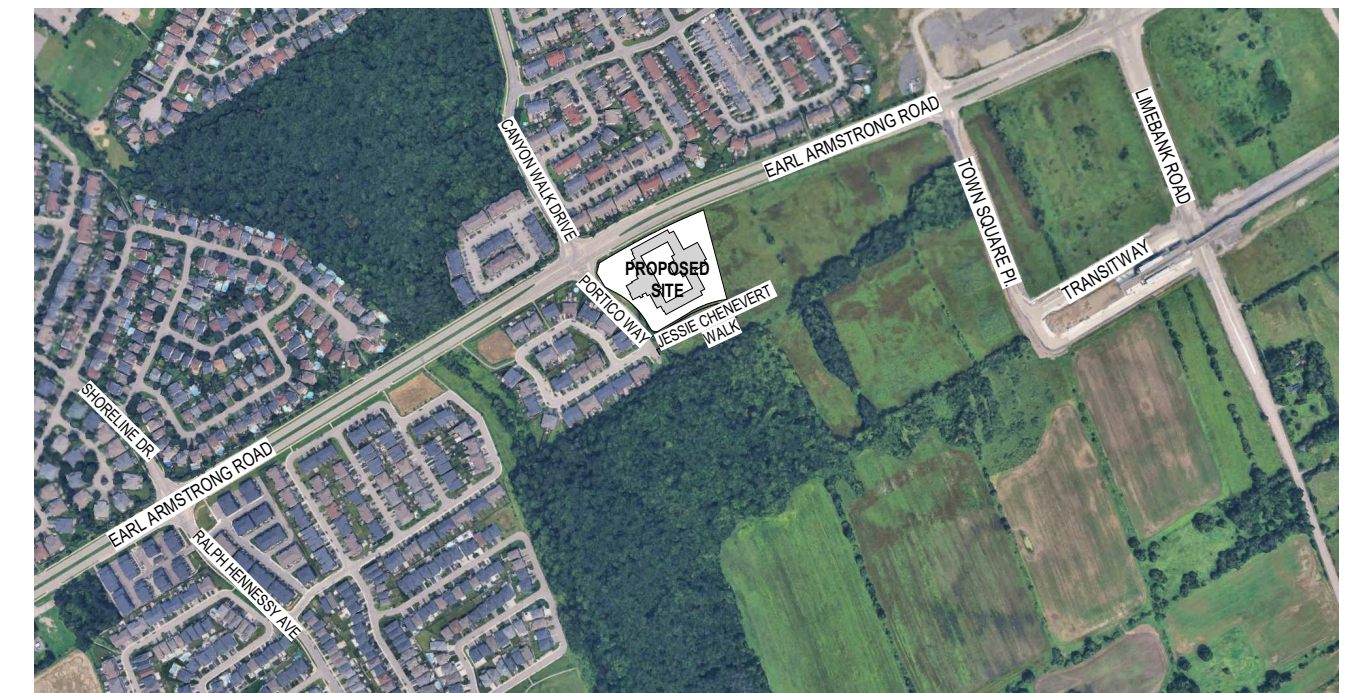


SITE DATA		
SITE DESCRIPTION	PART OF LOT 21, CONCESSION 1, GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA	
SITE ADDRESS	400 JESSIE CHENEVERT WALK	
PROPOSED USE	4 STOREY LONG TERM CARE (256 BEDS)	
BUILDING FOOTPRINT	4,157 sq.m	
PAVED SURFACE AREA	3,430 sq.m	
ZONING		
	REQUIRED	PROVIDED
ZONE	N/A	AM - Arterial Mainstreet
LOT AREA	NO MINIMUM	16,323sq.m (1.63 ha)
FRONT YARD & CORNER SIDE YARD	NO MINIMUM; MAXIMUM (FIRST TWO STOREYS OF THE BUILDING): 3.5 METRES	5.3m
MIN. INTERIOR SIDE YARD	NO MINIMUM	N/A
MIN. REAR YARD	NO MINIMUM	N/A
BUILDING HEIGHT	MINIMUM: 2 STOREYS; MAXIMUM: 12 STOREYS *Note that Airport Zoning Restrictions Superseded	16.6m
MAX. FLOOR SPACE INDEX	NO MAXIMUM	N/A
MIN. WIDTH OF LANDSCAPED AREA AROUND PARKING	3m - Abutting Street 1.5m - Abutting Adjacent Property	3m - Abutting Street 1.5m - Abutting Adjacent Property
MIN. LANDSCAPE AREA	A MINIMUM OF 15% OF THE AREA OF ANY PARKING LOT MUST BE PROVIDED AS PERIMETER OR INTERIOR LANDSCAPED AREA. 15% of Parking = 353sq.m	514.5 sq.m
AMENITY AREA	RESIDENTIAL CARE FACILITY: 10% OF THE GROSS FLOOR AREA OF EACH ROOMING UNIT, ALL OF WHICH MUST BE COMMUNAL 10% ROOMING UNITS = 390sq.m	1300sq.m (walking path area) + 1800sq.m (communal courtyard) = 3100sq.m total.
PARKING		
	REQUIRED	PROVIDED
PARKING SPACES	0.25 x 256 BEDS + 1 PER 100 sq.m (medical, health/personal services) = 79	87 (EXCLUDING TYPE A & B)
BARRIER-FREE SPACES	2 TYPE A + 4 TYPE B (AS PER AODA)	2 TYPE A + 4 TYPE B
LOADING SPACES	2 (5m)	1 (20m) + 1 (5m)
BICYCLE PARKING	1 per 1500 sq.m GFA = 10	20
BUILDING DATA		
GROSS BUILDING AREA		
GROUND FLOOR LEVEL	4,157 sq.m	
SECOND FLOOR LEVEL	3,542 sq.m	
THIRD FLOOR LEVEL	3,525 sq.m	
FOURTH FLOOR LEVEL	3,455 sq.m	
ROOF: STAIR	8 sq.m	
TOTAL	14,687 sq.m	



