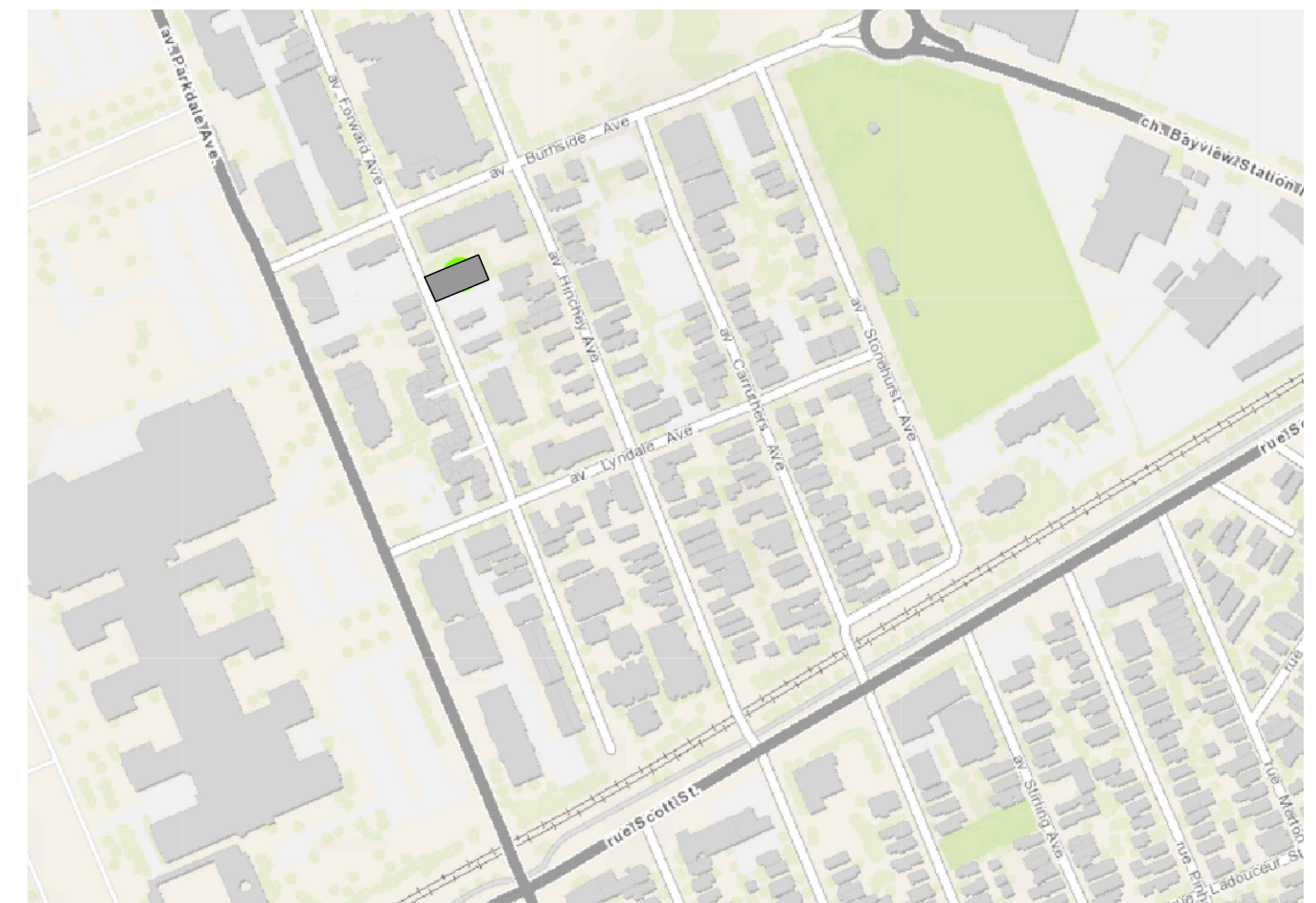
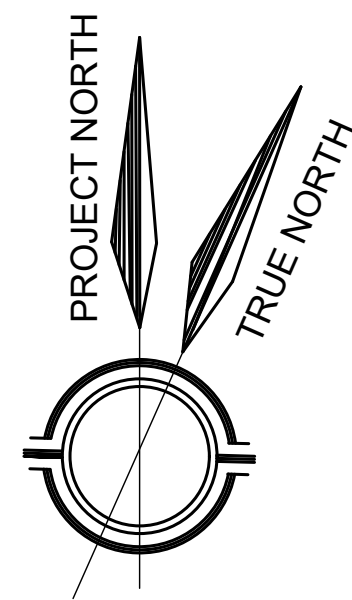




