



Dendron Forestry Services

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**TREE CONSERVATION
REPORT V2.0**

1541 St. Joseph Boulevard

Tree Conservation Report submitted as Partial
Requirements for a Site Plan Control Application,
September 19, 2025

Dendron Forestry Services



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Tree Conservation Report

Submitted as part of Site Plan Control Application

Address: 1541 St Joseph Blvd

Date of Report: September 19, 2025

Date of Site Visit: August 26 and Sept 2, 2025

Prepared by: Astrid Nielsen, RPF, ISA Certified Arborist ®

Client: Antonio Zomparelli
Senior Project Manager,
Real Estate Development & Construction
Sienna Senior Living
302 Town Centre Boulevard, Suite 300
Markham, Ontario, L3R 0E8

Note: This updated report reflect coordination with the landscape plan and input from the construction team lead regarding site access

This Report must be read in its entirety, including the Assumptions and Limiting Conditions attached herein.

Purpose of the Report

This Tree Conservation Report has been prepared for 1541 St. Joseph Boulevard as partial requirements for the Site Plan Control Application submitted to the City of Ottawa. This report supplements the existing Environmental Impact Statement (EIS) and Tree Conservation Report prepared by Muncaster Environmental Planning Inc. The objectives of this Tree Conservation Report are:

- To describe all trees with diameters over 10 cm on the site, recording their species, size, and current health condition. This includes trees on adjacent private property 10 cm or greater in diameter, with critical root zones that extend onto the subject property. It also includes city trees of all sizes that will be impacted by the proposed development. This report includes only those trees onsite that are within the proposed development zone. A more comprehensive inventory of the entire site, including the forested area to the north, is provided in the EIS prepared by Muncaster Environmental Planning Inc.
- To evaluate the impact of the trees by the proposed development and what the recommended action is (retain and protect or remove)
- To provide recommendations on how to mitigate damage to retained trees during construction



Methodology

The following materials were reviewed as part of this report:

- Site plan prepared by Hobin Architecture dated April 2025
- Landscape Plan prepared by CSW dated July 31, 2025
- Survey prepared by JD Barnes dated May 9, 2025
- Environmental Impact Statement and Tree Conservation Report updated prepared by Muncaster Environmental Planning Inc dated May 27, 2025
- GeoOttawa tree inventory layer and aerial photography
- Google© Street View imagery – various years

A site visit was conducted to collect the following information from each tree classified as protected under the City of Ottawa’s Tree Protection By-law No. 2020-340:

- Diameter at breast height (1.3 m from grade)
- Species
- Tree health
- Relevant measurements such as distance to the existing structures like fences, driveways, etc

Current Vegetation

A detailed tree inventory of the development area was completed during the field visits on August 26 and Sept 2, 2025. Supplemental inventory information is provided in the EIS that includes a general description of the site including the deciduous forest to the north located on the steep incline. The EIS also includes an assessment of wildlife impacts, and the presence of significant woodlands and species at risk.

Appendix A contains an inventory of all trees that are protected under City of Ottawa Tree Protection (By-law No. 2020-340) on the site. This includes private trees with a diameter at breast height (dbh) of 10 cm or greater, and city-owned trees of all sizes. It also includes trees with a dbh of 10 cm or greater on adjacent properties whose Critical Root Zone (CRZ) extend into the subject area. The CRZ is an area around the trunk with a radius equivalent to 10 times the diameter of the trunk. This does not take into account infrastructure such as buildings and asphalt and it assumed the tree has no restrictions on root growth.

Proposed Development and Conserved Vegetation

The proposed development at this site will require tree removal of most trees in the front of the existing building due to significant construction activity including excavation, grading, servicing, and the installation of a retaining wall along the west side of the property. During this review, a careful examination was completed using the grading and servicing plans to assess the viability of tree retention during construction. The recommendations for tree retention are based on the best information available at the time, but this may change as more information is made available during the construction phase. This will be particularly relevant for those trees identified for retention between the two



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buildings (trees 31, 36). If feasible, retention of these trees would add significant benefits to the future residents. For retention to be successful, it should be carefully reviewed by the construction team prior to any site works to ensure that the protection measures can be effectively implemented.

