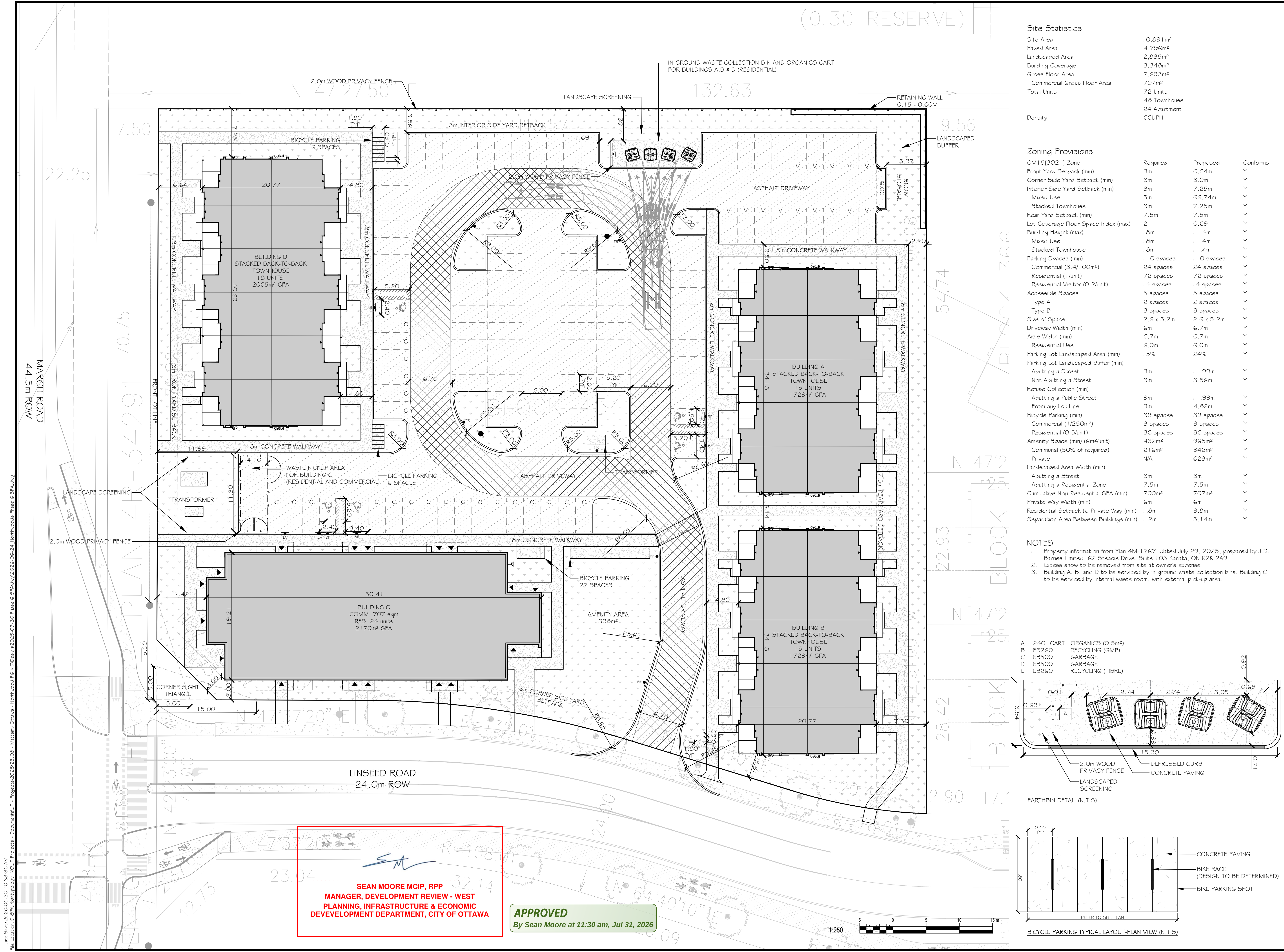




Site Statistics

Site Area	10,891 m ²
Paved Area	4,796 m ²
Landscaped Area	2,835 m ²
Building Coverage	3,348 m ²
Gross Floor Area	7,693 m ²
Commercial Gross Floor Area	707 m ²
Total Units	72 Units
	48 Townhouse
	24 Apartment
Density	66 UPH