CLIENT:

IN HARMONY DEVELOPMENTS

 IN HARMONY

ENTUITIVE

275 Slater St. Suite 1001
Ottawa, Ontario K1P 5H9
Tel: 343 308 9274
Email: greg.woltman@entuitive.com

JAIN CONSULTANTS
7405 East Danbro Crescent,
Mississauga, Ontario, L5N 6P8
Tel: 905 285 9900, Fax: 905 567 5246
Email : mail@jainconsultants.com

SURVEYOR:
ANNIS, O'SULLIVAN, VOLLEBEKK Ltd.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850
Fax: (613) 727-1079

PLANNING:



IVII •



ARCHITECT

SUSAN D. SMITH ARCHITECT
941 MERIVALE RD
Ottawa, Ontario
613-722-5327
S.SMITH@SDSARCH.CA

PROPERTY DESCRIPTION:
Legal Description: PART 1 - PLAN OF OF LOT 3
EAST FORWARD AVE.
REGISTERED PLAN 35
CITY OF OTTAWA
Base on survey prepared by Annis, O'Sullivan, Vollebekk Ltd.

DEVELOPMENT DATA:

Site Zoning Designation: R4UD
Site area: 504.46 m²
Frontage as per survey: 15.34 m.
Depth as per survey: 32.91 m.
Building Area (Footprint): 285.31 m² (57% lot coverage)
Gross Floor Area : 1070.96 m²

City of Ottawa Zoning By-law No. 2008-250 and By-law No. 2026-50				
LOW RISE APARTMENT 4 STOREY, 18 UNIT		REQUIRED		PROPOSED
		By-law No. 2008-250 -R4-UD	By-law No. 2026-50 -N4B	
MINIMUM LOT WIDTH		15m	7.5m	15.34m
MINIMUM LOT AREA		450m²	no	504.46m²
MAXIMUM BUILDING HEIGHT		14.5m	14.5m	13.93m
MINIMUM FRONT YARD SETBACK		(1.57+4.5)/2=3.03m	1.57 (Neighboring building)	2.50m (M.V. Granted)
MINIMUM CORNER SIDE YARD SETBACK		3m	3m	N/A
MINIMUM REAR YARD SETBACK		7.5m	7.5m	7.5m
MINIMUM INTERIOR SIDE YARD SETBACK		1.5m	1.8m (total both sides)	1.5m & 1.5m
LANDSCAPE AREA		30%	N/A	43%
SOFT LANDSCAPE AT FRONT YARD		20% OF FRONT YARD	20% OF FRONT YARD	23% OF FRONT YARD
SOFT LANDSCAPE AT REAR YARD		50% OF REAR YARD REAR YARD AREA: 79.8 m²	50% OF REAR YARD REAR YARD AREA: 79.8 m²	51% OF REAR YARD
FENESTRATION ON FRONT WALL		25%	N/A	30%
BALCONIES AT FRONT YARD		1/UNIT (FACING STREET)	N/A	1/UNIT (FACING STREET)
Bicycle Parking (0.5/unit)		18 UNIT @0.5=9 (Tenant) 2 (Visitor)	18 UNIT @1=18 (Long-term) 2 (Short-term)	18 (Tenant) 2 (Visitor)
Vehicle Parking	Visitor Tenant	18 -12 =6@0.1=0.6 0	0 0	1 0

NOTE:

1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

NEW APARTMENT BUILDING
133 FORWARD AVE.
OTTAWA, ONT.
K1Y 1L4

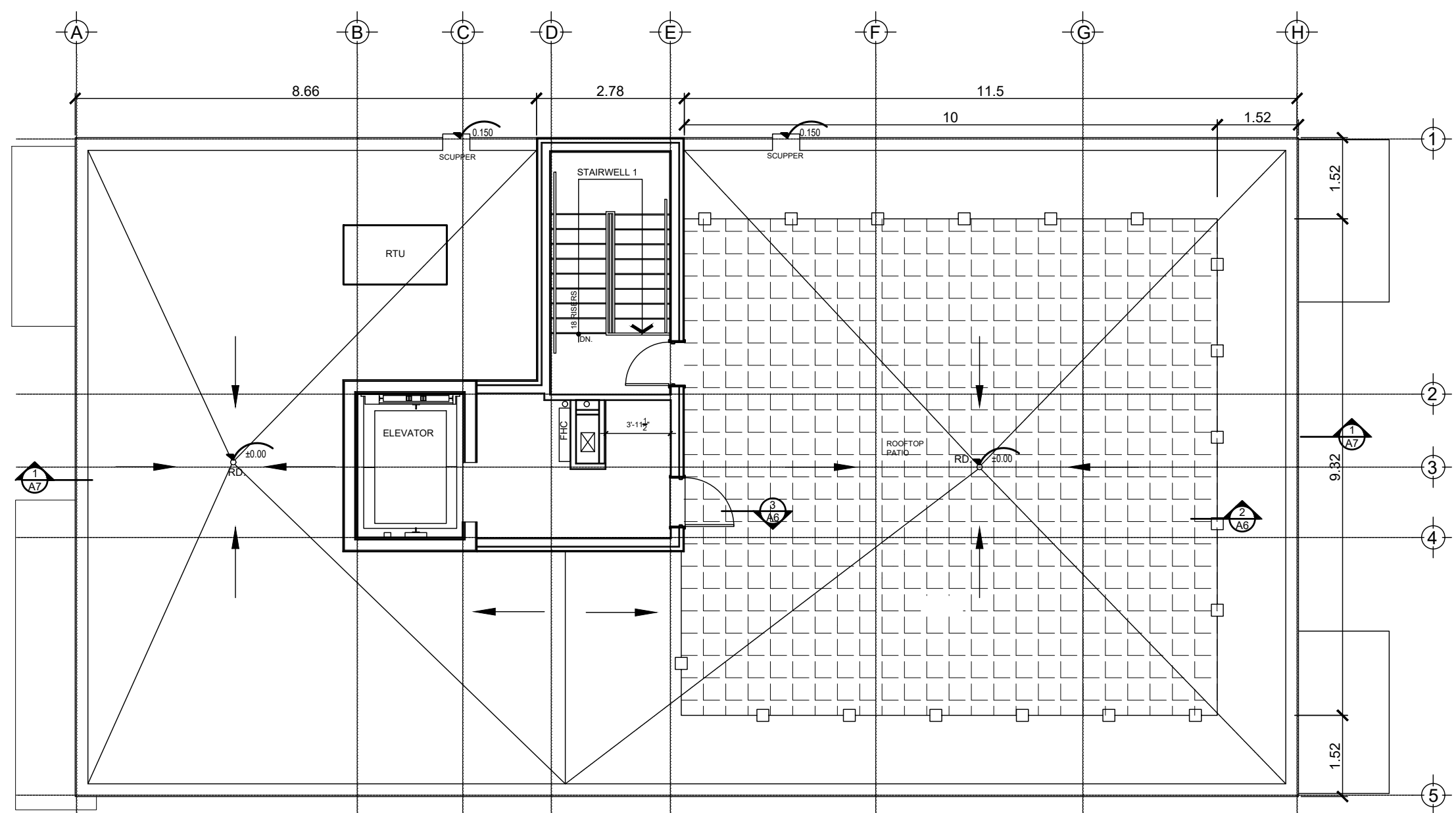
