

NATIONAL CAPITAL BUSINESS PARK BUILDING A3
4055 RUSSELL RD.
OTTAWA, ON K1G 6Y4

REVISED FOR SITE PLAN AMENDMENT

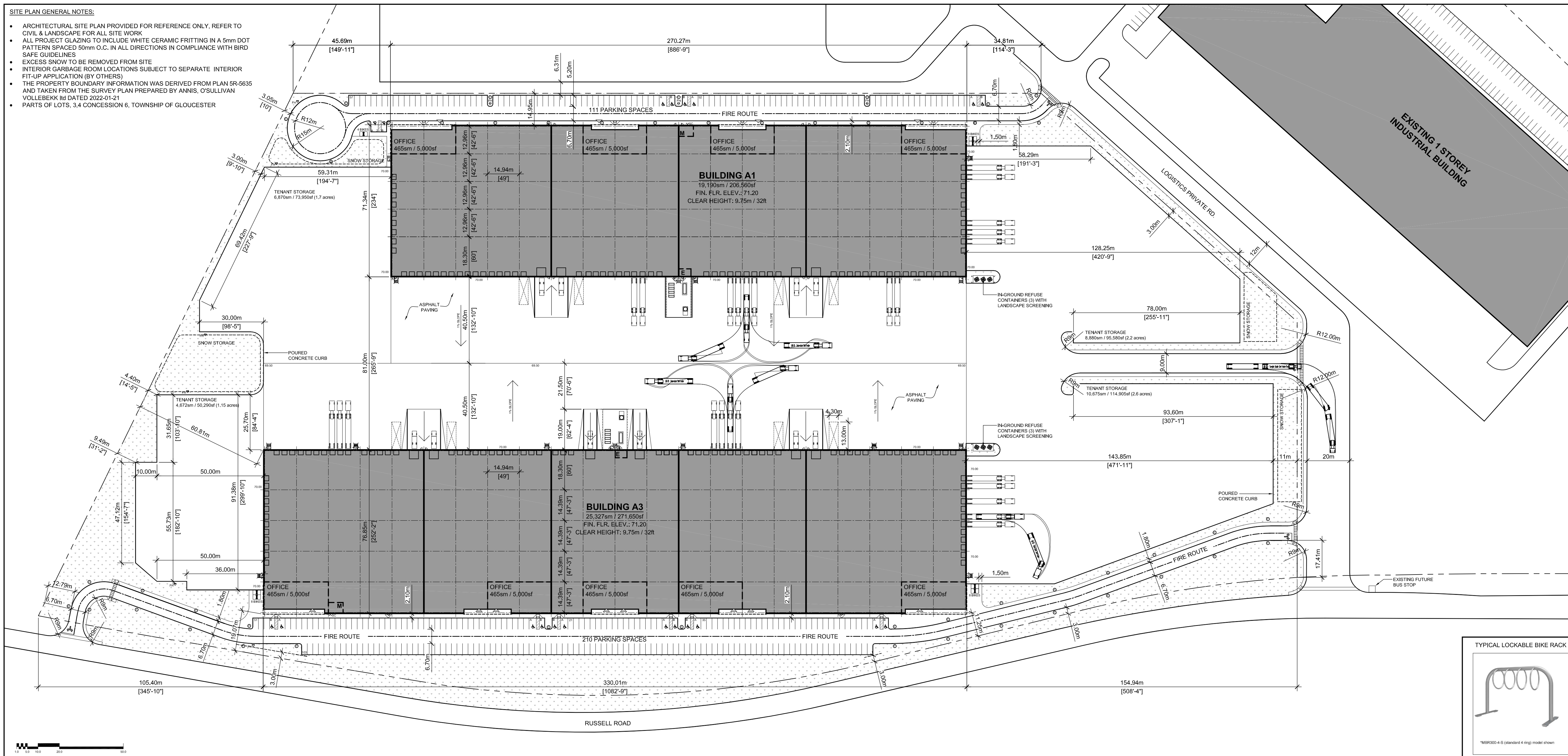
2026-04-29

ARCHITECTURAL

SPA-01	LOCATION PLAN, ZONING REVIEW & SITE PLAN
A101	GROUND LEVEL FLOOR PLAN & ROOF PLAN
A201	EXTERIOR ELEVATIONS

SITE PLAN GENERAL NOTES:

- ARCHITECTURAL SITE PLAN PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL & LANDSCAPE FOR ALL SITE WORK
- ALL PROJECT GLAZING TO INCLUDE WHITE CERAMIC FRITTING IN A 5mm DOT PATTERN SPACED 150mm O.C. IN ALL DIRECTIONS IN COMPLIANCE WITH BIRD SAFE GUIDELINES
- EXCESS SNOW TO BE REMOVED FROM SITE
- INTERIOR GARAGE ROOM LOCATIONS SUBJECT TO SEPARATE INTERIOR FIT-UP APPLICATION (BY OTHERS)
- THE PROPERTY BOUNDARY INFORMATION WAS DERIVED FROM PLAN SR-5635 AND TAKEN FROM THE SURVEY PLAN PREPARED BY ANNIS, O'SULLIVAN VOLLEBEK INC DATED 2022-01-21
- PARTS OF LOTS, 3,4 CONCESSION 6, TOWNSHIP OF GLOUCESTER



CLIENT:
AVENUE 31 CAPITAL INC.