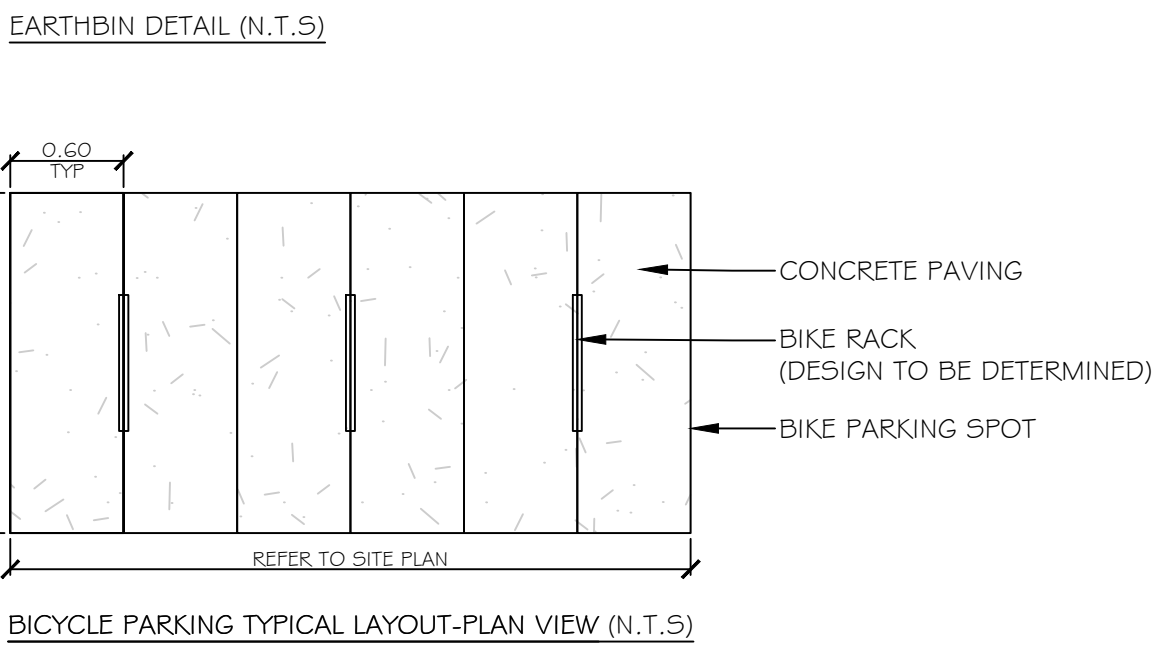
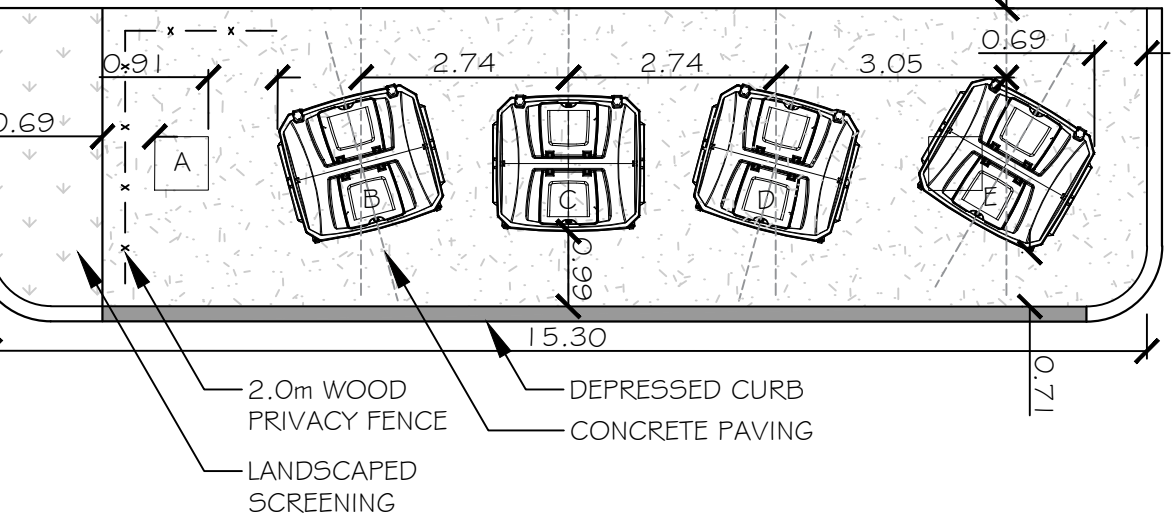
Zoning Provisions

