

CITY OF OTTAWA OFFICIAL PLAN - SCHEDULE B7

SITE INFORMATION:

SITE AREA = 2.73ha (6.75 Acres), NOT INCLUDING 4820 BANK ST.
 ZONING: DR
 PROPOSED ZONING: R4Z

REQUIRED :	PROVIDED :
LOT WIDTH (MIN.): 18.00 m	95.00 m
LOT AREA (MIN.): 1,400 m ²	27,317.64 m ²
BUILDING HEIGHT (MAX.): TOWNHOUSE: 11.00 m	9.37 m
	STACKED DWELLING: 15.00 m
	APARTMENT BUILDING: 15.00 m
	12.94 m
FRONT YARD (MIN.): 3.00 m	11.58 m
REAR YARD (MIN.): 6.00 m	6.00 m
INTERIOR SIDE YARD (MIN.): TOWNHOUSE: 6.00 m	3.00 m
	STACKED DWELLING: 6.00 m
	APARTMENT BUILDING: 3.00 m (FIRST 18 m)
	6.00 m (REST OF SITE)
	3.00 m

TOTAL LOT COVERAGE (MAX.): N/A 25.53% [6,974 m²]
 LANDSCAPED AREA (MIN.): 30% 45.89% [12,536.04 m²]
 PARKING LOT PERIMETER LANDSCAPING (MIN.): 15% 15%
 ACCESSORY BLDG. SIZE (MAX.): 200.00 m² 68.50 m² & 70.80 m² [139.30 m² TOTAL]
 ACCESSORY BLDG. HEIGHT (MAX.): 4.50 m 3.47 m
 ACCESSORY BLDG. INTERIOR SIDE YARD (MIN.): 1.50 m 3.00 m
 ACCESSORY BLDG. REAR YARD (MIN.): 0.60 m 3.00 m

UNIT COUNTS:

	B/B TERRACE FLATS	B2B TOWNHOMES	APARTMENTS	G.F.A.:
BUILDING 1=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 2=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 3=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 4=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 5=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 6=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 7=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 8=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 9=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 10=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 11=	TERRACE FLATS 12 UNITS			987 m ²
BUILDING 12=	B2B 3-STORY TOWNHOMES 12 UNITS			1,538 m ²
BUILDING 13=	B2B 3-STORY TOWNHOMES 12 UNITS			1,538 m ²
BUILDING 14=	3-STORY APARTMENT BUILDING 24 UNITS		24 UNITS	1,325 m ²
BUILDING 15=	3-STORY APARTMENT BUILDING 24 UNITS		24 UNITS	1,325 m ²
BUILDING 16=	3-STORY APARTMENT BUILDING 24 UNITS		24 UNITS	1,325 m ²
BUILDING 17=	3-STORY APARTMENT BUILDING (POSSIBLE FUTURE) 24 UNITS		24 UNITS (NOT INCLUDED)	
TOTAL =	132 UNITS	24 UNITS	72 UNITS	

TOTAL ALL UNITS = 228 UNITS (NOT INCLUDING POSSIBLE FUTURE UNITS)
TOTAL G.F.A. = 17,908 m²

RESIDENT PARKING REQUIRED: SCHEDULE 1A AREA 'C'

BUILDINGS 1-11 : TERRACE FLATS [132 UNITS]	158 SPACES
PARKING REQUIRED= 1.2/ d.u. =	
BUILDINGS 12-13 : B2B 3-STORY TOWNHOMES [24 UNITS]	24 SPACES
PARKING REQUIRED= 1.0/ d.u. =	
BUILDINGS 14-16 : 3-STORY APARTMENT BUILDINGS [72 UNITS]	86 SPACES
PARKING REQUIRED= 1.2/ d.u. =	
TOTAL RESIDENT PARKING REQ.:	268 SPACES

VISITOR PARKING REQUIRED: (NONE REQUIRED FOR UNITS WITH DRIVEWAYS)

BUILDINGS 1-11 : TERRACE FLATS [132 UNITS]	26 SPACES
VISITOR PARKING REQUIRED= 0.2/ d.u. =	
BUILDINGS 14-16 : 3-STORY APARTMENT BUILDINGS [72 UNITS]	14 SPACES
VISITOR PARKING REQUIRED= 0.2/ d.u. =	
TOTAL VISITOR PARKING REQ.:	40 SPACES

PARKING PROVIDED:

TERRACE FLATS [132 UNITS]	
PARKING REQUIRED =	158 RESIDENT + 26 VISITOR
TOTAL PROVIDED =	158 RESIDENT + 26 VISITOR
B2B TOWNHOMES [24 UNITS]	
PARKING REQUIRED =	24 SPACES
TOTAL PROVIDED =	48 SPACES (DRIVEWAYS/ GARAGES)
APARTMENTS [72 UNITS]	
PARKING REQUIRED =	86 RESIDENT + 14 VISITOR (42 U/G + 48 SURFACE)
TOTAL PROVIDED =	76 RESIDENT + 14 VISITOR

PARKING SPACE DIMENSIONS ARE 2.6m X 5.2m STANDARD.
 PARKING SPACES MARKED WITH * ARE 2.4m X 5.2m (49 SPACES) [50% MAX].
 ALL BARRIER-FREE PARKING SPACES ARE 3.66m X 5.20m UNLESS NOTED OTHERWISE.

