



OWNER
 SIENNA SENIOR LIVING
 302 TOWN CENTRE BOULEVARD, SUITE 300
 MARKHAM, ONTARIO L3R 0E3
 CONTACT: RUDY HANEL
 Rudy.hanel@siennaliving.ca
 437-778-4779

PLANNING
 Q9 PLANNING + DESIGN
 43 EGLISE ST.
 OTTAWA, ONTARIO K1R 6S3
 CONTACT: CHRISTINE McCAUG
 christine@q9planning.com
 613-850-8345

SURVEYOR
 J.D. BARNES LIMITED
 63 STACIE DRIVE, SUITE 103
 KANATA, ONTARIO K2K 2A9
 CONTACT: C.M. FOX
 613-731-7244

GEOTECHNICAL
 KOLLAARD ASSOCIATES
 210 PRESCOTT STREET, UNIT 1
 P.O. BOX 169
 KEMPTVILLE, ONTARIO K0G 1J0
 CONTACT: ISAAC BACON
 613-860-0923

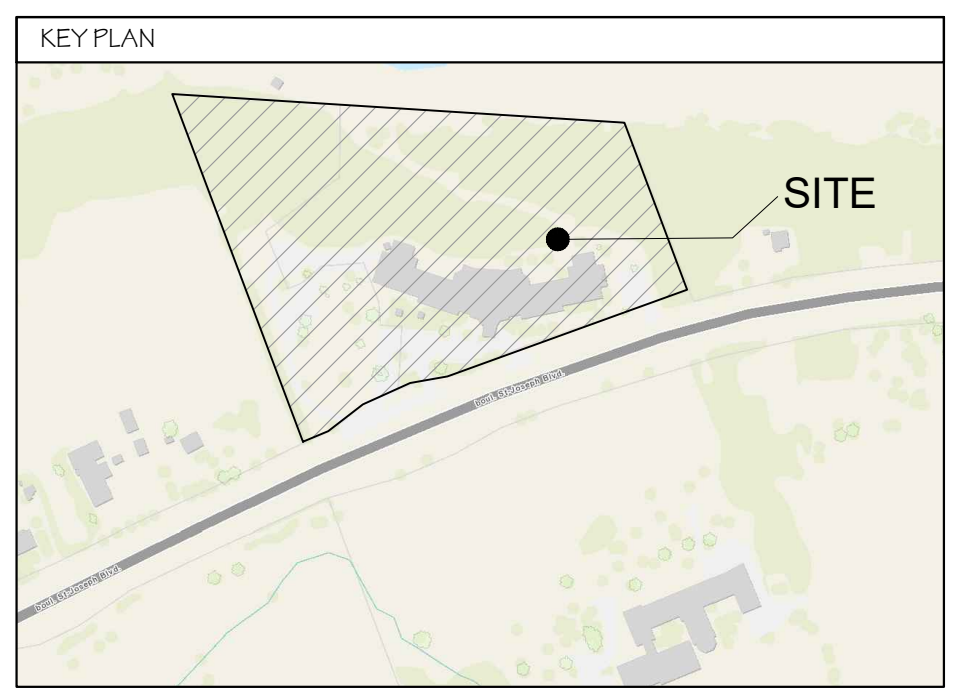
CIVIL ENGINEER
 NOVATI
 240 MICHAEL COWPLAND DRIVE, SUITE 200
 OTTAWA, ONTARIO K2M 1P8
 CONTACT: FRANCOIS THAUVEITE
 f.thauveite@novatitech-eng.com
 613-254-8645 x219

LANDSCAPE ARCHITECT
 CSW LANDSCAPE ARCHITECTS LTD.
 319 McRAE AVE., SUITE 502
 OTTAWA, ONTARIO K1Z 0B9
 CONTACT: SHERI EDWARDS
 edwards@cswa.ca
 613-729-4536

ARCHITECT
 HOBIN ARCHITECTURE INC.
 63 PAMILLA STREET
 OTTAWA, ONTARIO K1S 3K7
 CONTACT: MELANIE LAMONTAGNE
 melanie@hobinarc.com
 613-238-7200 x128

STRUCTURAL ENGINEER
 CUNIFFE & ASSOCIATES
 200-1950 CARLING AVE.
 OTTAWA, ONTARIO K1Z 0S8
 CONTACT: JORDAN CUFF
 jcuff@cuniffe.ca
 613-728-7242 x225