GM15(3021) Zone	Required	Proposed	Conforms
Front Yard Setback (min)	3m	6.64m	Y
Corner Side Yard Setback (min)	3m	3.0m	Y
Interior Side Yard Setback (min)	3m	7.25m	Y
Mixed Use	5m	66.74m	Y
Stacked Townhouse	3m	7.25m	Y
Rear Yard Setback (min)	7.5m	7.5m	Y
Lot Coverage Floor Space Index (max)	2	0.69	Y
Building Height (max)	18m	11.4m	Y
Mixed Use	18m	11.4m	Y
Stacked Townhouse	18m	11.4m	Y
Parking Spaces (min)	110 spaces	110 spaces	Y
Commercial (3.4/100m ²)	24 spaces	24 spaces	Y
Residential (1/unit)	72 spaces	72 spaces	Y
Residential Visitor (0.2/unit)	14 spaces	14 spaces	Y
Accessible Spaces	5 spaces	5 spaces	Y
Type A	2 spaces	2 spaces	Y
Type B	3 spaces	3 spaces	Y
Size of Space	2.6 x 5.2m	2.6 x 5.2m	Y
Driveway Width (min)	6m	6.7m	Y
Aisle Width (min)	6.7m	6.7m	Y
Residential Use	6.0m	6.0m	Y
Parking Lot Landscaped Area (min)	15%	24%	Y
Parking Lot Landscaped Buffer (min)	3m	11.99m	Y
Abutting a Street	3m	3.56m	Y
Not Abutting a Street			
Refuse Collection (min)			
Abutting a Public Street	9m	11.99m	Y
From any Lot Line	3m	4.82m	Y
Bicycle Parking (min)	39 spaces	39 spaces	Y
Commercial (1/250m ²)	3 spaces	3 spaces	Y
Residential (0.5/unit)	36 spaces	36 spaces	Y
Amenity Space (min) (6m ² /unit)	432m ²	965m ²	Y
Communal (50% of required)	216m ²	342m ²	Y
Private	N/A	623m ²	Y
Landscaped Area Width (min)			
Abutting a Street	3m	3m	Y
Abutting a Residential Zone	7.5m	7.5m	Y
Cumulative Non-Residential GFA (min)	700m ²	707m ²	Y
Private Way Width (min)	6m	6m	Y
Residential Setback to Private Way (min)	1.8m	3.8m	Y
Separation Area Between Buildings (min)	1.2m	5.14m	Y

- NOTES
- Property information from Plan 4M-1767, dated July 29, 2025, prepared by J.D. Barnes Limited, 62 Steacie Drive, Suite 103 Kanata, ON K2K 2A9
 - Excess snow to be removed from site at owner's expense
 - Building A, B, and D to be serviced by in ground waste collection bins. Building C to be serviced by internal waste room, with external pick-up area.

EARTHBIN DETAIL (N.T.S.)

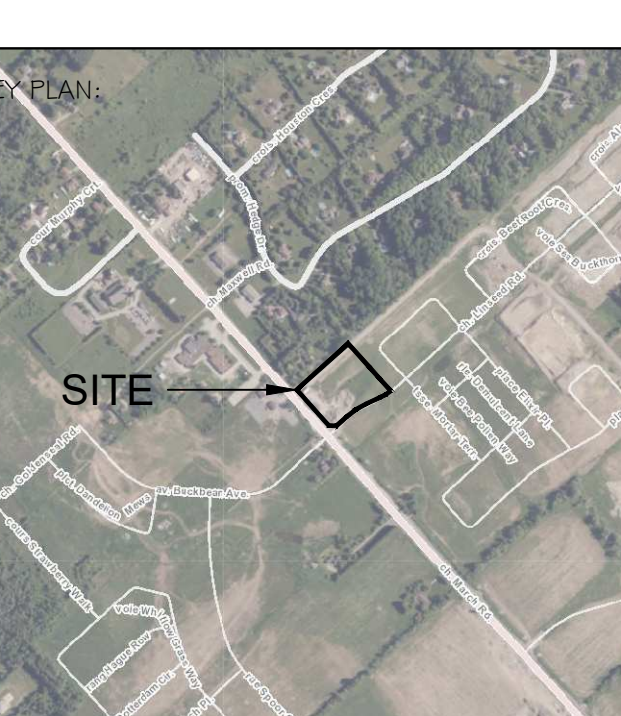
A	240L CART	ORGANICS (0.5m ³)
B	EB260	RECYCLING (GMP)
C	EB500	GARBAGE
D	EB500	GARBAGE
E	EB260	RECYCLING (FIBRE)