BICYCLE PARKING REQUIREMENTS:

BICYCLE PARKING REQUIRED= 0.5/d.u. x 204 d.u. =	102 SPACES
BICYCLE PARKING PROVIDED =	102 SPACES (38 INDOOR + 64 SURFACE)

ALL EXTERIOR BIKE SPACES ARE 0.60m X 1.80m HORIZONTAL w/ MIN. 1.50m ACCESS ISLE.
 ALL INTERIOR BIKE SPACES ARE 0.50m X 1.50m VERTICAL w/ MIN. 1.50m ACCESS ISLE.
 PROVIDE FIXED PARKING RACKS FOR ALL BIKE SPACES.

AMENITY SPACE REQUIREMENTS:

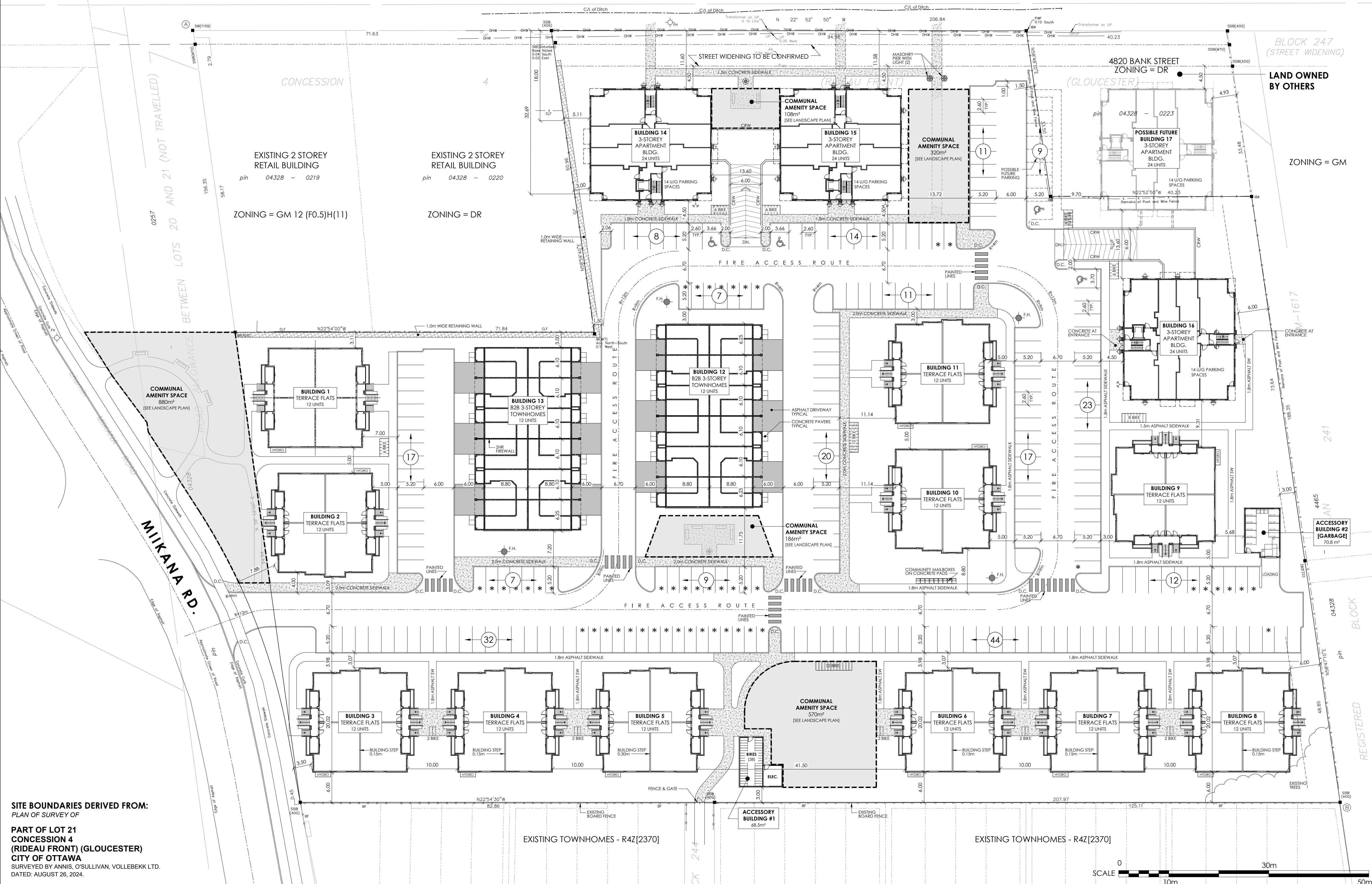
AMENITY SPACE REQUIRED = 6m ² d.u. x 204 d.u. =	1,224m ²
50% COMMUNAL AMENITY AREA REQUIRED =	612m ²
COMMUNAL AMENITY AREA PROVIDED =	2,064m ²
PRIVATE AMENITY AREA PROVIDED =	8,166m ²
TOTAL AMENITY AREA PROVIDED =	2,868m ² (4m ² /BALCONY/d.u.)

