

(0.30 RESERVE)

**Site Statistics**

Site Area	10,891 m <sup>2</sup>
Paved Area	4,796 m <sup>2</sup>
Landscaped Area	2,835 m <sup>2</sup>
Building Coverage	3,348 m <sup>2</sup>
Gross Floor Area	7,693 m <sup>2</sup>
Commercial Gross Floor Area	707 m <sup>2</sup>
Total Units	72 Units
	48 Townhouse
	24 Apartment
Density	66UPH

**Zoning Provisions**

Required	Proposed	Conforms	
GM15(3021) Zone			
Front Yard Setback (min)	6.64m	Y	
Corner Side Yard Setback (min)	3.0m	Y	
Interior Side Yard Setback (min)	7.25m	Y	
Mixed Use	66.74m	Y	
Stacked Townhouse	7.25m	Y	
Rear Yard Setback (min)	7.5m	Y	
Lot Coverage Floor Space Index (max)	0.69	Y	
Building Height (max)	11.4m	Y	
Mixed Use	11.4m	Y	
Stacked Townhouse	11.4m	Y	
Parking Spaces (min)	110 spaces	Y	
Commercial (3.4/100m <sup>2</sup> )	24 spaces	Y	
Residential (1/unit)	72 spaces	Y	
Residential Visitor (0.2/unit)	14 spaces	Y	
Accessible Spaces	5 spaces	Y	
Type A	2 spaces	Y	
Type B	3 spaces	Y	
Size of Space	2.6 x 5.2m	Y	
Driveway Width (min)	6m	Y	
Aisle Width (min)	6.7m	Y	
Residential Use	6.0m	Y	
Parking Lot Landscaped Area (min)	15%	Y	
Parking Lot Landscaped Buffer (min)			
Abutting a Street	3m	11.99m	Y
Not Abutting a Street	3m	3.56m	Y
Refuse Collection (min)			
Abutting a Public Street	9m	11.99m	Y
From any Lot Line	3m	4.82m	Y
Bicycle Parking (min)	39 spaces	39 spaces	Y
Commercial (1/250m <sup>2</sup> )	3 spaces	3 spaces	Y
Residential (0.5/unit)	36 spaces	36 spaces	Y
Amenity Space (min) (6m <sup>2</sup> /unit)	432m <sup>2</sup>	965m <sup>2</sup>	Y
Communal (50% of required)	216m <sup>2</sup>	342m <sup>2</sup>	Y
Private	N/A	623m <sup>2</sup>	Y
Landscaped Area Width (min)			
Abutting a Street	3m	3m	Y
Abutting a Residential Zone	7.5m	7.5m	Y
Cumulative Non-Residential GFA (min)	700m <sup>2</sup>	707m <sup>2</sup>	Y
Private Way Width (min)	6m	6m	Y
Residential Setback to Private Way (min)	1.8m	3.8m	Y
Separation Area Between Buildings (min)	1.2m	5.14m	Y

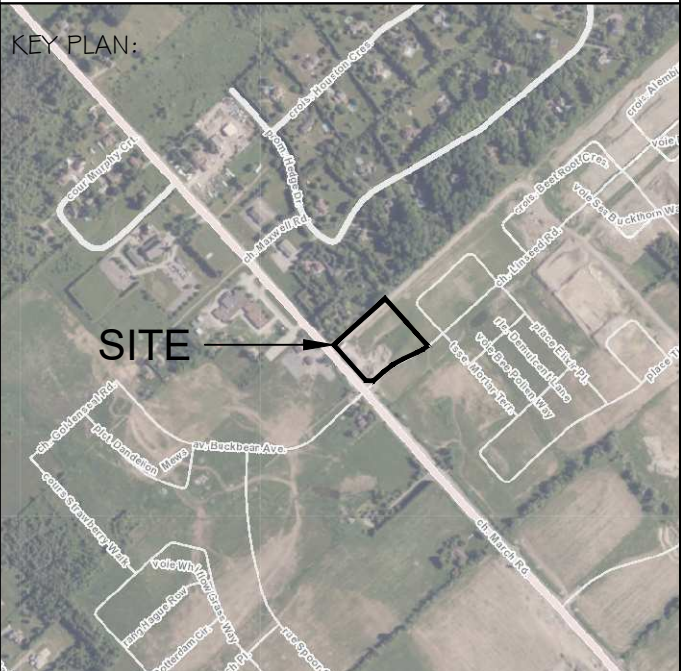
- NOTES**
- Property information from Plan 4M-1767, dated July 29, 2025, prepared by J.D. Barnes Limited, 62 Steacie Drive, Suite 103 Kanata, ON K2K 2A9
  - Excess snow to be removed from site at owner's expense
  - Building A, B, and D to be serviced by in ground waste collection bins. Building C to be serviced by internal waste room, with external pick-up area.