The chart in Appendix A provides the recommendations for each tree and whether it can be retained or removed. This matches the trees in *Map 2: Proposed Development and Conserved Vegetation*.

Tree Protection and Mitigation Measures

Prior to any site works, protective fencing should be installed around the trees as indicated in *Map 2: Proposed Development and Conserved Vegetation* and maintained until all construction on site has been completed as per the **City of Ottawa Tree Protection Specifications (March 2021)**. Within the fenced area, the following tree protection guidelines should be applied:

- Do not change the grade
- Do not store construction material
- Do not operate machinery
- Do not convert to hard surface or change the landscaping
- Do not excavate unless it is a method that has been pre-approved by the City
- Do not place signs, notices or posters to any tree
- Do not damage the root system, trunk, or branches of any tree
- Direct the exhaust away from the tree

The tree protection fencing must be 1.2 m in height and constructed of a rigid or framed material (e.g. modulus – steel, plywood hoarding, or snow fence on a 2”X4” wood frame) with posts 2.4 m apart such that the fence location cannot be altered. All supports must be placed outside of the CRZ and installation must minimize damage to existing roots.

If the fenced tree protection area must be reduced to facilitate construction, *one* of the following mitigation measures should be applied:

- Place a layer of 6-12 inches (15 to 30 cm) of woodchip mulch to the area
- Apply ¾ (2 cm) inch plywood, or road mats over a 4+ inch (10 cm) thick layer of the wood chip mulch
- Apply 4-6 inches (10 to 15 cm) of gravel over a taut, staked, geotextile fabric

Tree Planting Recommendation

The Landscape Plan submitted as part of this application contains more details on tree planting for this site. Where feasible, priority should be given to native species as they can help maintain and enhance local biodiversity. Any invasive species such as Norway maple, amur maple, should be completely avoided due to the proximity to a natural area. Raised-curb style planters are recommended for planting in paved areas. Underplanting shrubs in these planters can provide the trees protection and extra nutrients.



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Construction activities can significantly reduce soil quality and quantity on site. Trees require large volumes of high-quality soil to be successful after planting; retained quality topsoil during construction should be used to plant trees in softscape areas.

Wildlife Impact

The impact to wildlife is included in the Environmental Impact Assessment prepared by Muncaster Environmental Planning Inc.

Tree Clearing and Migratory Birds

Following the guidelines under the *Migratory Birds Convention Act*, 1994, removal of vegetation should be avoided during the nesting periods for migratory birds which extends from April 15 to as late as August 15th. If tree removal is required during this period, a nesting survey should be completed by a biologist within 5 days of tree removal to confirm that no nests are present.

The undersigned personally inspected the property and issues associated with this report on August 26 and September 2, 2025. On Behalf of Dendron Forestry Services,



Astrid Nielsen, MFC, RPF (Registered Professional Forester)

ISA Certified Arborist®, ON-1976

ISA Tree Risk Assessment Qualified

Principal, Dendron Forestry Services

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ASSUMPTIONS AND LIMITING CONDITIONS

Intended Use of the Report

This Report was prepared by Dendron Forestry Services (hereafter “Dendron”) at the request of the Client. The results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report are to be used solely for the purposes outlined within this Report. All other uses are impermissible and unintended, unless specifically stated in writing in the Report.

Intended User of the Report

This Report was prepared by Dendron for the exclusive use of the Client and may not be used or relied upon by any other party. All other users are unintended and unauthorized, unless specifically stated in writing in the Report.

Limitations of this Report

This Report is based on the circumstances and on-site conditions as they existed at the time of the site inspection and the information provided by the Client and/or third parties to Dendron. On-site conditions may limit the extent of the on-site inspection(s) conducted by Dendron, including weather events such as rain, flooding, storms, winds, tornados, snowfall, snow cover, hail; obstructions including fencing, dwellings, buildings, sheds, plants, and animals; lack of access to the entire perimeter of the tree due to adjacent properties; the shape of the tree; and accessibility of the tree crown, branches, trunk, or roots for examination.

