

No.	Issued For:	Date:
1	For SPA	Nov 03-2025
2	Revisions for SPA	Jan 12-2026
3	Revisions for SPA	Jan 14-2026
4	Revisions for SPA	Jan 22-2026

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect.

All Contractors must comply with pertinent codes & by-laws.

Do not scale drawings. This drawing may not be used for construction until signed. Architect's copyright reserved.

Metric Scale Drawing: All measurements are in millimeters (mm) unless otherwise noted.

Symbol Legend:



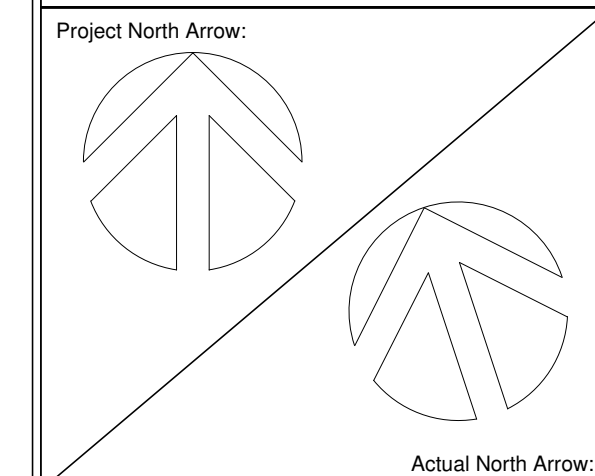
Developer:
Inverness Homes
Corp. ON. 613 831-9111
invernesshomes.ca

Planning:
Brigitte Alchawa, MCIP, RPP
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130 Kings Creek Road, Ashton, ON
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Civil Engineering:
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RCI Land Development
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Landscape Design:
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Levstek Consultants
5871 Hugh Crescent, Ottawa, ON
rlevstek@larocquelevstek.com

Surveyor:
John H. Cutri OLS, President
Fairhall Moffatt & Woodland Limited
Ontario Land Surveyors
100-600 Terry Fox Drive, Kanata, ON
(613) 591-2580 / john@fmw.ca



Architect:

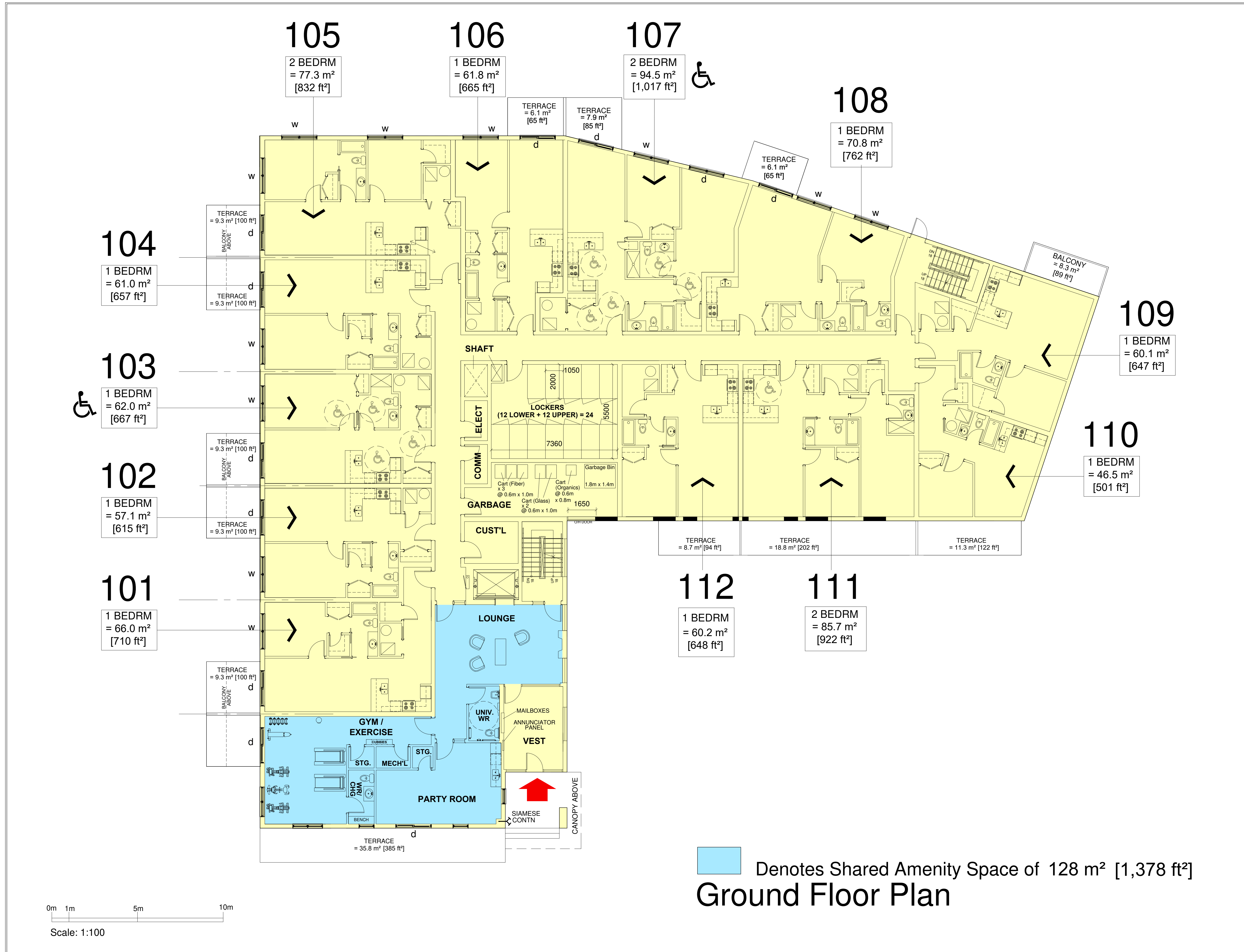
Peter Mansfield, Architect
B. Tech., M. Arch., O.A.A.
122 Bridge Street, Almonte, ON
613-296-5213

