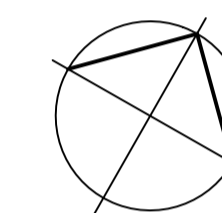




CONSULTANT TEAM	
CONSULTANT	PHONE NUMBER
PLANNING: KEEPER CO.	613-807-5000
ARCHITECT: DEIMLING ARCHITECTURE & INTERIOR DESIGN INC.	613-897-6113
CIVIL & SEPTIC: EGIS	613-836-2184
LANDSCAPE ARCHITECT: GJA INC.	613-286-5130
SURVEYOR, GEOTECHNICAL, & HYDROGEOLOGICAL STANTEC GEOMATICS LTD.	613-722-4420

North



Revisions

No.	By	Description	Date
13	W.P.	ISSUED FOR SITE PLAN CONTROL	12 FEB 2026
12	W.P.	ISSUED FOR SITE PLAN CONTROL	16 DEC 2025
11	W.P.	ISSUED FOR COORDINATION	05 DEC 2025
10	W.P.	ISSUED FOR SITE PLAN CONTROL	03 OCT 2025
09	W.P.	ISSUED FOR COORDINATION	30 SEP 2025
08	W.P.	ISSUED FOR PERMIT	28 SEP 2025
07	A.P.	ISSUED FOR 99% REVIEW	11 SEP 2025
06	A.P.	ISSUED FOR 66% REVIEW	01 AUG 2025
05	W.P.	ISSUED FOR COORDINATION	03 JUL 2025
04	A.P.	ISSUED FOR CLIENT REVIEW	19 JUN 2025
03	A.P.	ISSUED FOR CLIENT REVIEW	11 JUN 2025

Project

**METCALFE AGRICULTURAL SOCIETY
METCALFE FAIRGROUNDS
NEW BUILDING IMPLEMENTATION**

2821 8TH LINE ROAD, METCALFE, ON

Drawing

SITE PLAN

Scale

AS NOTED

Drawn

W.P.

Checked

C.D.

Project No.

24-125

Date

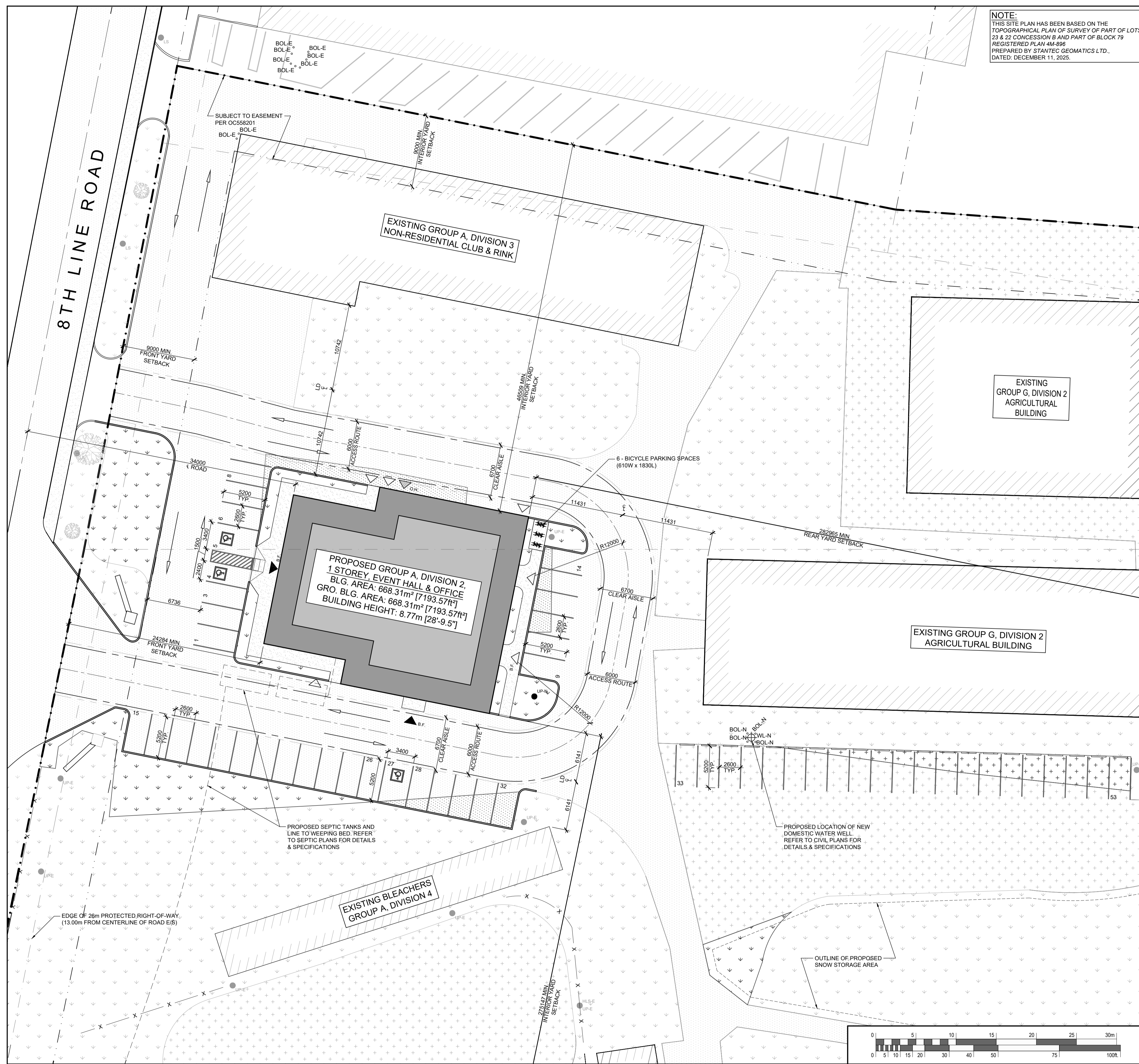
MAY, 2024

Drawing No.