KEY PLAN

2 02.17.26 ISSUED FOR SPA RESUBMISSION MSA
date: revision: by:
revisions



All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

EXTENDICARE RIVERSIDE

400 Jessie Chenevert Walk
Ottawa, ON
PART OF LOT 21, CONCESSION 1,
GEOGRAPHIC TOWNSHIP OF
GLOUCESTER, CITY OF OTTAWA

PROJECT STATS

scale: 1 : 3000
drawn by: AL MD
reviewed by: MCS
job number: 25010
plot date: 04/20/2026
drawing number:

A11.01

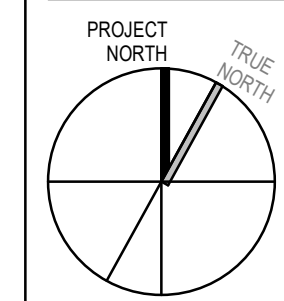
EARL ARMSTRONG ROAD

ROW 44.5m

Montgomery Sisam Architects Inc.

197 Spadina Avenue, Toronto, Ontario M5T 2C8 montgomerysisam.com
Tel 416.364.8079 Fax 416.364.7723

MontgomerySisam



SITE PLAN LEGEND

- PAVED PARKING AREA
- LANDSCAPED AREA
- CONCRETE
- HEAVY DUTY ASPHALT
- FDC FIRE DEPARTMENT CONNECTION

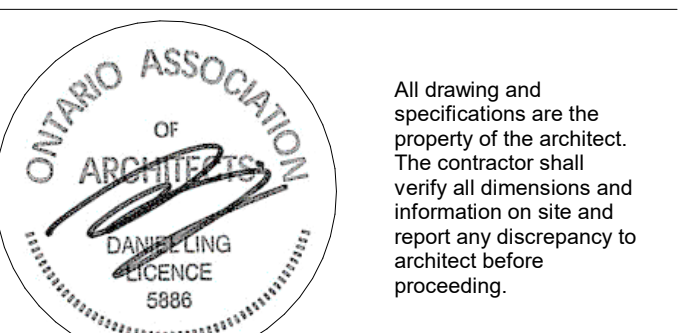
LEGAL DESCRIPTION

PIN:
04330-1862

DESCRIPTION:
400 Jessie Chenevert Walk
Ottawa, ON
PART OF LOT 21, CONCESSION 1, GEOGRAPHIC
TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA

PROPERTY BOUNDARY INFORMATION WAS DERIVED
FROM TOPGRAPHIC SURVEY OF BLOCK 1
REGISTERED PLAN 4M-1766 CITY OF OTTAWA, BY
ANNIS O'SULLIVAN, VOLLEBEK LTD. DATED
OCTOBER 22, 2025.