SITE PLAN

Scale	AS NOTES
Drawn	TD
Checked	SDS
Date	OCT/2025
Job #	2561

SP

#19414

007-12-25-0174

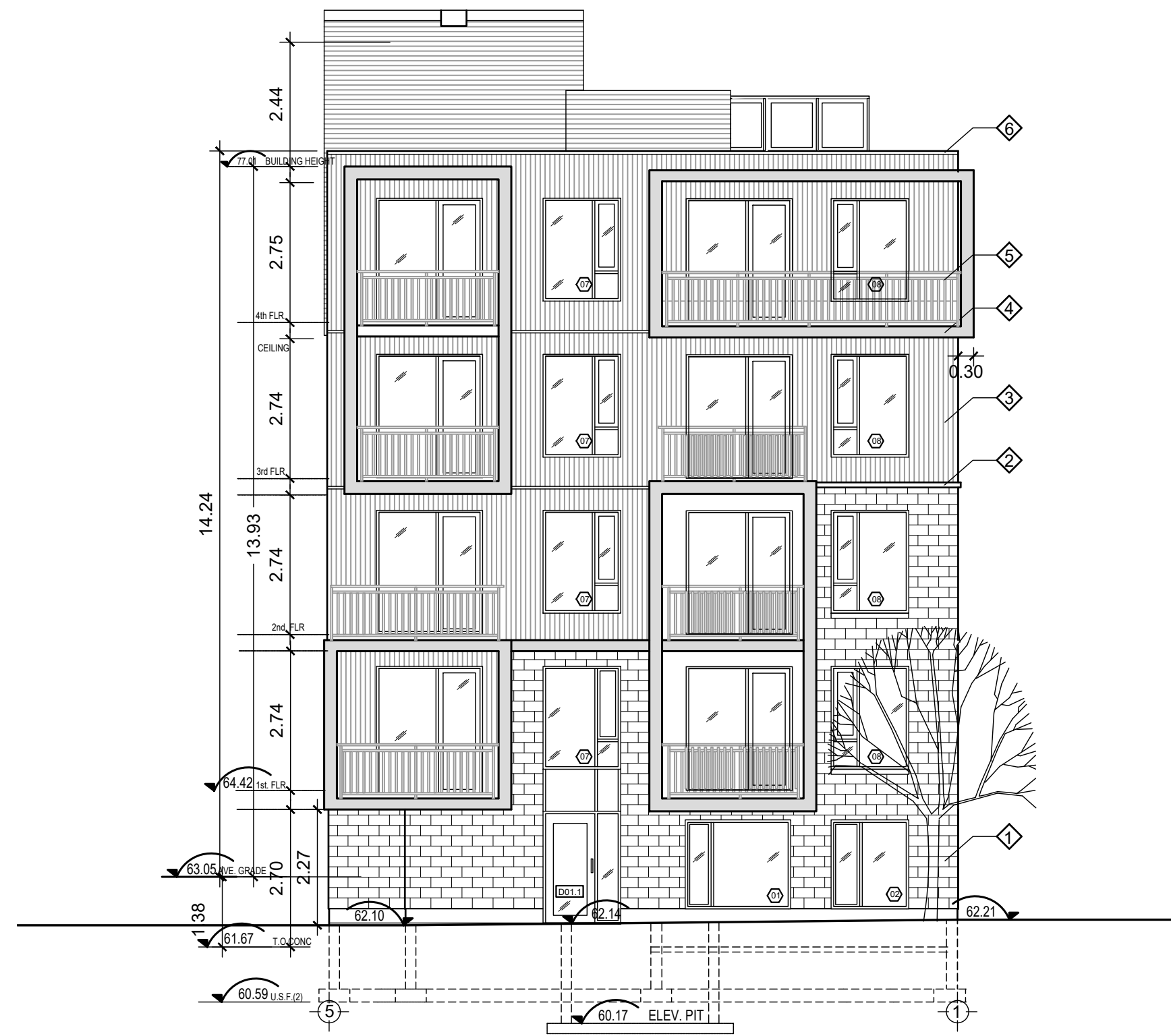


2 ROOF PLAN
