPLIANT WITH ZONING
MAXIMUM FLOOR SPACE INDEX	2	0.33 COMPLIANT WITH ZONING
MAXIMUM BUILDING HEIGHT	22m	BUILDING A1: 11.6m BUILDING A3: 11.6m
MINIMUM LANDSCAPE BUFFER WIDTH	7.5m (abutting R or I zone) 3m TYPICAL	COMPLIANT WITH ZONING

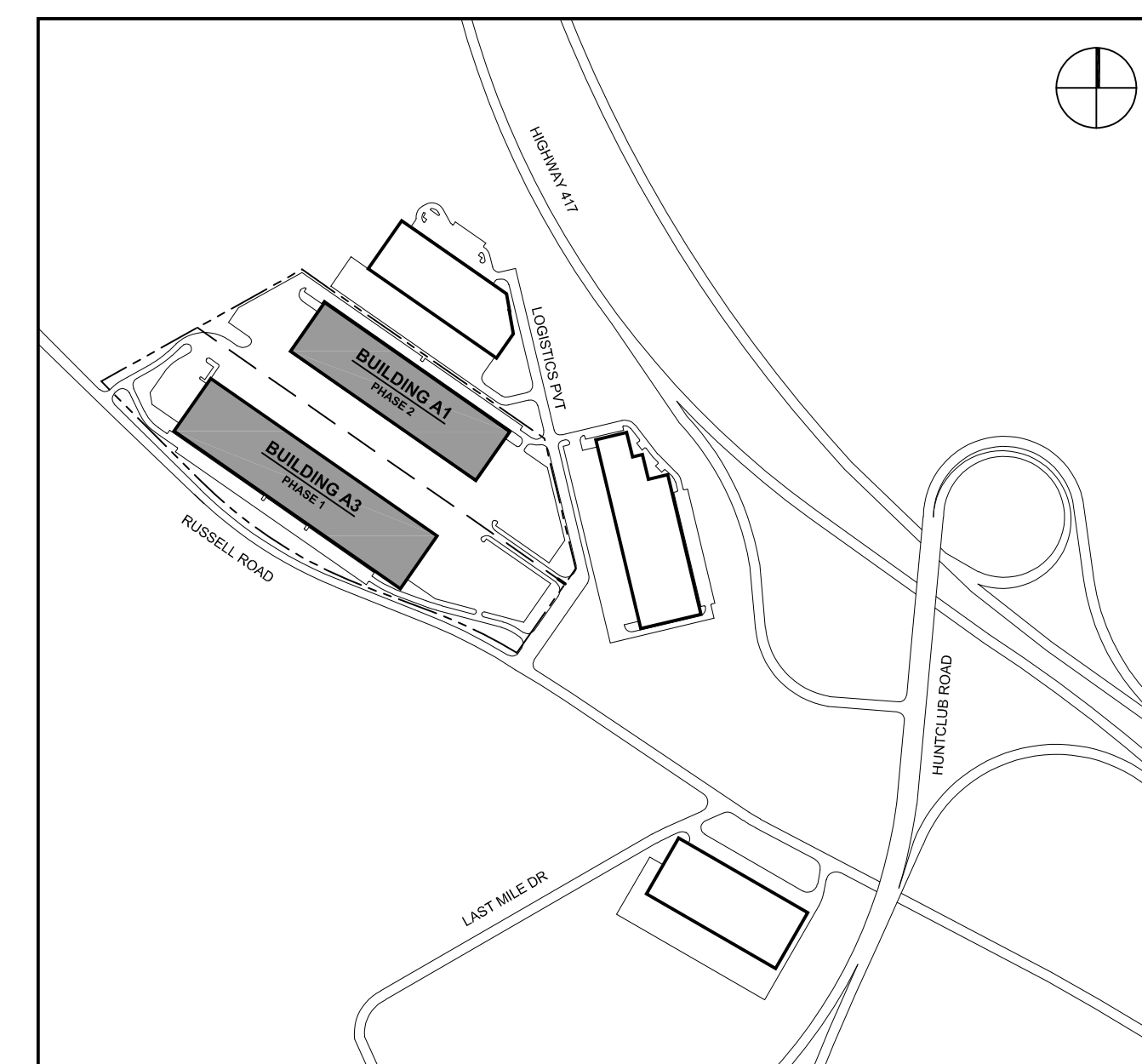
**02 SITE DATA AND ZONING INFORMATION**

SPA-01 SCALE:

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
PARKING, TYPICAL - SECTION 101 AREA C	92 TYPICAL 2 TYPE A ACCESSIBLE 3 TYPE B ACCESSIBLE	103 TYPICAL 4 TYPE A ACCESSIBLE 4 TYPE B ACCESSIBLE
WAREHOUSE (N95) OR HEAVY INDUSTRIAL USE (N42): 0.8 SPACES PER 100sqm FOR FIRST 5,000sqm 0.4 SPACES PER 100sqm AFTER FIRST 5,000sqm	BUILDING A1: 19,190sqm BUILDING A3: 25,327sqm	121 TYPICAL 2 TYPE A ACCESSIBLE 3 TYPE B ACCESSIBLE
PARKING, BARRIER FREE - SECTION 112 (BYLAW 2017-301)	BUILDING A1: 19,190sqm	10 TYPICAL
BICYCLE PARKING - SECTION 111	BUILDING A1: 19,190sqm	12 TYPICAL
WAREHOUSE / HEAVY INDUSTRIAL 1 SPACE PER 200sqm	BUILDING A3: 25,327sqm	13 TYPICAL
LOADING SPACE - SECTION 113	BUILDING A1: 19,190sqm	2 SPACES
WAREHOUSE / HEAVY INDUSTRIAL	BUILDING A3: 25,327sqm	3 SPACES

**BUILDING CLASSIFICATION:**

- 3.2.2.76 GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED
  - NON-COMBUSTIBLE CONSTRUCTION REQUIRED
  - FLOOR ASSEMBLIES SHALL HAVE A MIN 2hr FIRE RESISTANCE RATING
  - MEZZANINES SHALL HAVE A MIN 1hr FIRE RESISTANCE RATING
  - LOAD BEARING WALLS AND COLUMNS SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN SUPPORTED ASSEMBLIES
- 3.2.2.79 SPATIAL SEPARATION - TABLE 3.2.3.1.E
  - 15m MINIMUM SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS (EBF > 200m<sup>2</sup>)
  - 9m SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS WHEN FACING A STREET
- 3.4.2.5 LOCATION OF EXITS
  - 45m MAXIMUM TRAVEL DISTANCE IF FLOOR AREA IS SPRINKLERED OR
  - PERIMETER EXITS SPACED MAX 60m ALONG PERIMETER OF FLOOR AREA



**01 LOCATION PLAN**

SPA-01 SCALE: NTS

Project

**NATIONAL CAPITAL BUSINESS PARK BUILDINGS A1 & A3**

4055 RUSSELL RD, OTTAWA

**Drawing LOCATION PLAN, ZONING REVIEW & SITE PLAN**

Scale AS NOTED

Drawn ERM

Checked ERM

Project No. 25-199

Date NOV 2025

Stamp



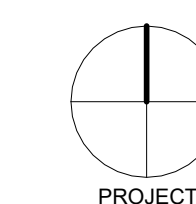
Drawing No.

**SPA-01**

PLAN NO. 1G431

D07-12-25-0175

North



Revisions

Revision Number	Description	Date
1	ISSUED FOR COORDINATION	2025-12-02
2	ISSUED FOR COORDINATION	2025-12-09
3	ISSUED FOR SITE PLAN AMENDMENT	2025-12-19
4	ISSUED FOR INFORMATION	2026-02-24
5	REVISED FOR SITE PLAN AMENDMENT	2026-04-29