2 02.17.26 ISSUED FOR SPA RESUBMISSION MSA
1 11.13.25 ISSUED FOR SPA MSA
date: revision: by:



EXTENDICARE RIVERSIDE

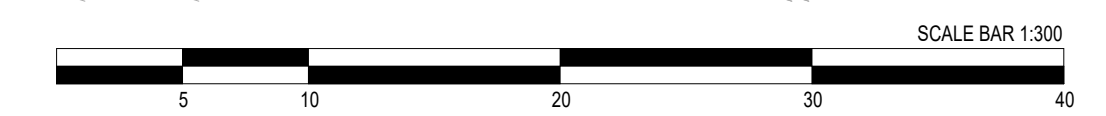
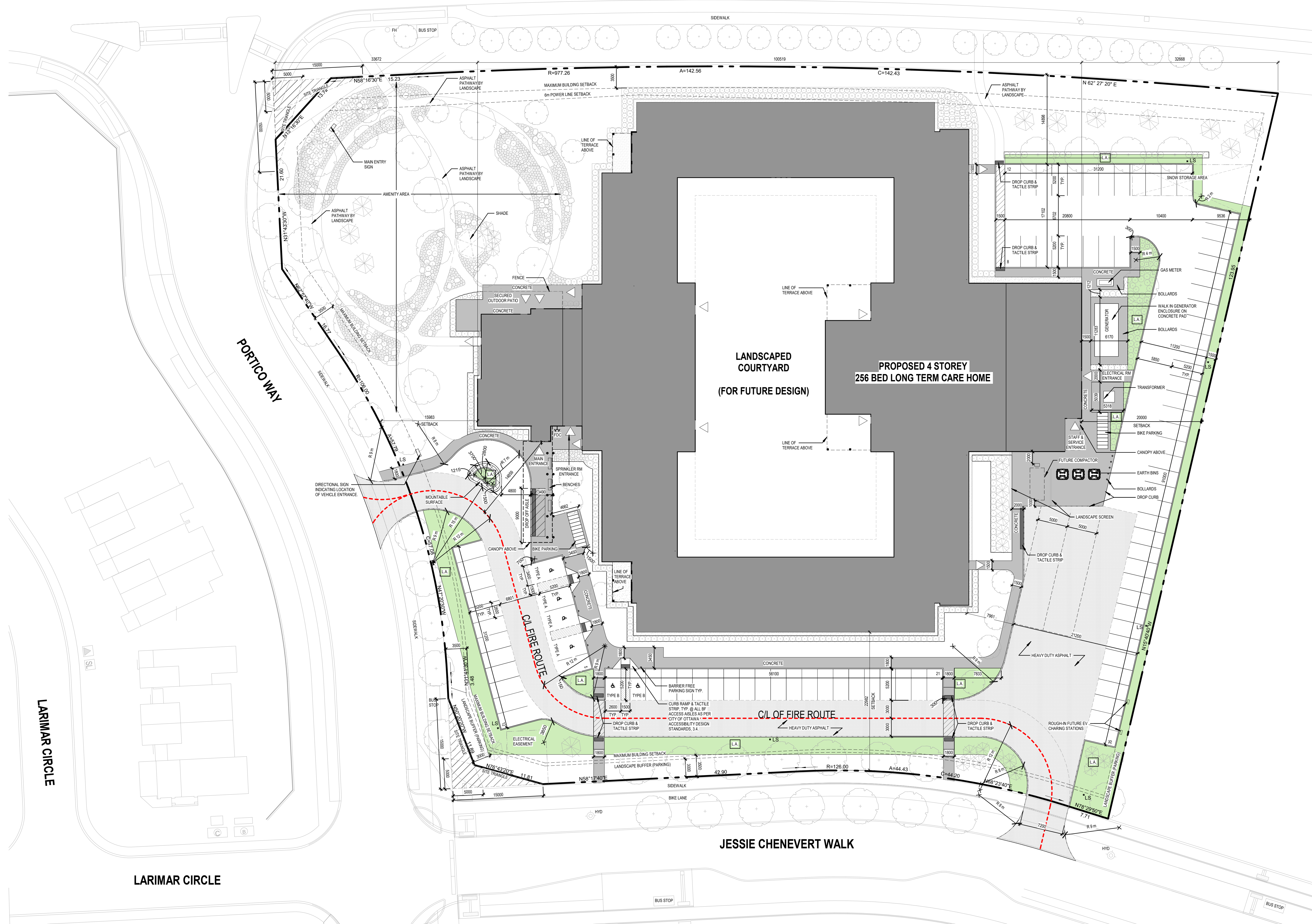
400 Jessie Chenevert Walk
Ottawa, ON
PART OF LOT 21, CONCESSION 1,
GEOGRAPHIC TOWNSHIP OF
GLOUCESTER, CITY OF OTTAWA

SITE CONTEXT PLAN

scale: As indicated
drawn by: AL, MD
reviewed by: MCS
job number: 25010
plot date: 04/20/2026
drawing number:

A11.02

FILE NUMBER: 007-12-25-0150 & 002-02-25-0084
PLAN NUMBER: #19413



SPA - SITE PLAN

1 : 300

4/20/2026 2:23:56 PM Autodesk Docs://25010_Extendicare Riverside/25010_EC Riverside_MSA_MAIN_R226.rvt