Urbantypology

UNIT 10-163 STERLING ROAD
OTTAWA, ONTARIO K1V 3P5
PH: 437.700.5446

UNIT 101 - 45 SPENCER STREET
OTTAWA, ONTARIO K1V 3P5
PH: 437.700.5446 / 613.897.1237



LEGEND:

—	PROPERTY LINE
■	BUILDING
■	ASPHALT
■	CONCRETE
—	CURB CUT
—	LANDSCAPED
Ⓜ	BARRIER FREE PARKING
Ⓜ	BARRIER FREE PARKING SIGN
Ⓜ	EV CHARGING SPACE
Ⓜ	EV CHARGING SPACE
▲	BUILDING ENTRANCE
V	VISITOR PARKING
C	COMMERCIAL PARKING
XXX	FIRE ROUTE
FR	FIRE ROUTE SIGN
●	PROPOSED FIRE HYDRANT
●	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED STORM SEWER MANHOLE
●	PROPOSED CATCHBASIN MANHOLE
■	PROPOSED CATCHBASIN
○	EXISTING STREET TREE
Y	SIAMESE CONNECTION

05	REISSUED FOR SPA	2026-06-26
04	REISSUED FOR SPA	2026-05-22
03	REISSUED FOR SPA	2026-03-19
02	REISSUED FOR SPA	2025-12-18
01	ISSUED FOR SPA	2025-11-10
NO.	REVISION:	DATE:

GENERAL NOTES:

ALL MEASUREMENTS ARE IN METRIC UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS.

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IT IS THE RESPONSIBILITY OF THE OWNER TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR.
- COMPLY WITH ALL PERMITTING CODES, BY-LAWS AND LAWS.
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

PROJECT TEAM:

LANDSCAPE ARCHITECTURE: URBANTYPOLOGY 100-163 STERLING ROAD OTTAWA, ON K1V 3P5 UNIT 101 - 45 SPENCER STREET OTTAWA, ON K1V 3P5	PLANNING: BIM STUDIO 450 OGDON STREET OTTAWA, ON K2P 1K4	ARCHITECTURE: BIM STUDIO 450 OGDON STREET, 4TH FLOOR OTTAWA, ON K2P 1K4
TRANSPORTATION: GH TRANSPORTATION 100-163 STERLING ROAD OTTAWA, ON K1V 3P5	CIVIL ENGINEER: STANTEC 300-1001 COTTAGE AVENUE OTTAWA, ON K1V 3P4	ENGINEER: KOH 110 OGDON AVENUE, SUITE 501 OTTAWA, ON K1V 3P5



50 Hines Road, Suite 100, Ottawa, ON Canada K2K 2M5

PROJECT INFORMATION:

NORTHWOODS PHASE 6
1020-1070 MARCH ROAD
PIN 04527-1016
Block 188 Plan 4M-1767

TITLE:

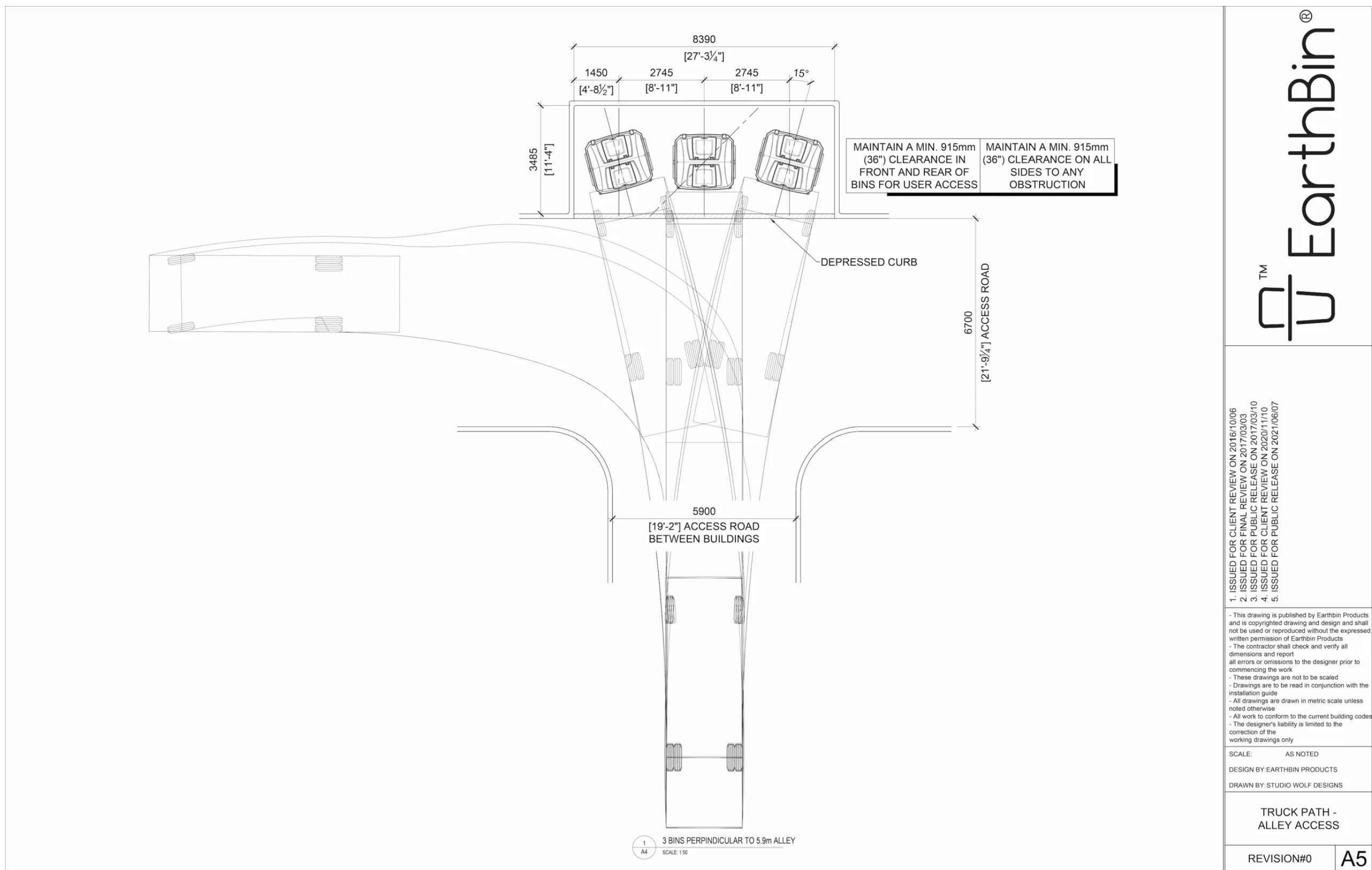
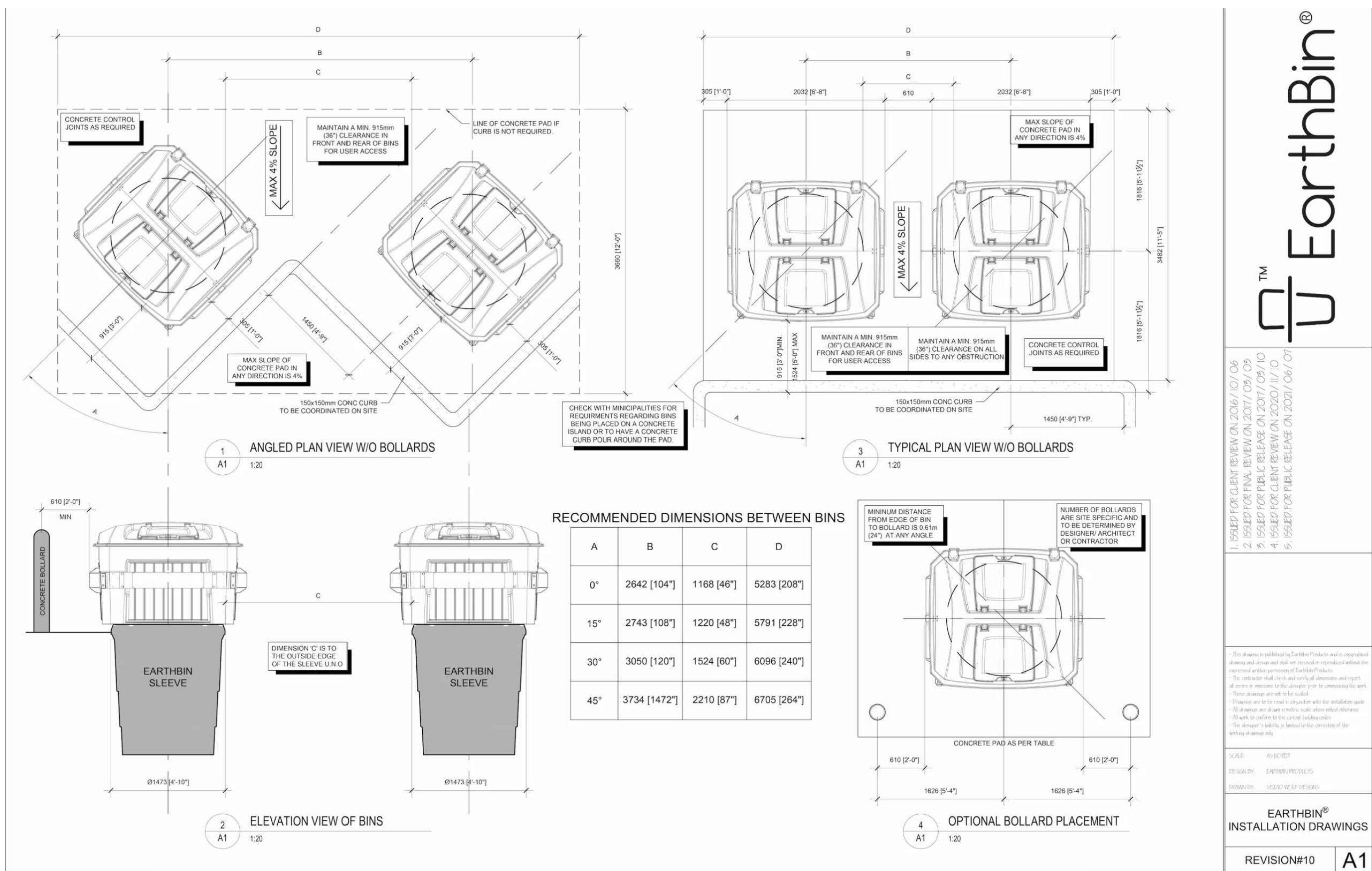
SITE PLAN	
FILE NO.:	25.08
DATE:	2025-11-05
DRAWN:	VG
CHECKED:	JH
SCALE:	1:250
SHEET NO.:	SP1.0