SP Scale: 1/100

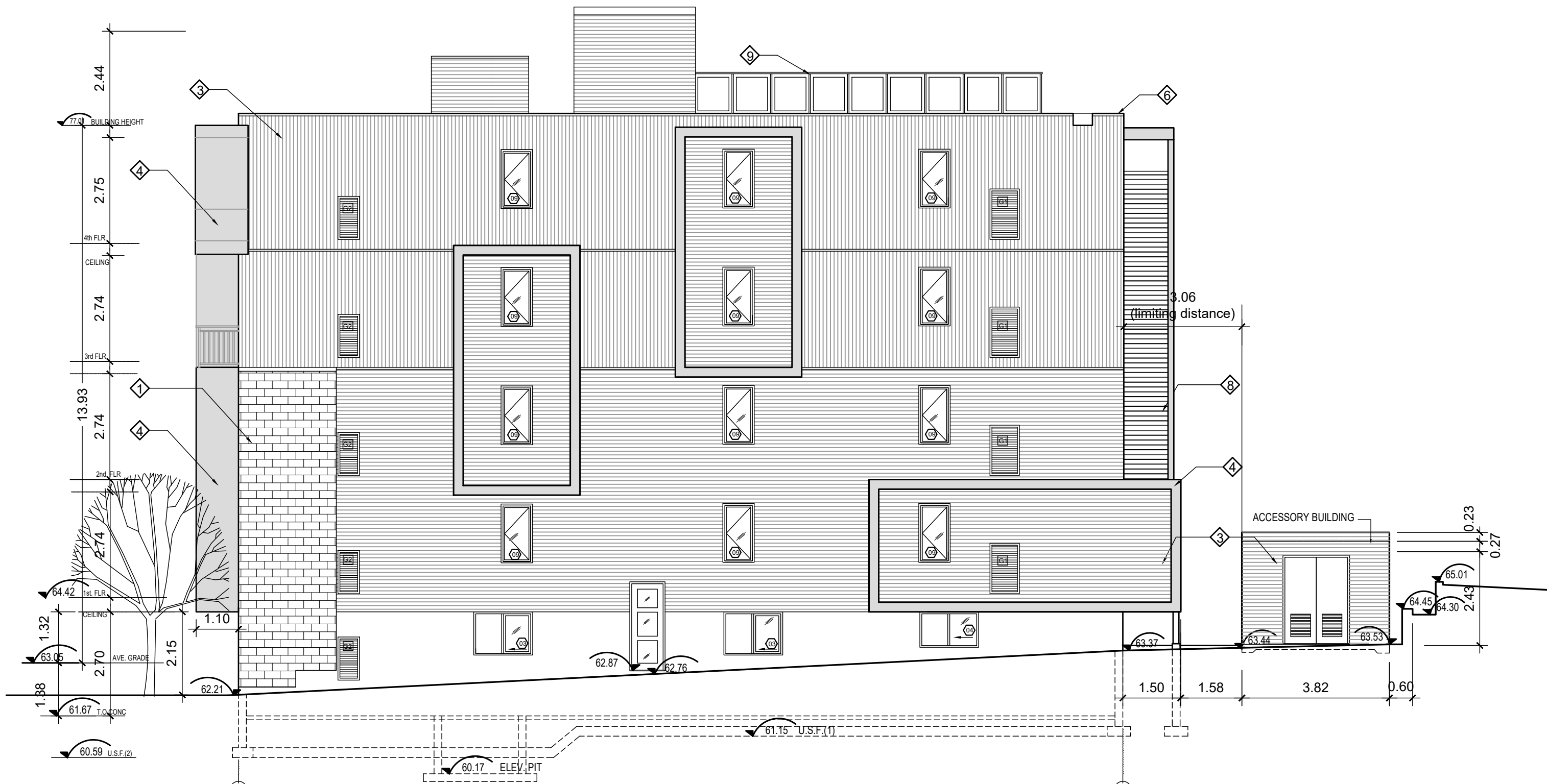
ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By mcreighan at 8:46 am, Jul 03, 2026