REGISTERED OWNER:
Avenue 31 Capital Inc.
801-250 City Centre
Ottawa, ON K1R 6R7

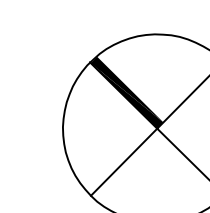
PLANNING CONSULTANT:
REPUBLIC URBANISM
Montreal, QC

CIVIL ENGINEER:
LRI ENGINEERING
5430 Canotek Road
Ottawa, ON K1J 9G2

LANDSCAPE ARCHITECTS:
JAMES B. LENNOX & ASSOCIATES INC.
3332 Carling Avenue
Ottawa, ON K2H 5A8

TRAFFIC ENGINEERING:
C.F. GROZIER & ASSOCIATES INC.
211 Yonge Street, Suite 600
Toronto, ON M5B 1M4

North

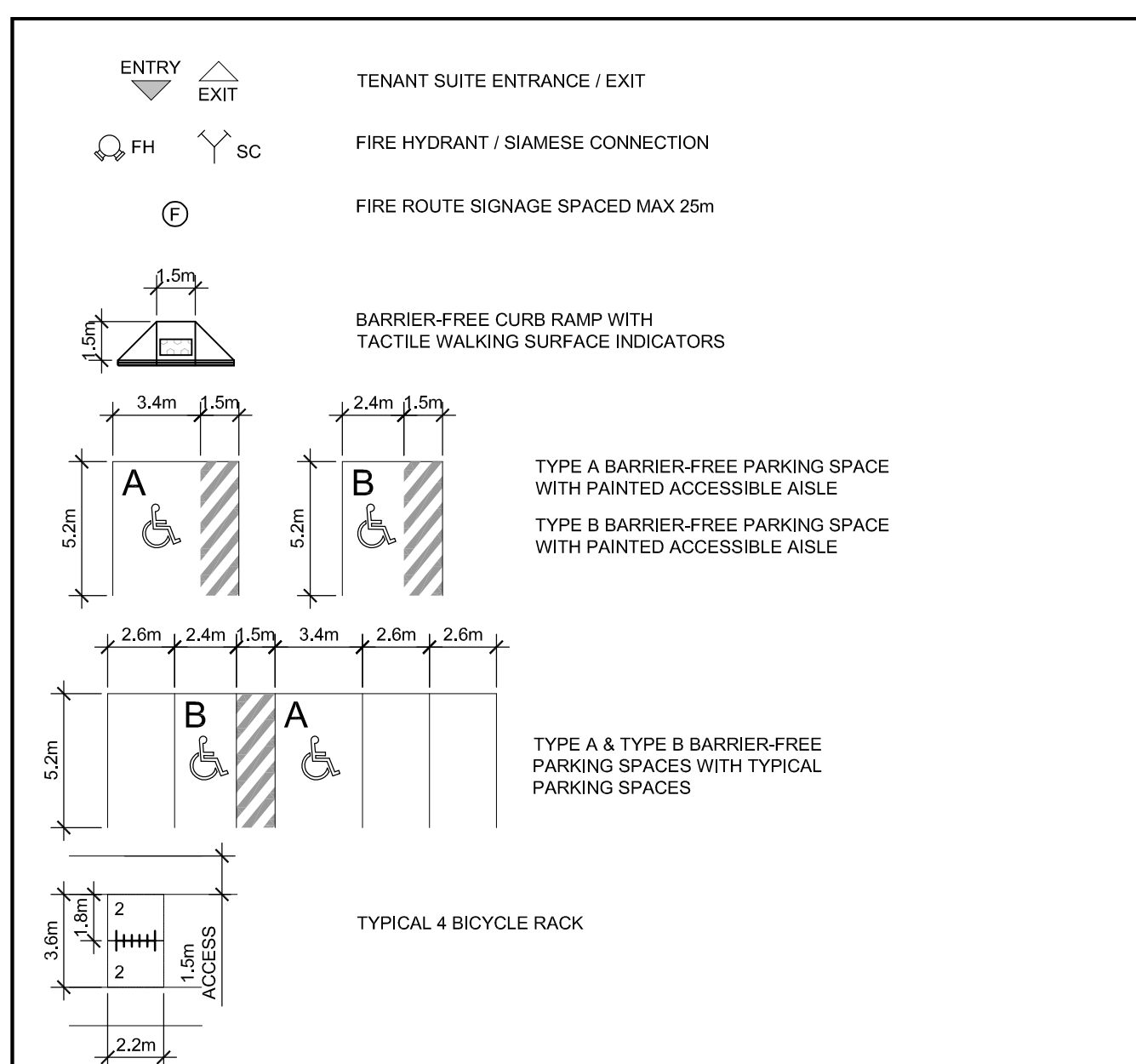


Revisions

No.	By	Description	Date
13	ERM	REVISED FOR COORDINATION	2026-03-18
14	ERM	REVISED FOR COORDINATION	2026-03-30
15	ERM	REVISED FOR COORDINATION	2026-04-07
16	ERM	REVISED FOR COORDINATION	2026-04-13
17	ERM	REVISED FOR COORDINATION	2026-04-15
18	ERM	REVISED FOR COORDINATION	2026-04-27
19	ERM	REVISED FOR SITE PLAN AMENDMENT	2026-04-29

04 SITE PLAN

SPA-01 SCALE: 1:1000



03 DRAWING LEGEND

SPA-01 SCALE:

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED / PERMITTED	PROVIDED
ZONING: IH HEAVY INDUSTRIAL ZONE	WAREHOUSE (N95) HEAVY INDUSTRIAL LIMITED COMMERCIAL TRUCK TRANSPORT	WAREHOUSE (N95) HEAVY INDUSTRIAL (N42)
MINIMUM LOT AREA	0.4HA	13.31HA / 32.88 ACRES
MINIMUM LOT WIDTH	no minimum	IRREGULAR LOT SHAPE
MINIMUM FRONT YARD	7.5m	COMPLIANT WITH ZONING
MINIMUM CORNER SIDE YARD	7.5m	COMPLIANT WITH ZONING
MINIMUM INTERIOR YARD SETBACK	15m (abutting R or I zone) 7.5m	COMPLIANT WITH ZONING
MINIMUM REAR YARD	15m (abutting R or I zone) 7.5m	COMPLIANT WITH ZONING
MAXIMUM FLOOR SPACE INDEX	2	0.33 COMPLIANT WITH ZONING
MAXIMUM BUILDING HEIGHT	22m	BUILDING A1: 11.6m BUILDING A3: 11.6m
MINIMUM LANDSCAPE BUFFER WIDTH	7.5m (abutting R or I zone) 3m TYPICAL	COMPLIANT WITH ZONING

02 SITE DATA AND ZONING INFORMATION

SPA-01 SCALE:

ZONING MECHANISM: ZONING BY-LAW 2008-250 CONSOLIDATION	REQUIRED	PROVIDED
PARKING, TYPICAL - SECTION 101 AREA C WAREHOUSE (N95) OR HEAVY INDUSTRIAL USE (N42); 0.8 SPACES PER 100sqm FOR FIRST 5,000sqm 0.4 SPACES PER 100sqm AFTER FIRST 5,000sqm	BUILDING A1: 19,190sqm 92 TYPICAL 2 TYPE A ACCESSIBLE 3 TYPE B ACCESSIBLE BUILDING A3: 25,327sqm 121 TYPICAL 2 TYPE A ACCESSIBLE 3 TYPE B ACCESSIBLE	103 TYPICAL 4 TYPE A ACCESSIBLE 4 TYPE B ACCESSIBLE 198 TYPICAL 6 TYPE A ACCESSIBLE 6 TYPE B ACCESSIBLE
PARKING, BARRIER FREE - SECTION 112 (BYLAW 2017-301)	BUILDING A1: 19,190sqm	12 TYPICAL
BICYCLE PARKING - SECTION 111	BUILDING A1: 19,190sqm	13 TYPICAL
WAREHOUSE / HEAVY INDUSTRIAL 1 SPACE PER 200sqm	BUILDING A1: 19,190sqm	2 SPACES
LOADING SPACE - SECTION 113 WAREHOUSE / HEAVY INDUSTRIAL	BUILDING A3: 25,327sqm	3 SPACES

BUILDING CLASSIFICATION:

3.2.2.76 GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED

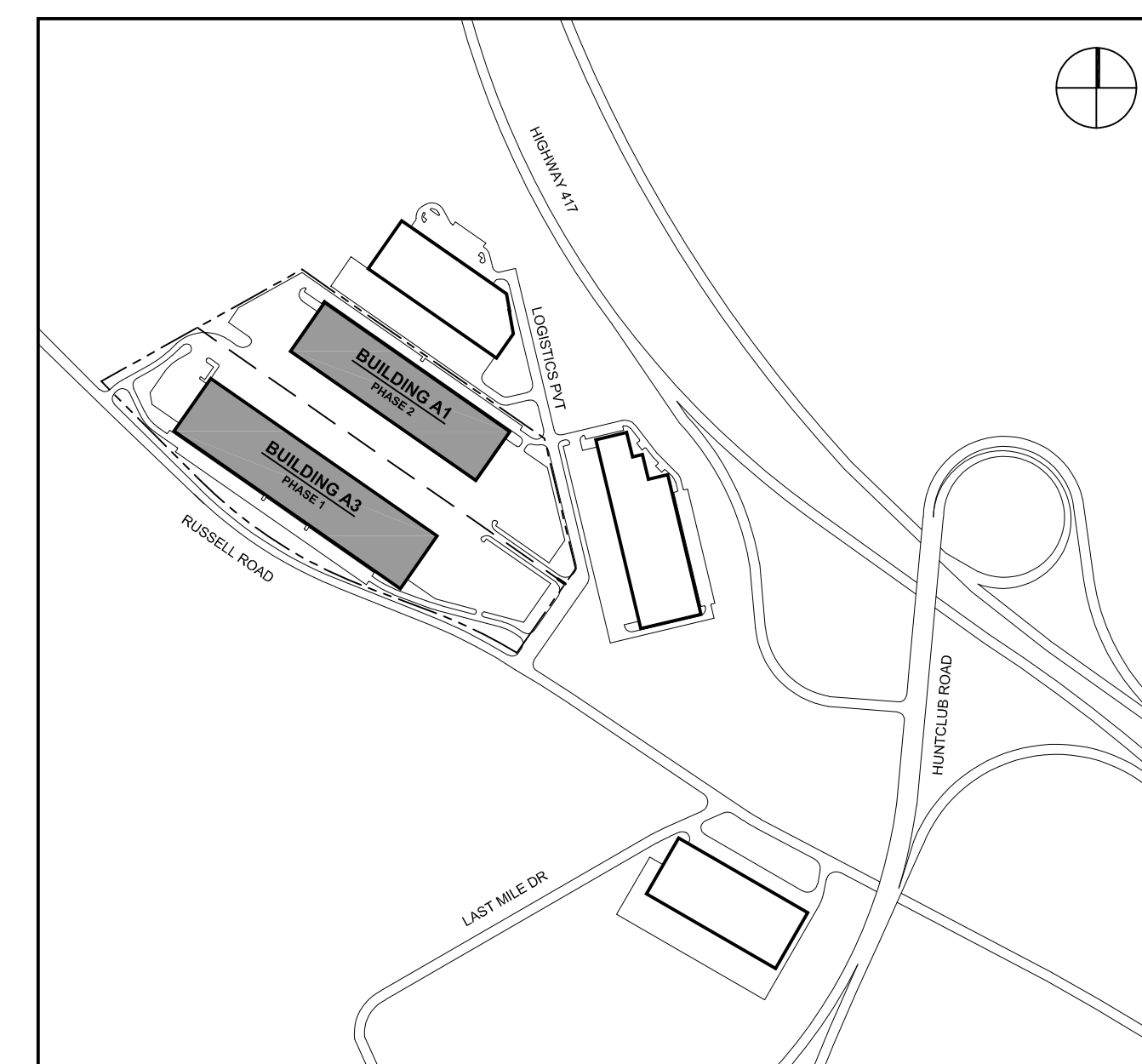
- NON-COMBUSTIBLE CONSTRUCTION REQUIRED
- FLOOR ASSEMBLIES SHALL HAVE A MIN 2hr FIRE RESISTANCE RATING
- MEZZANINES SHALL HAVE A MIN 1hr FIRE RESISTANCE RATING
- LOAD BEARING WALLS AND COLUMNS SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN SUPPORTED ASSEMBLIES