MECHANICAL & ELECTRICAL ENGINEERS
 GOODKEY, WEEDMARK & ASSOCIATES LTD.
 1688 WOODWARD DRIVE
 OTTAWA, ONTARIO K2C 2R8
 MECH. CONTACT: RYAN LEONARD
 rleonard@gnval.com
 613-727-5111 x203
 ELEC. CONTACT: RICHARD BOWEN
 rbowen@gnval.com
 613-727-5111 x243



SITE PLAN APPLICATION No.:

SURVEY INFORMATION TAKEN FROM:
 TOPOGRAPHICAL PLAN OF SURVEY, PART OF LOT 10, CONCESSION 1 (OTTAWA FRONT) TOWNSHIP OF GLOUCESTER
 J.D. BARNES LIMITED

SITE SUMMARY:

CIVIL ADDRESS: 1533 & 1541 ST. JOSEPH BOULEVARD, OTTAWA ONTARIO
 ZONING: R15 (472)
 SITE AREA: 36,743m²
 PROPOSED USE: LONG-TERM CARE HOME (224 BEDS); 3-STORIES
 BUILDING FOOTPRINT: 2,998.07m² EXISTING BUILDING
 1,696.60m² NEW ADDITION
 4,694.67m² TOTAL

ZONING SUMMARY:	REQUIRED	PROVIDED
MIN. LOT AREA:	10,000m ²	36,743m ²
MIN. LOT WIDTH:	75m	237.92m
BUILDING HEIGHT:	12m MAX.	10.4m (EXIST. BUILDING) 9.0m (NEW ADDITION)
MAXIMUM LOT COVERAGE:	30%	12.8%
MIN. LANDSCAPE:	20%	74.02%

YARDS:	REQUIRED	PROVIDED
MIN. FRONT YARD SETBACK:	9.0m	12.749m
MIN. CORNER SIDE YARD SETBACK:	N/A	N/A
MIN. REAR YARD SETBACK:	10.0m	74.787m
MIN. INTERIOR SIDE YARD SETBACK:	9.0m	17.700m (WEST) 41.110m (EAST)

VEHICLE PARKING:	REQUIRED	PROVIDED
RESIDENTIAL CARE PARKING		
• 0.25 PER BED (224)	56	64
• 1/1000 th OF GFA USED FOR MED. HEALTH PERSONAL SERVICES	4	4
• 428.15m ² /1000m ²		
VISITOR PARKING	N/A	N/A
N/A ON RESIDENTIAL CARE		
TOTAL VEHICULAR PARKING	60	68
ACCESSIBLE PARKING	2 TYPE A 2 TYPE B	2 TYPE A 2 TYPE B
PART 6 SECTION 11.2 SEE DRAWING A1.02 FOR PARKING AND DRIVE ABLE DIMENSIONS		

BICYCLE PARKING:	REQUIRED	PROVIDED
+ 1 PER 1,500m ²	8	10
+ 12.481.80m ² /1,500m ²		

LOADING SPACES:	REQUIRED	PROVIDED
LOADING SPACES	2	2
+ 2 PER 8,000-9,999m ² GFA		
PART 4 SECTION 11.3, TABLE 1.13A SEE DRAWING A1.02 FOR PARKING AND DRIVE ABLE DIMENSIONS		

BUILDING GFA AS PER ZONING BY-LAW:

EXISTING BUILDING	GFA (ZONING BY-LAW)	ROOMING #
LEVEL 1	1,650.34m ²	32
LEVEL 2	1,973.62m ²	64
LEVEL 3	1,973.62m ²	64
EXISTING BUILDING TOTALS	5,597.58m ²	160

NEW ADDITION	GFA (ZONING BY-LAW)	ROOMING #
LEVEL 1	1,027.70m ²	32
LEVEL 2	1,041.46m ²	32
NEW ADDITION TOTALS	2,069.16m ²	64
EXISTING + NEW ADDITION TOTALS	7,666.74m ²	224

BUILDING GFA AS PER OBC:

EXISTING BUILDING	GFA (OBC)	ROOMING #
LEVEL 1	2,998.07m ²	32
LEVEL 2	2,987.23m ²	64
LEVEL 3	2,987.23m ²	64
MECHANICAL PENTHOUSE	185.81m ²	
EXISTING BUILDING TOTALS	9,118.34m ²	160

NEW ADDITION	GFA (OBC)	ROOMING #
LEVEL 1	1,696.60m ²	32
LEVEL 2	1,696.67m ²	32
NEW ADDITION TOTALS	3,393.27m ²	64
EXISTING + NEW ADDITION TOTALS	12,481.80m ²	224

GENERAL NOTES
 REFER TO DRAWING A1.02 FOR SITE SPECIFIC DIMENSIONS AND NOTES

no.	date	revision	no.	date	revision
1	SEPT. 17/25	ISSUED FOR SITE PLAN CONTROL			

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.
 All contractors must comply with all pertinent codes and by-laws.
 Do not scale drawings.
 This drawing may not be used for construction until signed.
 Copyright reserved.