In the event that information provided by the Client or any third parties, including but not limited to documents, records, site and grading plans, permits, or representations or any site conditions are updated or change following the completion of this Report, this Report is no longer current and valid and cannot be relied upon for the purpose for which it was prepared. Dendron and its agents, assessors, and/or employees are not liable for any damages, injuries, or losses arising from amendments, revisions, or changes to the documents, records, site and grading plans, permits, representations, or other information upon which Dendron relied in preparing this Report.

No assessment of any other trees or plants has been undertaken by Dendron. Dendron and its agents, assessors, and/or employees are not liable for any other trees or plants on or around the subject Property except those expressly identified herein. The results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report apply only to the trees identified herein.

Trees and plants are living organisms and subject to change, damage, and disease, and the results, observations, interpretations, analysis, recommendations, and conclusions as set out in this Report are valid only as at the date any inspections, observations, tests, and analysis took place. No guarantee, warranty, representation, or opinion is offered or made by Dendron as to the length of the validity of the results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report. As a result the Client shall only rely upon this Report as representing the results, observations, interpretations, analysis, recommendations, and conclusions that were made as at the date of such inspections, observations, tests, and analysis. The trees discussed in this Report should be re-assessed periodically and at least within one year of the date of this Report.

No Opinion regarding ownership of the Tree

This Report was not prepared to make a determination as to ownership of the subject tree(s). Where ownership of the subject tree(s) is identified within this Report, said identification is based on the information provided by the Client and third parties, including surveys, permits, and site and grading plans and may not be relied upon as a guarantee, warranty, or representation of ownership.

Assumptions

This Report is based on the circumstances and conditions as they existed at the time of the site inspection and the information provided by the Client and/or third parties to Dendron. Where documents, records, site and grading plans, permits, representations, and any other information was provided to Dendron for the purpose of preparing this Report, Dendron assumed that said information was correct and up-to-date and prepared this Report in reliance on that information. Dendron and its agents, assessors, and/or employees, are not responsible for the veracity or accuracy of such information. Dendron and its agents, assessors, or employees are not liable for any damages, injuries, or losses arising from inaccuracies, errors, and/or omissions in the documents, records, site and grading plans, permits, representations, or other information upon which Dendron relied in preparing this Report.

For the purpose of preparing this Report, Dendron and its agents, assessors, and/or employees assumed that the property which is the subject of this Report is in full compliance with all applicable federal, provincial, municipal, and local statutes, regulations, by-laws, guidelines, and other related laws. Dendron and its agents, assessors, and/or employees are not liable for any issues with respect to non-compliance with any of the above-referenced statutes, regulations, bylaws, guidelines, and laws as it may pertain to or affect the property to which this Report applies.

For the purpose of preparing this Report, Dendron and its agents, assessors, and/or employee assumed that there are no hidden or unapparent conditions affecting the results, observations, interpretations, analysis, recommendations, and conclusions contained within this Report.

No Publication

The Client acknowledges and agrees that all intellectual property rights and title, including without limitation, all copyright in this Report shall remain solely with Dendron Forestry. Possession of this Report, or a copy thereof, does not entitle the Client or any third party to the right of publication or reproduction of the Report for any purpose save and except where Dendron has given its prior written consent.



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Neither all nor any part of the contents of this Report shall be disseminated to the public through advertising, public relations, news, sales, the internet or other media (including, without limitation, television, radio, print or electronic media) without the prior written consent of Dendron Forestry.

Implementing the Report Recommendations

Dendron and its agents, assessors, and/or employees accept no responsibility for the implementation of any part of this Report unless specifically requested to provide oversight on the implementation of the recommendations. In the event that inspection or supervision of all or part of the implementation of the within recommendations is requested, that request shall be in writing and the details agreed to in writing by both parties.