- LEGEND:**
- PROPERTY LINE
  - BUILDING
  - ASPHALT
  - CONCRETE
  - CURB CUT
  - LANDSCAPED
  - BARRIER FREE PARKING
  - BARRIER FREE PARKING SIGN
  - EV CHARGING SPACE
  - BUILDING ENTRANCE
  - VISITOR PARKING
  - COMMERCIAL PARKING
  - FIRE ROUTE
  - FIRE ROUTE SIGN
  - BARRIER FREE FIRE DRANT
  - PROPOSED SANITARY SEWER MANHOLE
  - PROPOSED STORM SEWER MANHOLE
  - PROPOSED CATCHBASIN MANHOLE
  - PROPOSED CATCHBASIN
  - EXISTING STREET TREE
  - SIAMESE CONNECTION

**Urbantypology**

UNIT 10-163 STERLING ROAD TORONTO, ON CANADA M8R 2B2 PH: 437.700.5446

UNIT 101-45 SPENCER STREET OTTAWA, ONTARIO K1V 2P5 PH: 437.700.5446 / 613.897.1237



**REVISIONS**

NO.	REVISION	DATE
05	REISSUED FOR SPA	2026-06-26
04	REISSUED FOR SPA	2026-05-22
03	REISSUED FOR SPA	2026-03-19
02	REISSUED FOR SPA	2025-12-18
01	ISSUED FOR SPA	2025-11-10

**GENERAL NOTES:**  
ALL MEASUREMENTS ARE IN METRIC UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS.  
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IT IS THE RESPONSIBILITY OF THE OWNER TO:  
• VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.  
• REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR.  
• COMPLY WITH ALL PERMIT CODES, BY-LAWS AND LAWS.  
• VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

**PROJECT TEAM:**

LANDSCAPE ARCHITECTURE URBANTYPOLOGY 1400-1000 SHEPPARD AVE. E. SUITE 101-101 SCARBOROUGH, ONTARIO M1S 1T7	PLANNING FOTENW 450-10000 SHEPPARD AVE. E. SUITE 101-101 SCARBOROUGH, ONTARIO M1S 1T7	ARCHITECTURE BHM STUDIO 111 SPADINA AVENUE, SUITE 501 TORONTO, ONTARIO M5S 2S1
TRANSPORTATION CGH TRANSPORTATION 1000 SHEPPARD AVE. E. SUITE 101-101 SCARBOROUGH, ONTARIO M1S 1T7	CIVIL ENGINEER STANTEC 300-1231 COLLEGE AVENUE TORONTO, ONTARIO M6G 1K5	