SITE PLAN TO BE READ IN CONJUNCTION WITH:

- SITE SERVICING AND GRADING PLAN PREPARED BY:
- LANDSCAPING PLAN PREPARED BY: JAMES B. LENNOX AND ASSOCIATES INC.
- COMPOSITE UTILITY PLAN PREPARED BY:

LEGEND/ ABBREVIATIONS:

D.C.	DEPRESSED CURB	⊕	GAS METERS LOCATION	⊕	LIGHT STANDARD
CRW	CONCRETE RETAINING WALL	⊕	WATER/SANITARY CONNECTION	⊕	WALL MOUNTED LIGHT FIXTURE
W.I.	WROUGHT IRON	⊕	STORM CONNECTION	⊕	POLE LIGHT
TWS	TACTILE WALKING SURFACE INDICATOR	⊕	SIAMENSE CONNECTIONS	⊕	TRANSFORMER
CONC.	CONCRETE	⊕	FIRE HYDRANT		
ASPH.	ASPHALT	⊕	HYD. (METER LOCATION)		
TWS	TACTILE WALKING SURFACE INDICATOR				



SITE BOUNDARIES DERIVED FROM:
 PLAN OF SURVEY OF
PART OF LOT 21
CONCESSION 4 (RIDEAU FRONT) (GLOUCESTER)
CITY OF OTTAWA
 SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 DATED: AUGUST 26, 2024.

M. David Blakely Architect Inc.
 2200 Prince of Wales Dr., Suite 101 Ottawa, Ontario
 Phone (613) 226-8811 Fax (613) 226-7942 K2E 6Z9

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME HEADING AND INTENT AS THIS DRAWING.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT & THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

OWNER: PHOENIX HOMES
 18A BENTLEY AVE.
 OTTAWA, ON K2E 6T8
 (613) 723-7227

ARCHITECT: M. DAVID BLAKELY ARCHITECT INC.
 2200 PRINCE OF WALES DR., SUITE 101
 OTTAWA, ON K2E 6Z9
 (613) 226-8811

CIVIL ENGINEER: ARCADIS
 333 PRESTON STREET #400
 OTTAWA, ON K1S 5N4
 (613) 225-3311

LANDSCAPE ARCHITECT: JAMES B. LENNOX AND ASSOCIATES INC.
 3332 CARLING AVE.
 NEPEAN, ON K2H 5A8
 (613) 723-5168

SURVEYOR: ANNIS O'SULLIVAN VOLLEBEKK LTD.
 14 CONCORSE GATE, SUITE 500
 NEPEAN, ON K2E 756
 (613) 727-0500

SEAL

12.		24.	
11.		23.	
10.		22.	
9.		21.	
8.		20.	
7.		19.	
6.		18.	
5.		17.	
4.		16.	
3.		15.	
2.		14.	
1.		13.	
No.	DATE	DESCRIPTION	INT.

12.		24.	
11.		23.	
10.		22.	
9.		21.	
8.		20.	
7.		19.	
6.		18.	
5.		17.	
4.		16.	
3.		15.	
2.		14.	
1.		13.	
No.	DATE	DESCRIPTION	INT.

PROJECT: 4816 BANK STREET
 PLANNED UNIT DEVELOPMENT
 OTTAWA, ONTARIO

CLIENT: PHOENIX HOMES
 18A Bentley Ave Ottawa, ON K2E 6T8

DRAWING TITLE: SITE PLAN

DATE: SEPT. 2024
DRAWN BY: KB
CHECKED: MDB

SCALE: 1 : 400

SHEET NO.: SP1