3.2.2.79 SPATIAL SEPARATION - TABLE 3.2.3.1.E

- 15m MINIMUM SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS (EBF > 200m²)
- 9m SPATIAL SEPARATION FOR 100% AREA OF UNPROTECTED OPENINGS WHEN FACING A STREET

3.4.2.5 LOCATION OF EXITS

- 45m MAXIMUM TRAVEL DISTANCE IF FLOOR AREA IS SPRINKLERED OR
- PERIMETER EXITS SPACED MAX 60m ALONG PERIMETER OF FLOOR AREA



01 LOCATION PLAN

SPA-01 SCALE: NTS

Project

NATIONAL CAPITAL BUSINESS PARK BUILDINGS A1 & A3

4055 RUSSELL RD, OTTAWA

Drawing LOCATION PLAN, ZONING REVIEW & SITE PLAN

Scale AS NOTED

Drawn ERM

Checked ERM

Project No. 25-199

Date NOV 2025

Stamp

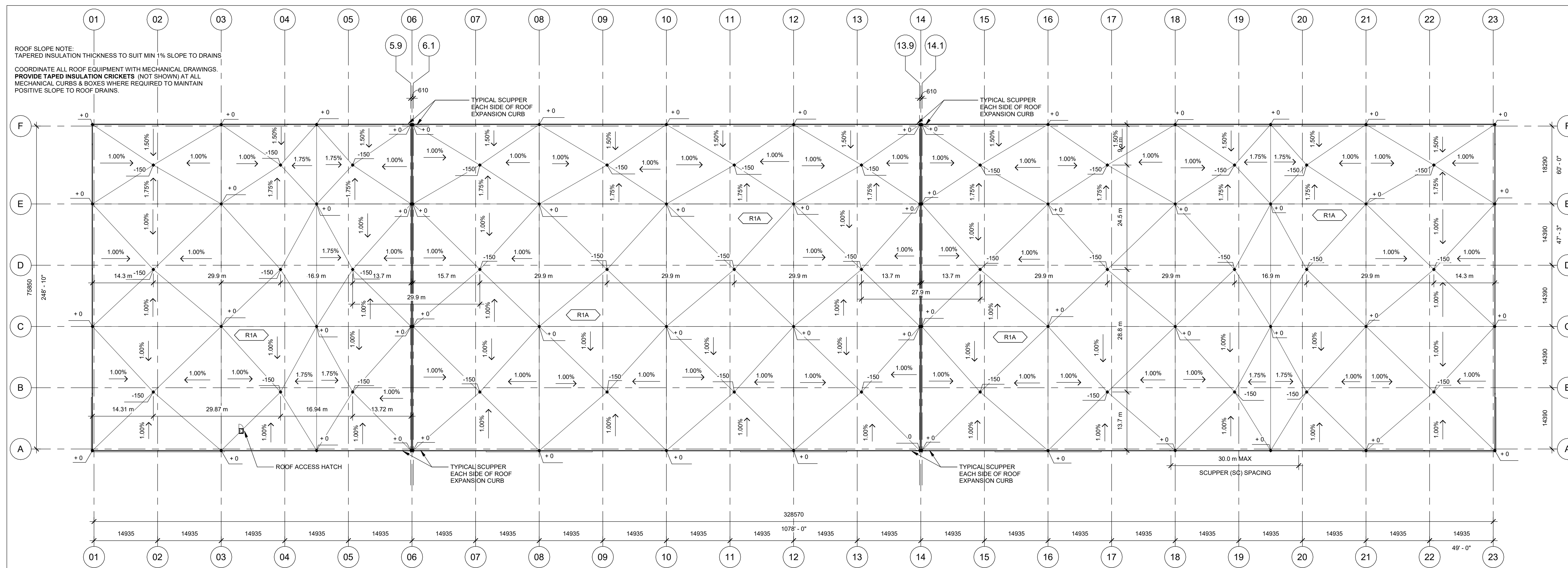


Drawing No.

