



Certification Form for TIA Study PM

TIA Plan Reports

On April 14, 2022, the Province's Bill 109 received Royal Assent providing legislative direction to implement the More Homes for Everyone Act, 2022 aiming to increase the supply of a range of housing options to make housing more affordable. Revisions have been made to the TIA guidelines to comply with Bill 109 and streamline the process for applicants and staff.

Individuals submitting TIA reports will be responsible for all aspects of development-related transportation assessment and reporting, and undertaking such work, in accordance and compliance with the City of Ottawa's Official Plan, the Transportation Master Plan and the Transportation Impact Assessment (2017) Guidelines.

By submitting the attached TIA report (and any associated documents) and signing this document, the individual acknowledges that they meet the four criteria listed below.

CERTIFICATION

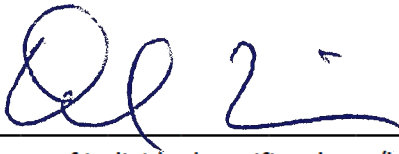
- I have reviewed and have a sound understanding of the objectives, needs and requirements of the City of Ottawa's Official Plan, Transportation Master Plan and the Transportation Impact Assessment (2017) Guidelines; (Update effective July 2023)
- I have a sound knowledge of industry standard practice with respect to the preparation of transportation impact assessment reports, including multi modal level of service review;
- I have substantial experience (more than 5 years) in undertaking and delivering transportation impact studies (analysis, reporting and geometric design) with strong background knowledge in transportation planning, engineering or traffic operations; and
- I am either a licensed or registered¹ professional in good standing, whose field of expertise
 - is either transportation engineering
 - or transportation planning.

¹ License of registration body that oversees the profession is required to have a code of conduct and ethics guidelines that will ensure appropriate conduct and representation for transportation planning and/or transportation engineering works.

Dated at Ottawa this 3rd day of July, 20 25.
(City)

Name : Daniel Riendeau

Professional title: Transportation Engineer



Signature of individual certifier that s/he/they meet the above criteria

Office Contact Information (Please Print)

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City / Postal Code: Ottawa, ON K2G 5W3

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Email Address: daniel.riendeau@bteng.ca

Stamp



Revision Date: June 2023

City of Ottawa 2017 TIA Guidelines Screening Form

1. Description of Proposed Development

Municipal Address	1925 Merivale Road, Nepean, K2G 1E7
Description of Location	Drummond's Gas station (8 fueling positions with kiosk)
Land Use Classification	IG – General Industrial Zone
Development Size (units)	New canopy with 10 fueling positions
Development Size (m ²)	New 298 m ² convenience store
Number of Accesses and Locations	2 on Bongard Ave, 1 on Merivale Rd, 1 to/from north lot (Cooper)
Phase of Development	1
Buildout Year	2026

If available, please attach a sketch of the development or site plan to this form.

2. Trip Generation Trigger

Considering the Development's Land Use type and Size (as filled out in the previous section), please refer to the Trip Generation Trigger checks below.

Table notes:

1. Table 2, Table 3 & Table 4 TRANS Trip Generation Manual
2. Institute of Transportation Engineers (ITE) Trip Generation Manual 11.1 Ed.

Land Use Type	Minimum Development Size
Single-family homes	60 units
Multi-Use Family (Low-Rise) ¹	90 units
Multi-Use Family (High-Rise) ¹	150 units
Office ²	1,400 m ²
Industrial ²	7,000 m ²
Fast-food restaurant or coffee shop ²	110 m ²
Destination retail ²	1,800 m ²
Gas station or convenience market ²	90 m ²

If the proposed development size is greater than the sizes identified above, the Trip Generation Trigger is satisfied.

Based on the ITE Trip Generation Manual, adding a convenience store and 2 more fueling positions will generate over 75 more trips during the morning peak hour. Therefore, the Trip Generation Trigger is considered satisfied.