SEAN MOORE MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Sean Moore at 11:30 am, Jul 31, 2026

Last Save: 2026-06-26 10:36:36 AM
File Location: C:\Users\seanmoore\Documents\UT - Projects\2025\05-08 - Mattamy Homes - Northwood Phase 6 SPA.dwg

D07-12-25-01-46: PLAN # 19393



**SEAN MOORE MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA**

Urbantypology

	PROPERTY LINE
	BUILDING
	ASPHALT
	CONCRETE
	CURB CUT
	LANDSCAPED
	BARRIER FREE PARKING
	BARRIER FREE PARKING SIGN
	EV CHARGING SPACE
	BUILDING ENTRANCE
	VISITOR PARKING
	COMMERCIAL PARKING
	FIRE ROUTE
	FIRE ROUTE SIGN
	PROPOSED FIRE HYDRANT
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5	REISSUED FOR SPA	2026-06-26
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1	ISSUED FOR SPA	2025-11-10
O.O.:	REVISION:	DATE:

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PROJECT TEAM:

LANDSCAPE ARCHITECTURE URBANTYPOLOGY 101 - 163 STERLING ROAD TORONTO, ON M6K 2R2 101 - 101 - 45 SPENCER STREET OTTAWA, ON K1V 2P5	PLANNING FOTENN 420 OGDONNE STREET OTTAWA, ON K2P 1W4	ARCHITECTURE BIM STUDIO 636 KING STREET WEST, 3R TORONTO, ON M5V 1M7 KOHN 116 SPADINA AVENUE, SUITE TORONTO, ON M5S 2G5
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TRANSPORTATION
CGH TRANSPORTATION
5 PLAZA COURT
OTTAWA, ON K2M 7W1



50 Mowat Road, Suite 100, Ottawa, ON Canada K2K 2M5

PROJECT INFORMATION:

NORTHWOODS PHASE 6
1020-1070 MARCH ROAD
PIN 04527-1016
Block 188 Plan 4M-1767

TABLE 1. (continued)

SITE PLAN DETAILS

FILE NO : 25 08

DATE:	2025-11-05	SHEET NO.:
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SP1 1

SCALE:	1:250
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