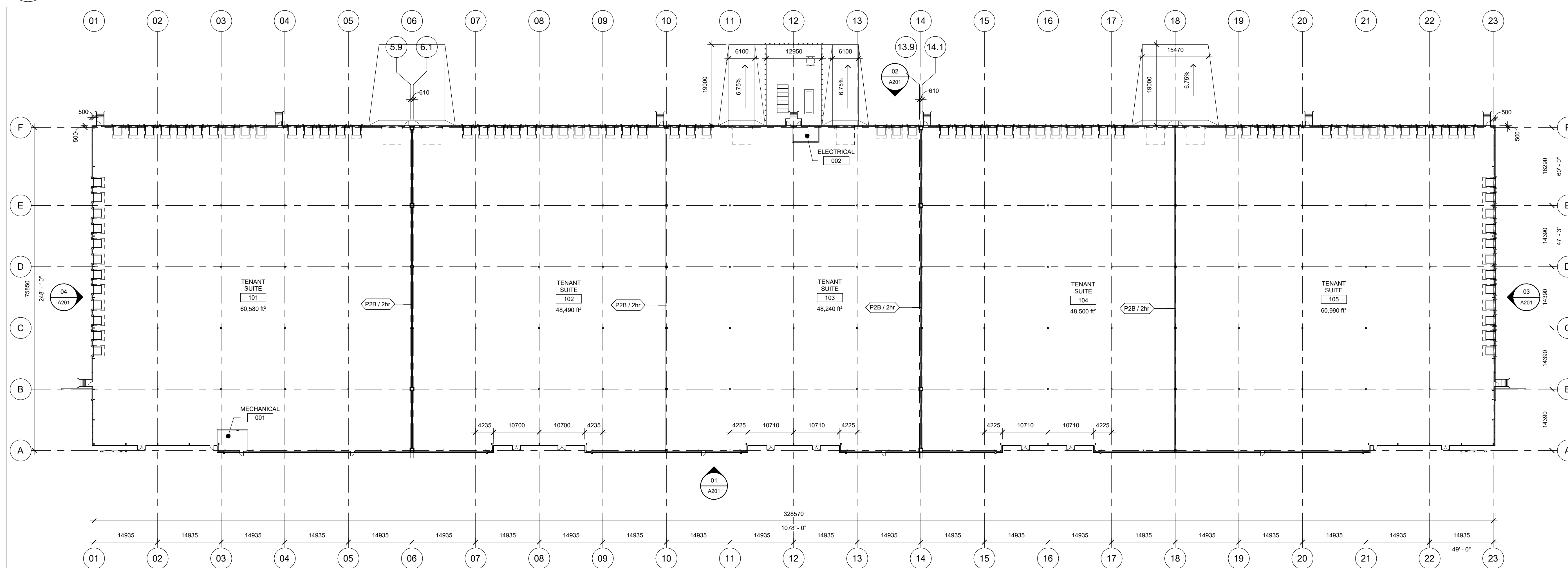
SPA-01

PLAN NO. 1G431

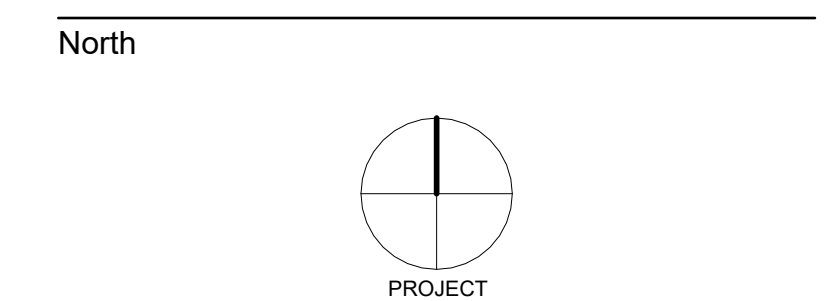
D07-12-25-0175



02 ROOF PLAN
A101 Scale: 1:500



01 GROUND LEVEL FLOOR PLAN
A101 Scale: 1:500



Revisions

Revision Number	Description	Date
03	ISSUED FOR COORDINATION	2025-12-05
04	ISSUED FOR COORDINATION	2025-12-09
05	ISSUED FOR SITE PLAN AMENDMENT	2025-12-19
06	ISSUED FOR INFORMATION	2026-02-24
07	ISSUED FOR COORDINATION	2026-03-13
08	ISSUED FOR COORDINATION	2026-04-02
09	ISSUED FOR COORDINATION	2026-04-10
10	ISSUED FOR COORDINATION	2026-04-24
11	REVISED FOR SITE PLAN AMENDMENT	2026-04-29