50 Hines Road, Suite 100, Ottawa, ON Canada K2K 2M5

**PROJECT INFORMATION:**

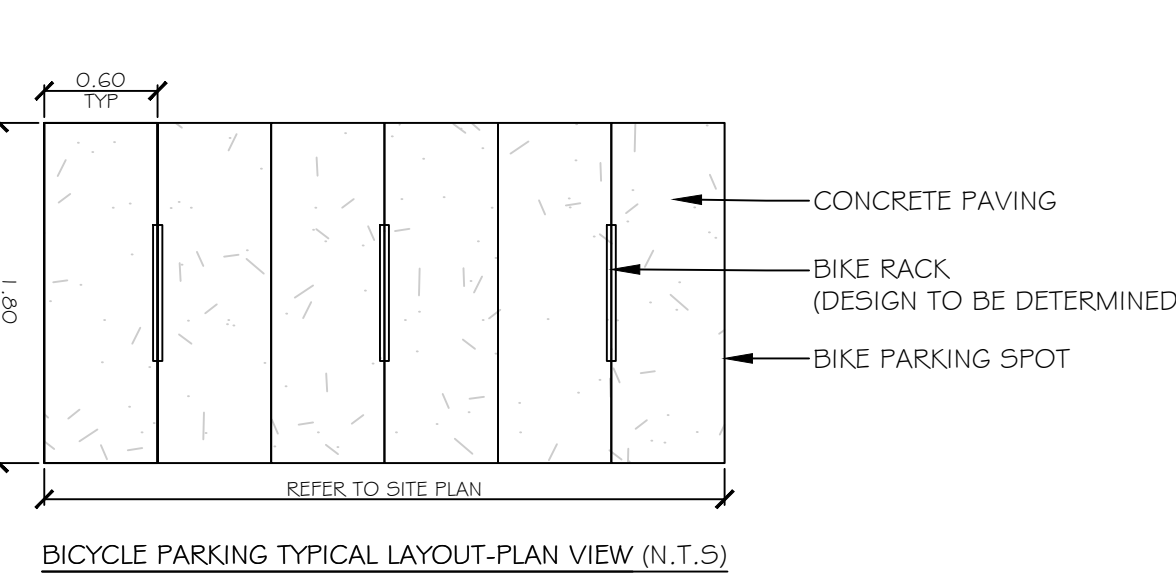
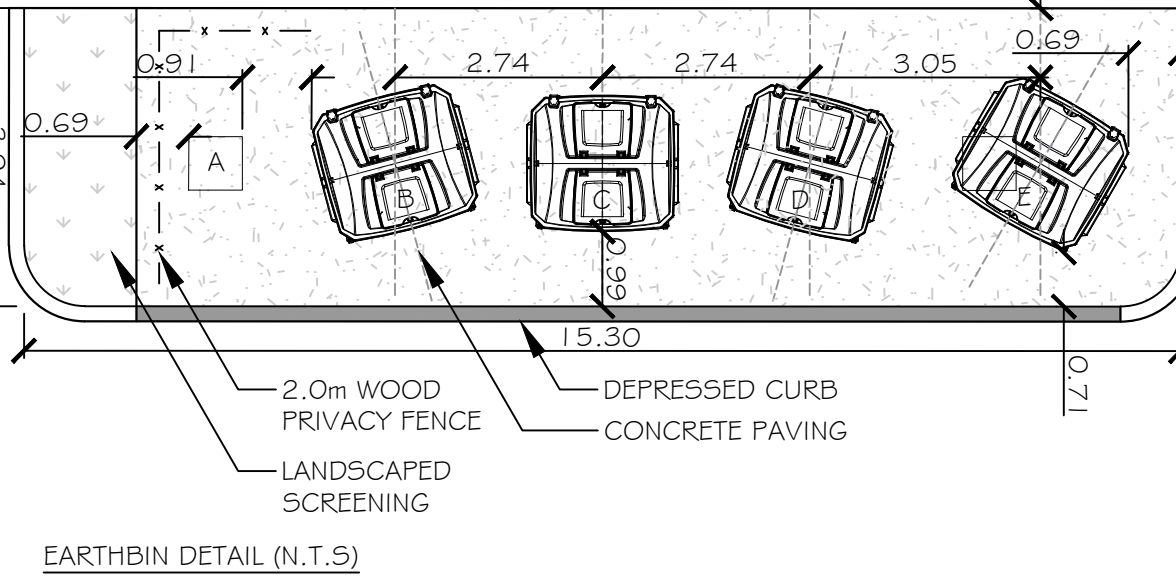
NORTHWOODS PHASE 6  
1020-1070 MARCH ROAD  
PIN O4S2T-1016  
Block 188 Plan 4M-1767

**TITLE:**

**SITE PLAN**

FILE NO.: 25.08  
DATE: 2025-11-05  
DRAWN: VG  
CHECKED: JH  
SCALE: 1:250

SHEET NO.:  
**SP1.0**



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