3. Location Triggers

	Yes	No
Does the development propose a new driveway to a boundary street that is designated as part of the City's Transit Priority Network, Rapid Transit network or Cross-Town Bikeways?		X
Is the development in a Hub, a Protected Major Transit Station Area (PMTSA), or a Design Priority Area (DPA)? ²		X

If any of the above questions were answered with 'Yes,' the Location Trigger is satisfied.

4. Safety Triggers

	Yes	No
Are posted speed limits on a boundary street 80 km/hr or greater?		X
Are there any horizontal/vertical curvatures on a boundary street limits sight lines at a proposed driveway?		X
Is the proposed driveway within the area of influence of an adjacent traffic signal or roundabout (i.e. within 300 m of intersection in rural conditions, or within 150 m of intersection in urban/ suburban conditions)?	X	
Is the proposed driveway within auxiliary lanes of an intersection?	X	
Does the proposed driveway make use of an existing median break that serves an existing site?		X
Is there is a documented history of traffic operations or safety concerns on the boundary streets within 500 m of the development?		X
Does the development include a drive-thru facility?		X

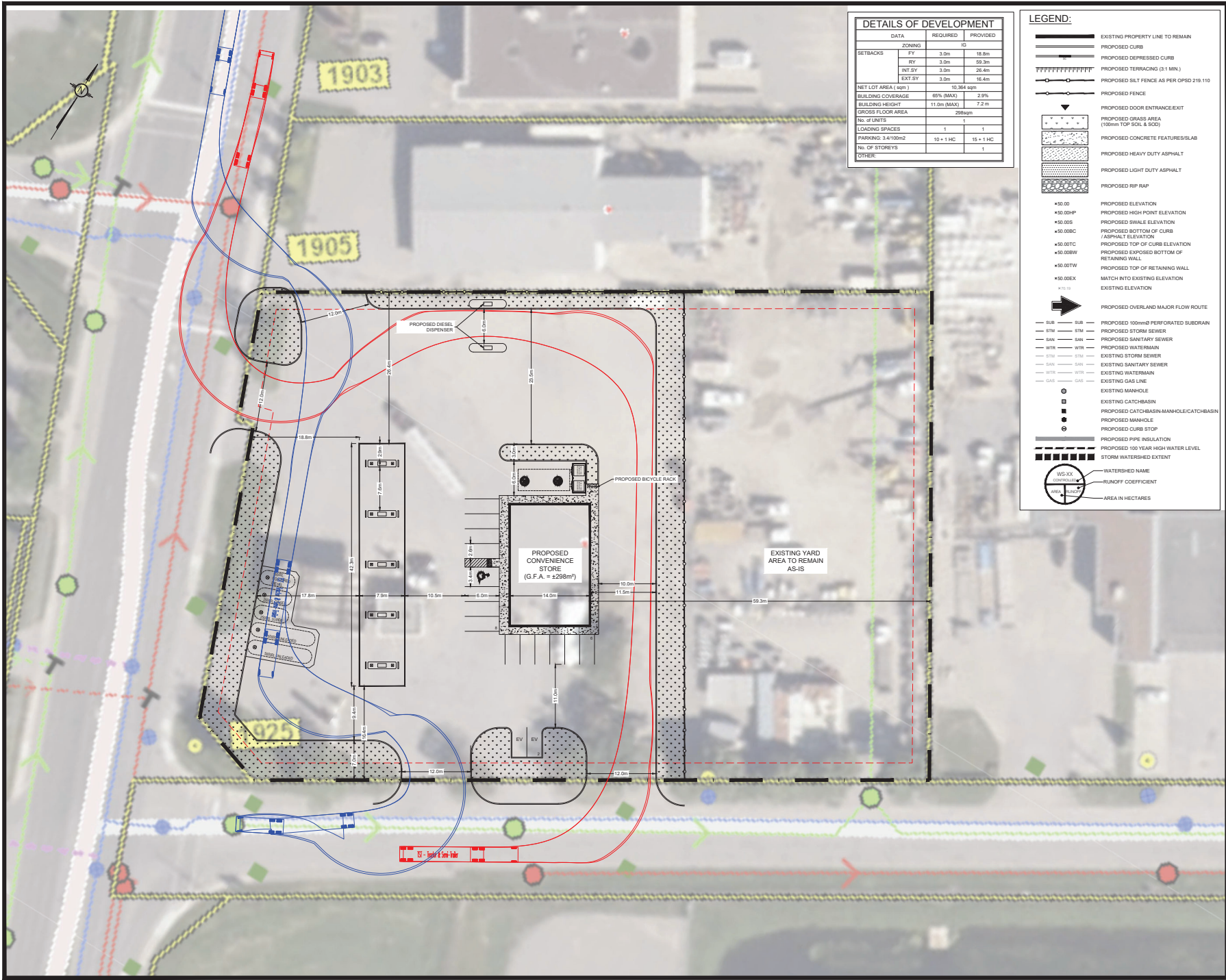
If any of the above questions were answered with 'Yes,' the Safety Trigger is satisfied.