Hobin Architecture Incorporated
 63 PAMILLA STREET
 OTTAWA, ONTARIO
 CANADA K1S 3K7
 T: 613-238-7200
 F: 613-235-2005
 E: mel@hobinarc.com
 hobinarc.com

HOBIN ARCHITECTURE

PROJECT/LOCATION:
 BILBERRY CREEK
 LONG TERM CARE HOME

DRAWING TITLE:
 SITE PLAN
 PROPOSED ADDITION
 AND REDEVELOPMENT

DRAWN BY: ML/RF
DATE: APR. 2025
SCALE: 1:500

PROJECT: 2442
DRAWING NO.: A1.01
REVISION NO.:



LEGEND:

- DECIDUOUS TREE PLANTING; SEE LANDSCAPE DWGS.
- CONIFEROUS TREE PLANTING; SEE LANDSCAPE DWGS.
- TOPSOIL & SOD; SEE LANDSCAPE DWGS.
- CONCRETE WALKWAY; SEE LANDSCAPE DWGS.
- MAINTENANCE STRIP; SEE LANDSCAPE DWGS.
- SHRUB/PERENNIAL PLANTING MIX; SEE LANDSCAPE DWGS.
- EXTERIOR LIGHTING STANDARDS; SEE ELECTRICAL DWGS.
- EXTERIOR LIGHT BOLLARD; SEE ELECTRICAL DWGS.
- FIRE HYDRANT; SEE CIVIL DWGS.
- DEPRESSED CURB; SEE CIVIL DWGS.
- HANDICAPPED PARKING SPACE C/W SYMBOL PAINTED ON ASPHALT
- H.C. HANDICAPPED PARKING SIGN
- F.R. FIRE ROUTE - NO PARKING SIGN - TO CITY OF OTTAWA STANDARDS

GENERAL NOTES:

- REFER TO DRAWING A1.01 FOR ENTIRE PROPERTY EXTENT
- REFER TO TREE CONSERVATION REPORT AND LANDSCAPE DRAWINGS FOR EXISTING TREES TO BE REMOVED; EXISTING TREES TO REMAIN AND NEW PROPOSED TREES

no.	date	revision	no.	date	revision
2	SEPT. 16/25	ISSUED FOR SITE PLAN CONTROL	1	JULY 24/25	ISSUED FOR CLASS D
1	JULY 24/25	ISSUED FOR PRELIMINARY PLAN SUBMISSION	A	JUNE 6/25	ISSUED FOR PRELIMINARY PLAN SUBMISSION

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

ONTARIO ASSOCIATION OF ARCHITECTS

MARK J. HOBIN
LICENCE 3049

Hobin Architecture Incorporated
63 Perrilla Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com

PROJECT/LOCATION:
**BILBERRY CREEK
LONG TERM CARE HOME**

DRAWING TITLE:
**SITE PLAN
PROPOSED ADDITION
AND REDEVELOPMENT**

DRAWN BY:
ML/R/F

DATE:
APR. 2025

SCALE:
1:300

PROJECT:
2442

DRAWING NO.:
A1.02

REVISION NO.:



1 SOUTH ELEVATION
AA3.01 SCALE 1:125



2 NORTH ELEVATION
AA3.01 SCALE 1:125



3 WEST ELEVATION
AA3.01 SCALE 1:125

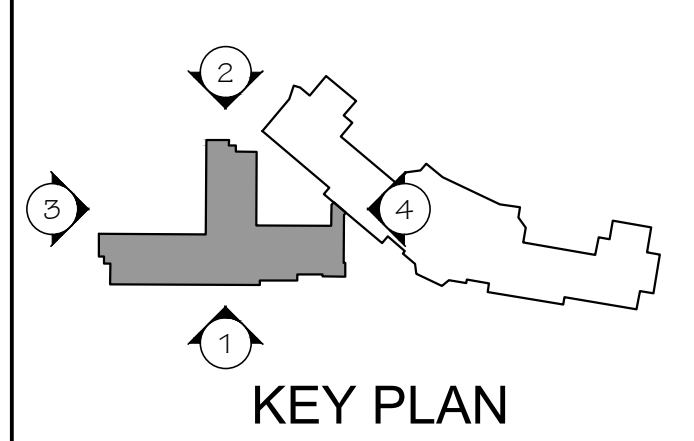


4 EAST ELEVATION
AA3.01 SCALE 1:125

MATERIAL LEGEND:

- ALP-1 ALUMINIUM PANEL - TYPE 1
- MV-1 MASONRY VENEER - TYPE 1
- MV-2 MASONRY VENEER - TYPE 2
- ALS-1 ALUMINIUM SIDING - TYPE 1
- ALS-2 ALUMINIUM SIDING - TYPE 2
- ALS-3 ALUMINIUM SIDING - TYPE 3
- STM-1 STONE MASONRY VENEER - TYPE 1
- SP SPANDREL PANEL
- DOOR DOOR
- CW CURTAIN WALL
- W WINDOW

NOTE: REFER TO ARCHITECTURAL OUTLINE SPECS.



It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.	
All contractors must comply with all pertinent codes and by-laws.	
Do not scale drawings.	
This drawing may not be used for construction until signed.	
Copyright reserved.	
no.	date
2	SEPT. 16/25
1	JULY 24/25
no.	date
no.	date

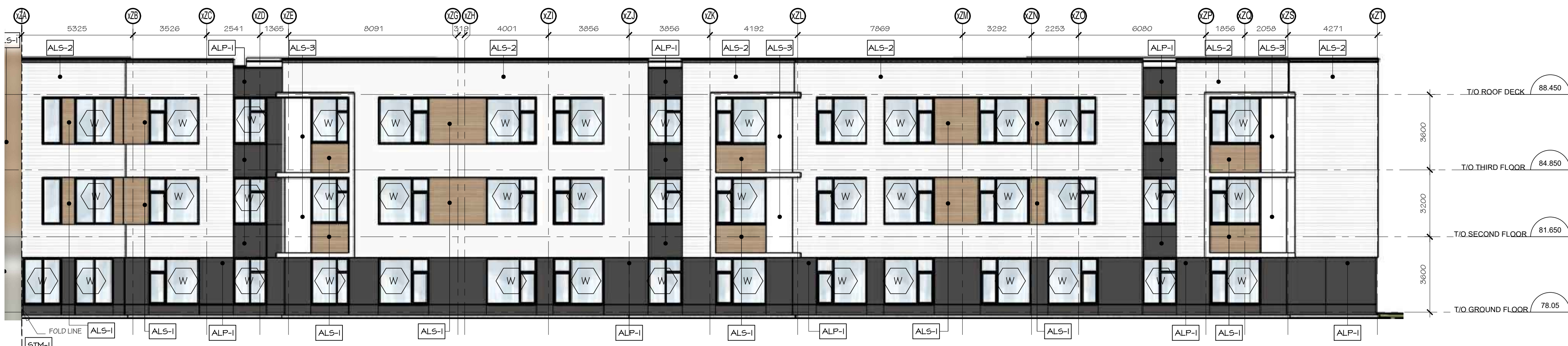


Hobin Architecture Incorporated
 63 Perrille Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION: BILBERRY CREEK LONG TERM CARE HOME	DRAWN BY: RF, NB	DATE: JUNE 2025	SCALE: AS NOTED
DRAWING TITLE: EXTERIOR ELEVATIONS NEW ADDITION	PROJECT: 2442		DRAWING NO.:
			AA3.01
			REVISION NO.:



1 PARTIAL PROPOSED SOUTH ELEVATION
AB3.01 SCALE 1:125



1 PARTIAL PROPOSED SOUTH ELEVATION, CONTINUED
AB3.01 SCALE 1:125

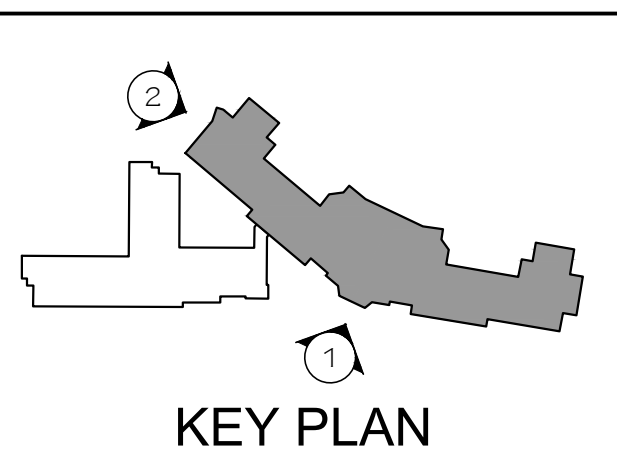


2 PROPOSED WEST ELEVATION
AB3.01 SCALE 1:125

MATERIAL LEGEND:

- ALP-1 ALUMINIUM PANEL - TYPE 1
- MV-1 MASONRY VENEER - TYPE 1
- MV-2 MASONRY VENEER - TYPE 2
- ALS-1 ALUMINIUM SIDING - TYPE 1
- ALS-2 ALUMINIUM SIDING - TYPE 2
- ALS-3 ALUMINIUM SIDING - TYPE 3
- STM-1 STONE MASONRY VENEER - TYPE 1
- SP SPANDREL PANEL
- DOOR DOOR
- CW CURTAIN WALL
- W WINDOW

NOTE: REFER TO ARCHITECTURAL OUTLINE SPECS.



no.	date	revision	no.	date	revision
2	SEPT. 16/25	ISSUED FOR SITE PLAN CONTROL			
1	JULY 24/25	ISSUED FOR CLASS D			

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.



Hobin Architecture Incorporated
 63 Perrille Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION: BILBERRY CREEK LONG TERM CARE HOME	DRAWN BY: RF, NB	DATE: JUNE 2025	SCALE: AS NOTED
DRAWING TITLE: EXTERIOR ELEVATIONS REDEVELOPMENT	PROJECT: 2442		DRAWING NO.: AB3.01
			REVISION NO.:



1 PARTIAL PROPOSED NORTH ELEVATION
AB3.02 SCALE 1:125



1 PARTIAL PROPOSED NORTH ELEVATION, CONTINUED
AB3.02 SCALE 1:125

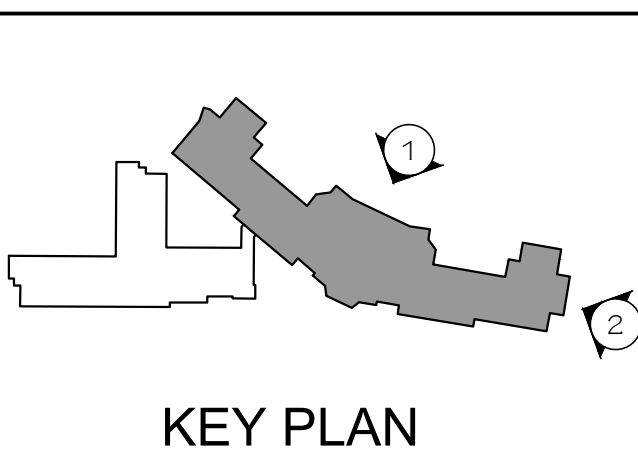


2 PROPOSED EAST ELEVATION
AB3.02 SCALE 1:125

MATERIAL LEGEND:

- ALP-1 ALUMINIUM PANEL - TYPE 1
- MV-1 MASONRY VENEER - TYPE 1
- MV-2 MASONRY VENEER - TYPE 2
- ALS-1 ALUMINIUM SIDING - TYPE 1
- ALS-2 ALUMINIUM SIDING - TYPE 2
- ALS-3 ALUMINIUM SIDING - TYPE 3
- STM-1 STONE MASONRY VENEER - TYPE 1
- SP SPANDREL PANEL
- DOOR DOOR
- CW CURTAIN WALL
- W WINDOW

NOTE: REFER TO ARCHITECTURAL OUTLINE SPECS.



no.	date	revision	no.	date	revision
2	SEPT. 16/25	ISSUED FOR SITE PLAN CONTROL			
1	JULY 24/25	ISSUED FOR CLASS D			

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

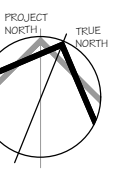


Hobin Architecture Incorporated
 63 Perrille Street
 Ottawa, Ontario
 Canada K1S 3K7
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com

PROJECT/LOCATION: BILBERRY CREEK LONG TERM CARE HOME	DRAWN BY: RF, NB	DATE: JUNE 2025	SCALE: AS NOTED
DRAWING TITLE: EXTERIOR ELEVATIONS REDEVELOPMENT	PROJECT: 2442		DRAWING NO.: AB3.02
			REVISION NO.:

COLOUR LEGEND

- RESIDENT ROOMS
- RESIDENT L.P.A.
- FOOD SERVICES
- CARE
- ADMINISTRATION
- SERVICES
- CIRCULATION



COLOUR LEGEND

- RESIDENT ROOMS
- RESIDENT L.P.A.
- FOOD SERVICES
- CARE
- ADMINISTRATION
- SERVICES
- CIRCULATION