Project

**NATIONAL CAPITAL BUSINESS PARK BUILDING A1**

4055 RUSSELL RD.  
OTTAWA, ON K1G 6Y4

Drawing

**GROUND FLOOR & ROOF PLANS**

Scale 1 : 500 Stamp

Drawn ERM

Checked ERM

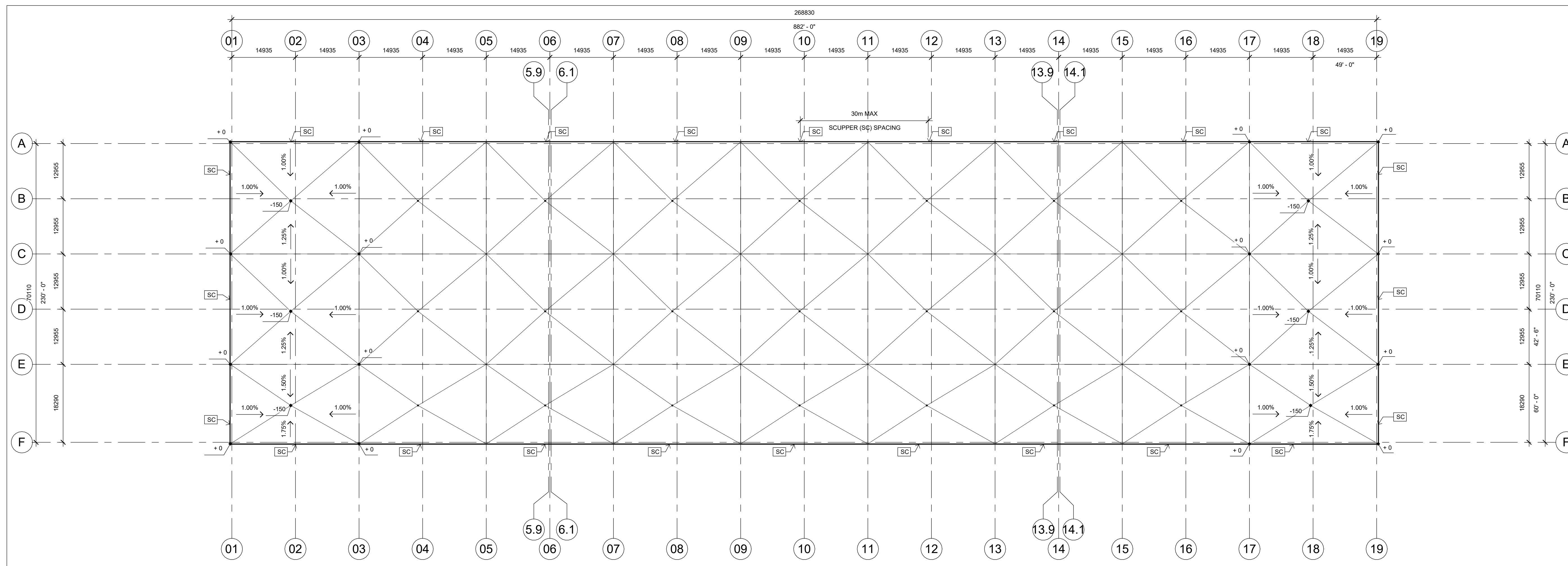


Project No. 25-199

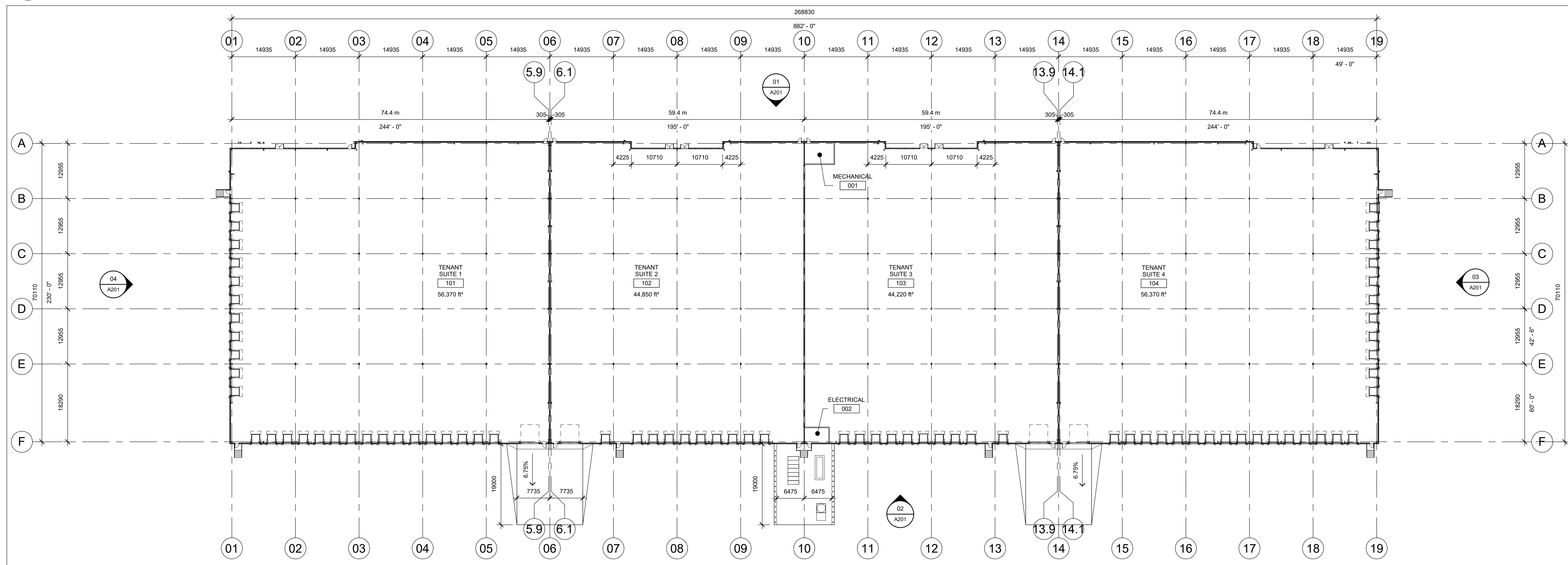
Date DEC 2025

Drawing No.

**A101**



**02 ROOF PLAN**  
A101 Scale: 1 : 500



**01 GROUND LEVEL FLOOR PLAN**  
A101 Scale: 1 : 500