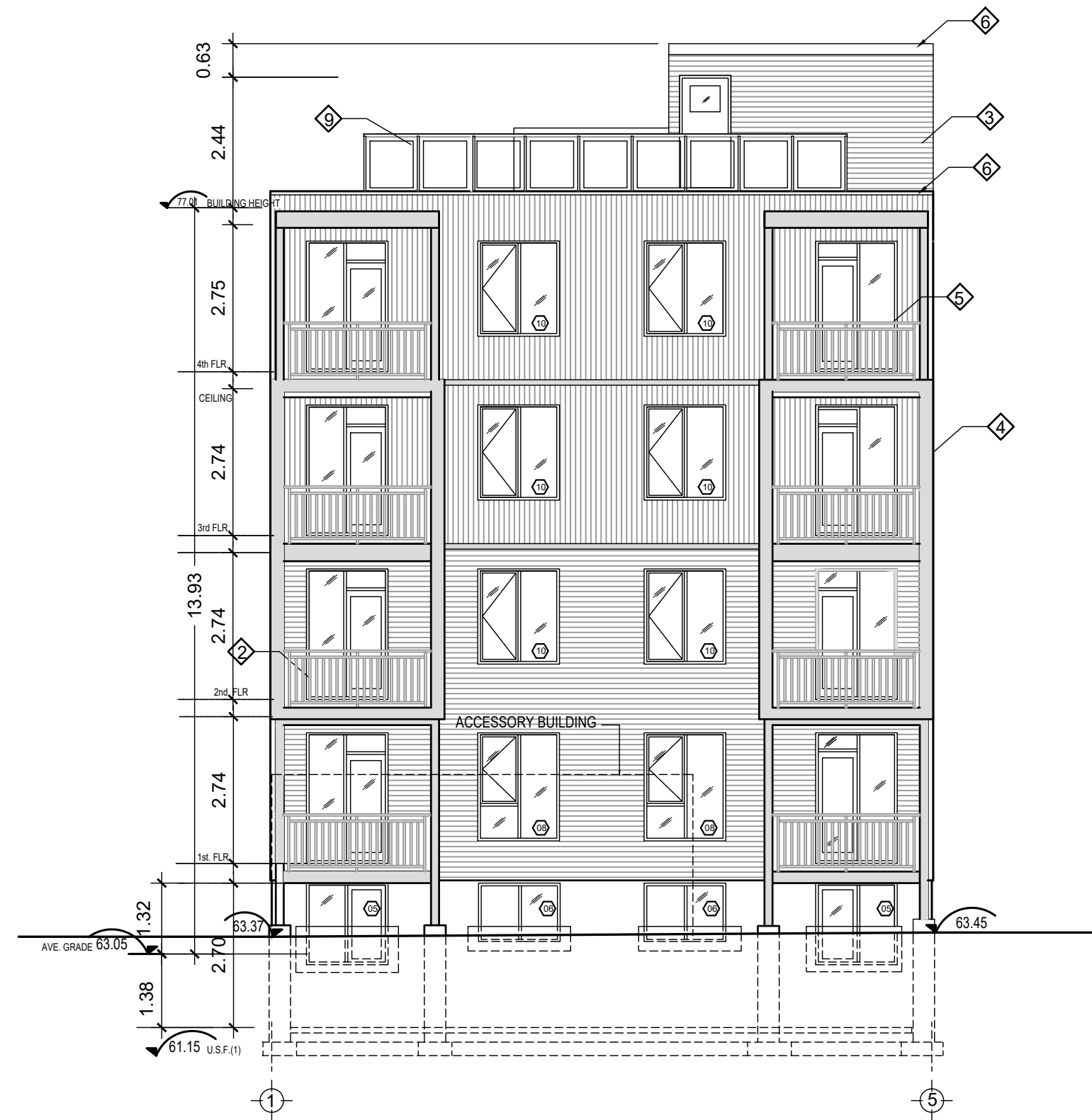
AVERAGE GRADE= $(62.48+62.55+63.77+63.41)/4=63.05$