Project Title:
Proposed Apartment Building
391 Hiversum Lane, Carp, ON

Drawing List:
Ground Floor Plan

Job No.: 2404
Scale: As Noted
Date: Nov 03-2025
Drawn By: PM
Reviewed By: PM

Drawing No.:
A1

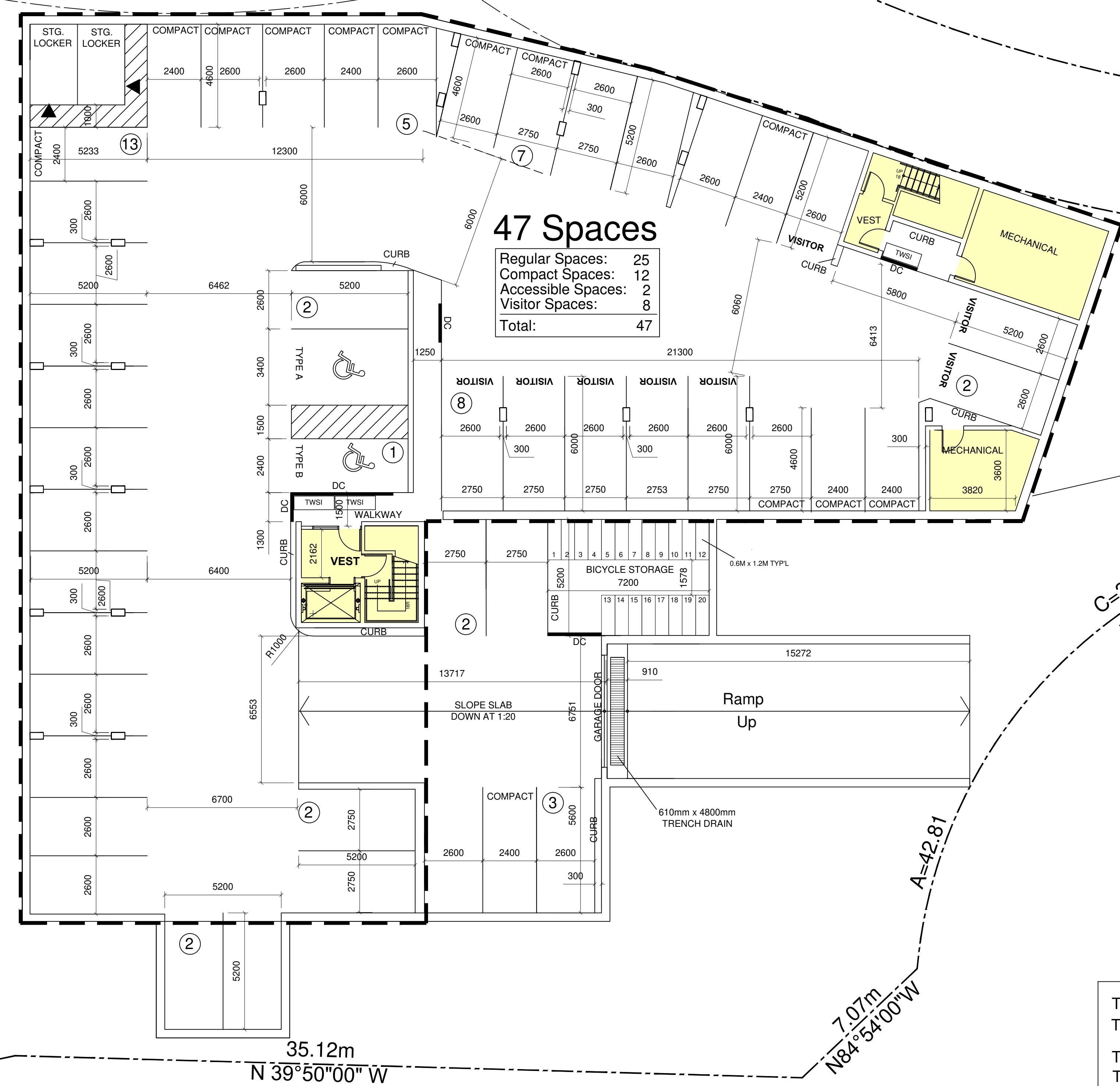
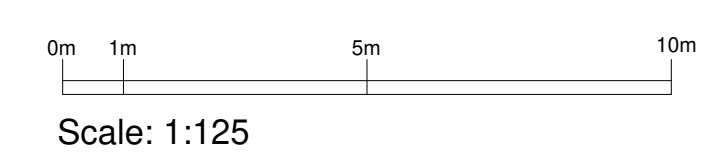