5. Summary

	Yes	No
Does the development satisfy the results of screening?	X	
Does the development satisfy the Location Trigger?		X
Does the development satisfy the Safety Trigger?	X	

² Hubs are identified in Schedules B1 to B8 of the City of Ottawa Official Plan. PMTSAs are identified in Schedule C1 of the Official Plan. DPAs are identified in Schedule C7A and C7B of the Official. See Chapter 4 for a list of City of Ottawa Planning and Engineering documents that support the completion of TIA.

If none of the triggers are satisfied, the TIA Study is complete. If one or more of the triggers is satisfied, the TIA Study must continue into the next stage (Screening and Scoping).



DETAILS OF DEVELOPMENT		
DATA	REQUIRED	PROVIDED
ZONING		
SETBACKS	FY	3.0m
	FV	3.0m
	INT SY	3.0m
	EXT SY	3.0m
NET LOT AREA (sqm)		10,384 sqm
BUILDING COVERAGE	65% (MAX)	2.5%
BUILDING HEIGHT	11.0m (MAX)	7.2m
GROSS FLOOR AREA		208sqm
No. of UNITS		1
LOADING SPACES		1
PARKING 3.4/100m2	10 + 1 HC	15 + 1 HC
No. of STOREYS		1
OTHER:		

LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3-1 MIN)
- PROPOSED SILT FENCE AS PER OPD 218.110
- PROPOSED FENCE
- PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & 900)
- PROPOSED CONCRETE FEATURES/LAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- PROPOSED ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED SWALE ELEVATION
- PROPOSED BOTTOM OF CURB (ASPHALT ELEVATION)
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF RETAINING WALL
- MATCH INTO EXISTING ELEVATION
- EXISTING ELEVATION
- PROPOSED OVERLAND MAJOR FLOW ROUTE
- PROPOSED 100mm PERFORATED SUBDRAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN/MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED CURB STOP
- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

USE AND INTERPRETATION OF DRAWINGS

GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

REVISIONS

UNLESS THE REVISION TITLE IS "ISSUED FOR CONSTRUCTION", THESE DRAWINGS SHALL BE CONSIDERED PRELIMINARY AND SHALL NOT BE USED AS A CONSTRUCTION DOCUMENT.

THESE DRAWINGS ILLUSTRATE THE WORK TO BE DONE. THE ENGINEER IS NOT RESPONSIBLE FOR THE MEANS, METHOD, TECHNIQUE, SEQUENCE, AND PROGRAMME OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHOD, TECHNIQUE, SEQUENCE, AND PROGRAMME OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHOD, TECHNIQUE, SEQUENCE, AND PROGRAMME OF WORK.

NOT FOR CONSTRUCTION TENDER OR PERMIT

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CLIENT: **PETER DRUMMOND & SON LTD**

DESIGNED BY: P.P./M.L. DRAWN BY: M.L. APPROVED BY: M.B.

PROJECT: **SITE RE-DEVELOPMENT
 1925 MERVALE RD
 OTTAWA, ON**

DRAWING TITLE: **SITE DEVELOPMENT PLAN**

PROJECT NO: **250161 C201**