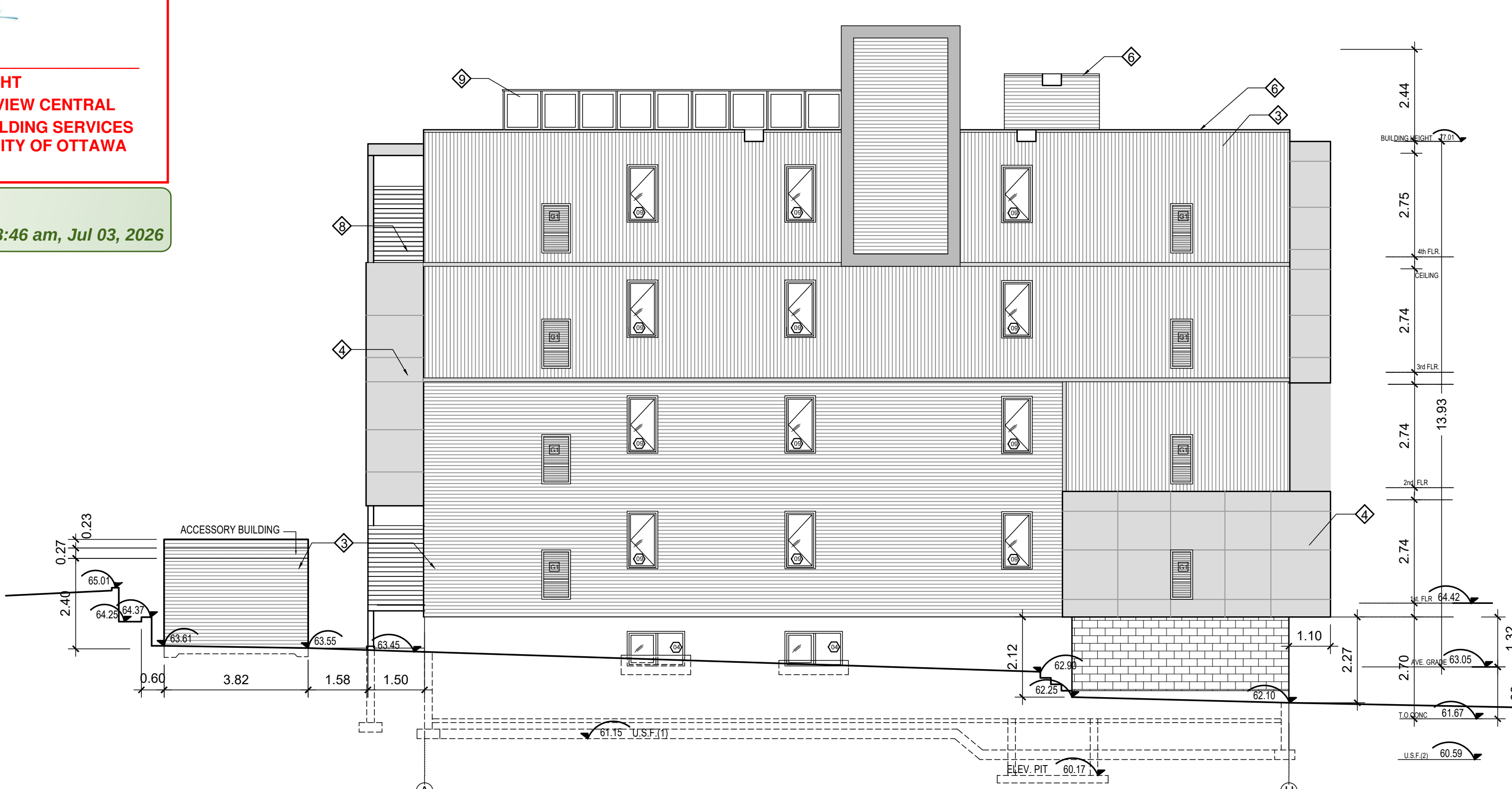
1 EL WEST ELEVATION
SCALE: 1/100



2 EL SOUTH ELEVATION
SCALE: 1/100



3 EL EAST ELEVATION
SCALE: 1/100



4 EL NORTH ELEVATION
SCALE: 1/100

- DRAWINGS NOTES:
- 1/ MASONRY CLADDING
 - 2/ MASONRY SILL
 - 3/ DISTINCTION STEEL SIDING BLACK - SMOKED BLACK
 - 4/ JAMES HARDIE PANELS - LIGHT GREY
 - 5/ METAL HANDRAIL - LIGHT GREY
 - 6/ ALUMINUM CAPPING - BLACK
 - 7/ VERTICAL METAL BAR- WOOD TEXTURE
 - 8/ OPAQUE SCREENING
 - 9/ GLASS GUARDRAIL. PROVIDE PRE-ENG. APPROVED SHOP DRAWINGS TO CITY INSPECTOR

Andrew McCreight

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By mcreighan at 8:46 am, Jul 03, 2026

CLIENT:
IN HARMONY DEVELOPMENTS
IN+HARMONY

SURVEYOR:
ANNIS, O'SULLIVAN, VOLLEBEKK Ltd.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850
Fax: (613) 727-1079

PLANNING:
HPURBAN inc.

CIVIL:
exp.

ARCHITECT:
SUSAN D. SMITH ARCHITECT
941 MERIVALE RD
Ottawa, Ontario
613-722-5327
S.SMITH@SDSARCH.CA

3	REISSUED FOR SPC	MAY 13/26
2	REISSUED FOR SPC	MAR. 11/26
1	REISSUED FOR SPC	FEB. 18/26
0	ISSUED FOR SPC	DEC. 03/25
No.	REVISION	DATE

NOTE:
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

NEW APARTMENT BUILDING
133 FORWARD AVE.
OTTAWA, ONT.
K1Y 1L4

Scale	AS NOTES	EL
Drawn	TD	
Checked	SDS	
Date	OCT/2025	
Job #	2561	