 Denotes Shared Amenity Space of 128 m² [1,378 ft²]
Ground Floor Plan

1.43m

N 48°33'40" E
54.9m

4.24m
N53°07'30"W
11.55



47 Spaces
Regular Spaces: 25
Compact Spaces: 12
Accessible Spaces: 2
Visitor Spaces: 8
Total: 47

C=36.22
R=21.74

A=42.81

7.07m
N84°54'00"W

N84°08'20"E
12.21m

Total Parking Spaces Required = 39 Units x 1.2 Spaces/Unit = 47
Total Parking Spaces Provided = 47

Total Accessible Parking Spaces Required = 2
Total Accessible Parking Spaces Provided = 2

Bicycle Spaces Provided = 20

Below Grade Parking

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INVERNESS HOMES

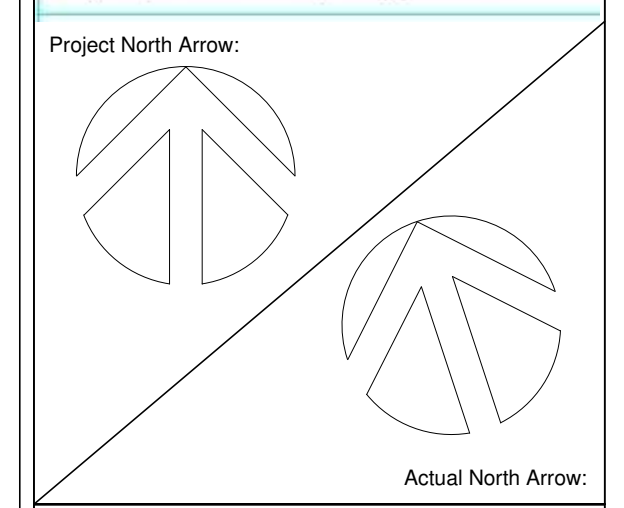
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Project Title:
Proposed Apartment Building
391 Hiversum Lane, Carp, ON

Drawing List:
Lower Level Plan

Job No.:	2404	Drawing No.:	A0.1
Scale:	1:125		
Date:	Nov 03-2025		
Drawn By:	PM	Reviewed By:	