Project

NATIONAL CAPITAL BUSINESS PARK BUILDING A3

4055 RUSSELL RD.
OTTAWA, ON K1G 6Y4

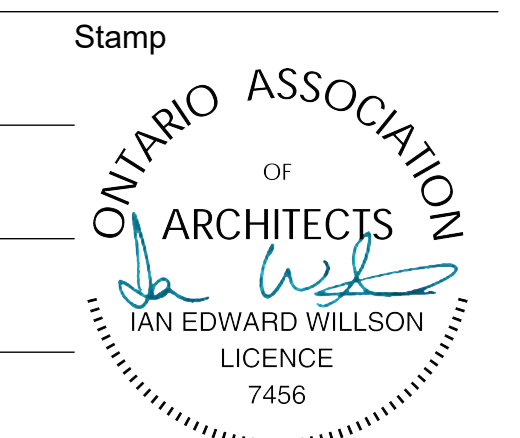
Drawing

GROUND LEVEL FLOOR PLAN & ROOF PLAN

Scale 1:500

Drawn ERM

Checked ERM

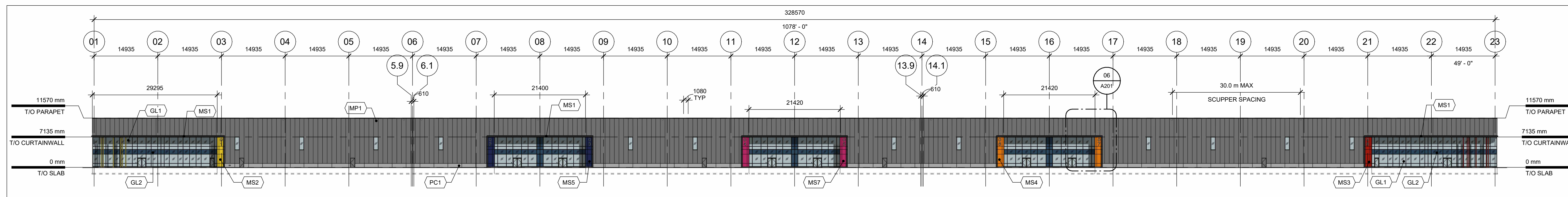


Project No. 25-199

Date NOV 2025

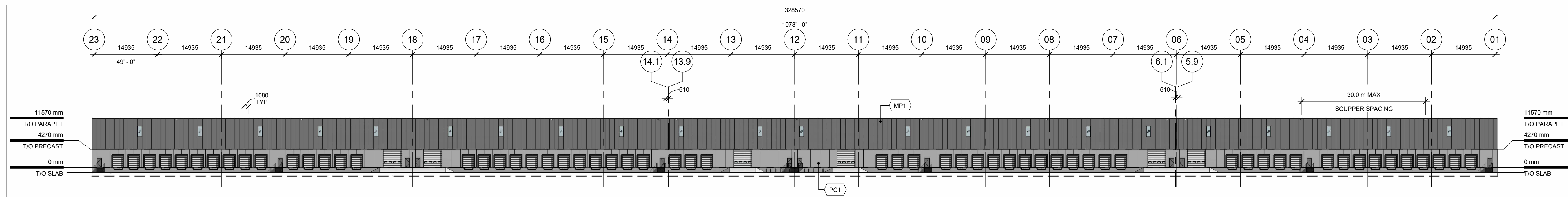
Drawing No.