SP-A02



Plan No.: 19384
File No.: DOT-12-25-0140



NOTE:
THIS SITE PLAN HAS BEEN BASED ON THE TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOTS 23 & 22, CONCESSION 8 AND PART OF BLOCK 79 REGISTERED PLAN 4M-896 PREPARED BY STANTEC GEOMATICS LTD., DATED: DECEMBER 11, 2025.

ZONING INFORMATION

1.0 GENERAL INFORMATION:

LEGAL DESCRIPTION:
PART OF LOTS 23 & 22, CONCESSION 8, AND PART OF BLOCK 79 REGISTERED PLAN 4M-896 CITY OF OTTAWA

BUILDING AREA (B.A.):
• OFFICE: 198.87m²
• COMMUNITY CENTER: 469.43m²
• TOTAL: 668.30m²

GROSS FLOOR AREA (G.F.A.):
• OFFICE: 198.87m²
• COMMUNITY CENTER: 469.43m²
• TOTAL: 668.30m²

PROPOSED USE:
COMMUNITY CENTER

2.0 ZONING PROVISIONS (PER SECTION 13):

DESIGNATION:
RURAL INSTITUTIONAL ZONE (R14)

LOT AREA:
REQUIRED: 10,000.00m² (1.00 ha) (MIN.)
PROPOSED: 87,636.54m² (8.76 ha)

LOT WIDTH (FRONTAGE):
REQUIRED: 75.00m
PROPOSED: 354.86m

SETBACKS:

FRONT YARD:
• REQUIRED: 9.00m
• PROPOSED: 24.28m

CORNER SIDE YARD:
• REQUIRED: 9.00m (MIN.)
• PROPOSED: N/A

INTERIOR SIDE YARD:
• REQUIRED: 9.00m (MIN.)
• PROPOSED: 46.50m (MIN.)

REAR YARD:
• REQUIRED: 10.00m (MIN.)
• PROPOSED: 282.96m

LOT COVERAGE:
REQUIRED: 30% (MAX.)
PROPOSED: 7%

LANDSCAPING:
REQUIRED: 20% (MIN.)
PROPOSED: 79%

BUILDING HEIGHT:
REQUIRED: 12.00m (MAX.)
PROPOSED: 8.77m

3.0 PARKING (PER SECTION 3.19):

MIN. REQUIRED: PLACE OF ASSEMBLY - AREA D
10.00 PER 100m² GROSS BLDG. AREA

OFFICE - AREA D
2.40 PER 100m² GROSS BLDG. AREA

• **REQUIRED:** (469.43m² + 100m²) x 10.00 SPACES
46.95 SPACES = 47.00 SPACES

(198.87m² + 100m²) x 2.40 SPACES
4.77 SPACES = 5.00 SPACES

52 SPACES (MIN.)

• **PROVIDED:** **53 SPACES**

MIN. BARRIER FREE: CAPACITY OF PUBLIC PARKING AREA
22-99 = 1 SPACE

• **REQUIRED:** 52 REQUIRED SPACES = 1 SPACE

• **PROVIDED:** 2 SPACES

MIN. BICYCLE: OTHER NON-RESIDENTIAL USES
(PLACE OF ASSEMBLY & FAIRGROUNDS):
1.00 PER 1,500m² GROSS BLDG. AREA

OFFICE:
1.00 PER 250m² GROSS BLDG. AREA

• **REQUIRED:** ((4,415m² + 469.43m²) + 1,500m²) / SPACE
3.26 SPACES = 4.00 SPACES

198.87m² + 250m² / SPACE
0.80 SPACES = 1.00 SPACES

5 SPACES (MIN.)

• **PROVIDED:** **6 SPACES**

SYMBOL LEGEND

- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- MUNICIPAL ROAD CENTRELINE
- DRIVE AISLE BOUNDARY
- FIRE ROUTE BOUNDARY
- EXIST. CHAIN LINK FENCE
- MUNICIPAL ROAD BOUNDARY
- SNOW STORAGE BOUNDARY
- DIRECTION OF TRAVEL
- ▭ PROPOSED BUILDING
- ▭ EXISTING BUILDING
- ▭ HEAVY DUTY ASPHALT (EXIST. OR NEW)
- ▭ LANDSCAPED AREA (EXIST. OR NEW)
- ▭ CONCRETE SIDEWALK (EXIST. OR NEW)
- ▭ GRAVEL (EXIST. OR NEW)
- UP-(E/N)
- LS-(E/N)
- HLS-(E/N)
- ▶ OR B.F. MAIN (BARRIER FREE) BUILDING ENTRANCE
- ▶ OR B.F. SECONDARY (BARRIER FREE) BUILDING ENTRANCES AND/OR EMERGENCY EXITS
- F.H.E. FIRE HYDRANT (EXISTING)
- NEW VEGETATION
- OR F.R. FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
- AND B.F. BARRIER-FREE PARKING SIGN