A101



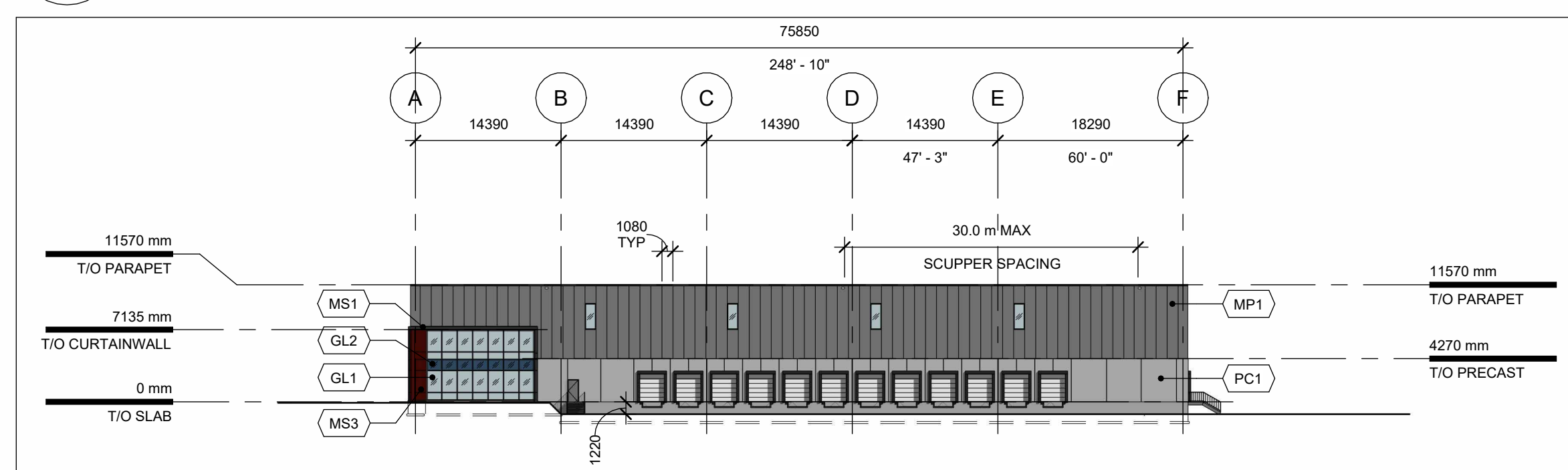
01 SOUTH ELEVATION

A201 Scale: 1 : 500



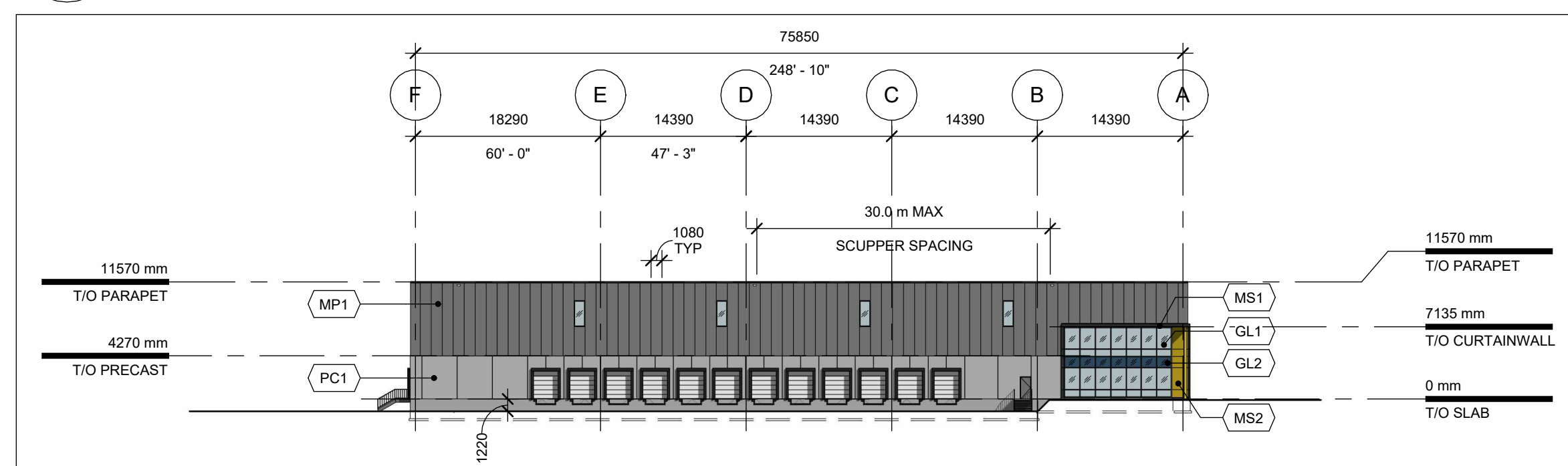
02 NORTH ELEVATION

A201 Scale: 1 : 500



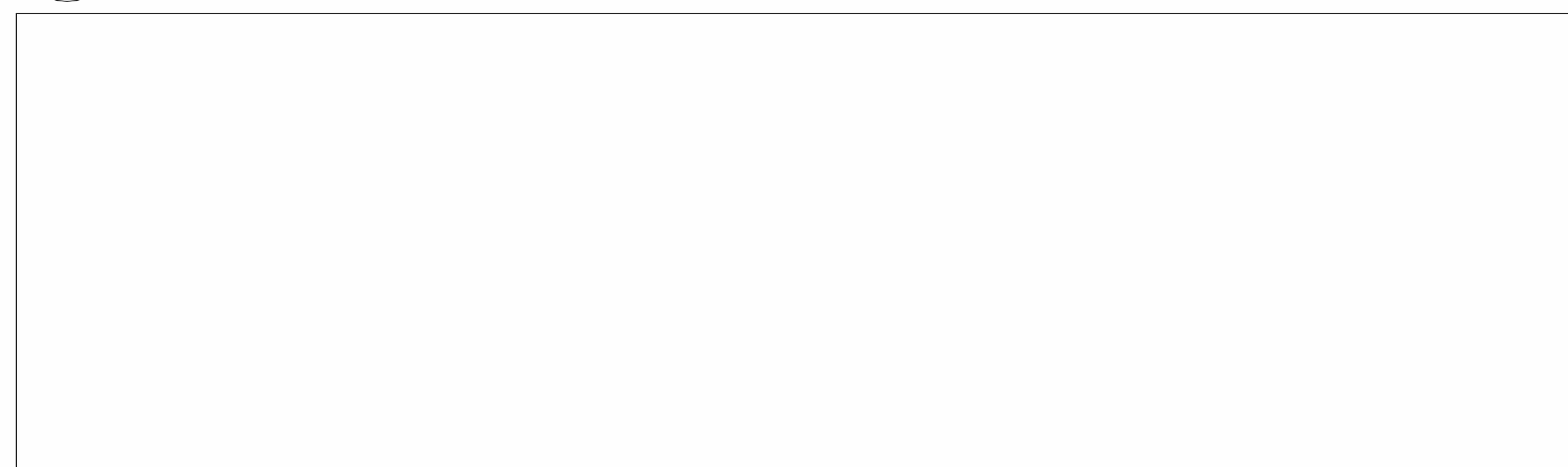
03 EAST ELEVATION

A201 Scale: 1 : 500



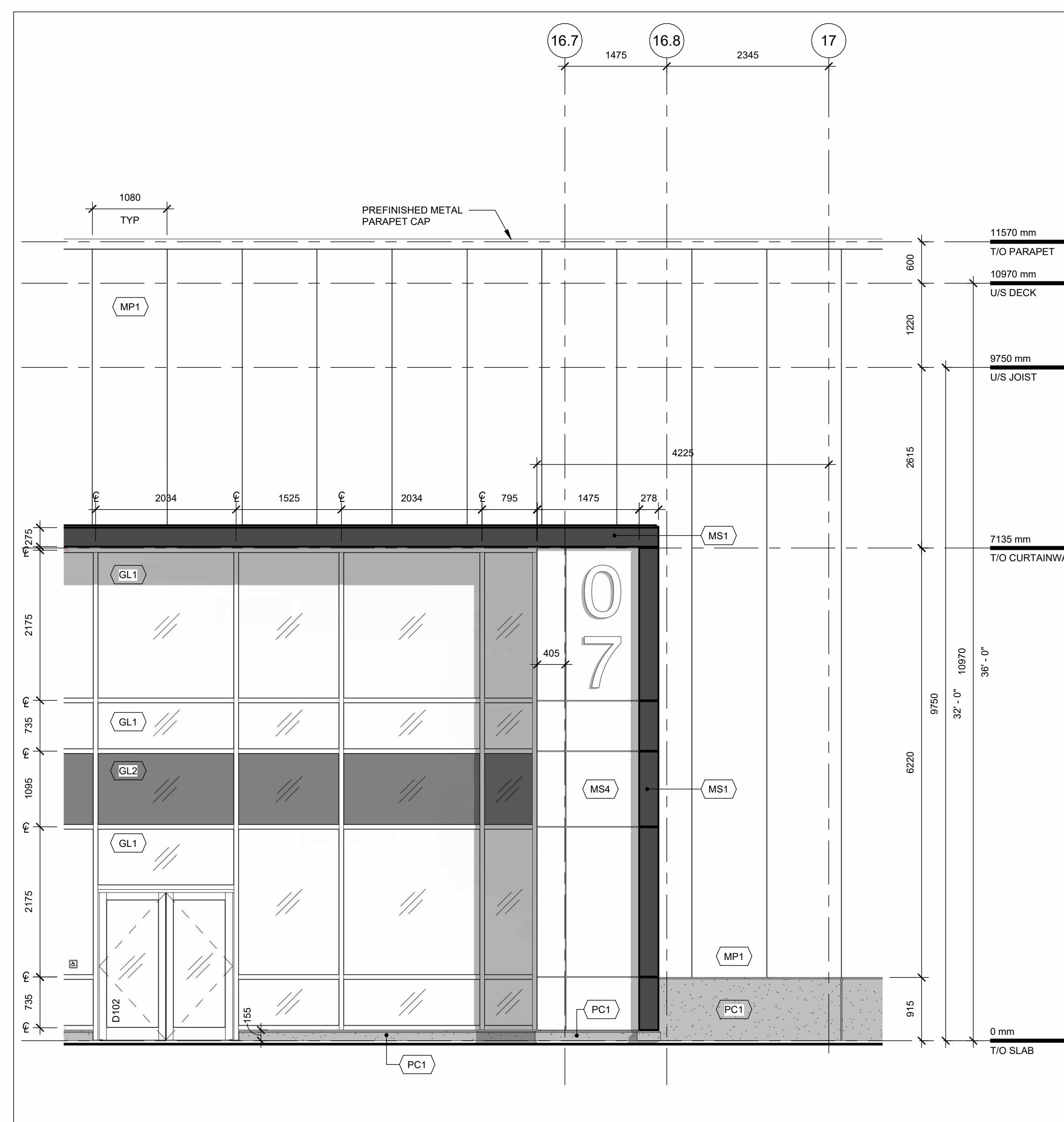
04 WEST ELEVATION

A201 Scale: 1 : 500



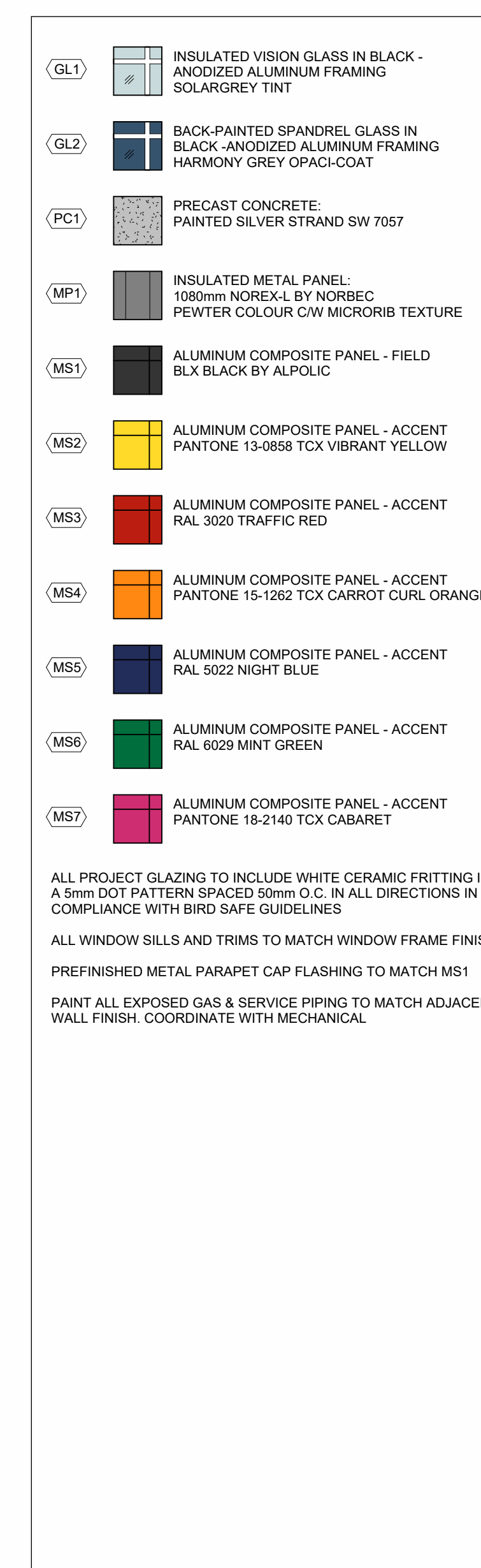
05 RESERVED

A201 Scale: N/A



06 SOUTH ELEVATION DETAIL - TYPICAL SUITE ENTRANCE

A201 Scale: 1 : 50



07 FINISH SCHEDULE

A201 Scale: N/A

North

Revisions

Revision Number	Description	Date
01	ISSUED FOR COORDINATION	2025-11-27
02	ISSUED FOR COORDINATION	2025-12-02
03	ISSUED FOR COORDINATION	2025-12-05
04	ISSUED FOR COORDINATION	2025-12-09
05	ISSUED FOR SITE PLAN AMENDMENT	2025-12-19
06	ISSUED FOR COORDINATION	2026-03-13
07	ISSUED FOR COORDINATION	2026-04-02
08	ISSUED FOR COORDINATION	2026-04-24
09	REVISED FOR SITE PLAN AMENDMENT	2026-04-29

Project

NATIONAL CAPITAL BUSINESS PARK BUILDING A3

4055 RUSSELL RD.
OTTAWA, ON K1G 6Y4

Drawing

EXTERIOR ELEVATIONS

Scale As indicated
 Drawn ERM
 Checked ERM

Stamp
 ONTARIO ASSOCIATION OF ARCHITECTS
 IAN EDWARD WILLSON
 LICENCE 7456

Project No. 25-199
 Drawing No. **A201**
 Date NOV 2025