Dendron and its agents, assessors, and/or employees are not liable for any damages or injuries arising from the manner in which the recommendations in this Report are implemented, including failure to, incorrect, or negligent implementation of the recommendations.

Further Services

Neither Dendron nor any assessor employed or retained by Dendron for the purpose of preparing or assisting in the preparation of this Report shall be required to provide any further consultation or services to the Client, save and except as already carried out in the preparation of this Report and including, without limitation, to act as an expert witness or witness in any court in any jurisdiction unless the Client has first made specific arrangements with respect to such further services, including, without limitation, providing the payment of the Report's regular hourly billing fees.

Limits of Liability

In carrying out this Report, Dendron and its agents, assessors, and/or employees have exercised a reasonable standard of care, skill, and diligence as would be customarily and normally provided in carrying out this Report. While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or all parts of them will remain standing. It is professionally impossible to predict with absolute certainty the behaviour of any single tree or group of trees, or all their component parts, in all given circumstances. Inevitably, a standing tree will always pose some risk. Most trees have the potential to fall, lean, or otherwise pose a danger to property and persons in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Without limiting the foregoing, no liability is assumed by Dendron for:

- a) any legal description provided with respect to the Property;
- b) issues of title and or ownership respect to the Property;
- c) the accuracy of the Property line locations or boundaries with respect to the Property; and
- d) the accuracy of any other information provided to Dendron by the Client or third parties;
- e) any consequential loss, injury or damages suffered by the Client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and
- f) the unauthorized distribution of the Report.

The total monetary amount of all claims or causes of action the Client may have as against Dendron Forestry, including but not limited to claims for negligence, negligent misrepresentation, and breach of contract, shall be strictly limited solely to the total amount of fees paid by the Client to Dendron Forestry pursuant to the Contract for Services dated August 15, 2025 for which this Assessment was carried out.

Further, under no circumstance may any claims be initiated or commenced by the Client against Dendron or any of its directors, officers, employees, contractors, agents, assessors, or Assessors, in contract or in tort, more than 12 months after the date of this Report.

No Third Party Liability

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General

Any plans and/or illustrations in this Report are included only to help the Client visualize the issues in this Report and shall not be relied upon for any other purpose. This report is best viewed in colour. Any copies printed in black and white may make some details difficult to properly understand. Dendron accepts no liability for misunderstandings due to a black and white copy of the report.

Notwithstanding any of the above, nothing in this Report is taken to absolve the Client of the responsibility of obtaining a new Report in the event that the circumstances of the tree change.



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Appendix A: Tree Inventory Data

Tree ¹	Species	Diameter at breast height (cm)	Ownership ^{2,3}	Condition	Recommendations
1	Trembling aspen (Populus tremuloides)	23	Jointly owned with City	Fair/poor	Remove ; conflict with new building
2	White spruce (Picea glauca)	16	Private	Fair/good	Remove ; conflict with new building
3	Norway spruce (Picea abies)	20	Private	Good	Remove ; conflict with new building
4	White pine (Pinus strobus)	27	Private	Good/fair	Remove ; conflict with new laneway
5	White pine (Pinus strobus)	26	Private	Good/fair	Remove ; conflict with new laneway
6	White pine (Pinus strobus)	24	Private	Good/fair	Remove ; conflict with proposed laneway and grading
7	Silver maple (Acer saccharinum)	57	Private	Good	Remove ; conflict with proposed laneway
8	White pine (Pinus strobus)	17	Private	Fair/poor	Remove ; conflict with new building
9	White pine (Pinus strobus)	17	Private	Good	Remove ; conflict with new laneway and services (sanitary)
10	White pine (Pinus strobus)	27	Private	Good	Remove ; Remove; conflict with proposed laneway
11	White pine (Pinus strobus)	16	Private	Poor	Remove ; poor health and conflict with proposed regrading
12	White pine (Pinus strobus)	21	Private	Good	Remove ; conflict with proposed laneway
13	White pine (Pinus strobus)	18	Private	Good	Remove ; proposed regrading of up to 0.5 to 1m increase
14	Silver maple (Acer saccharinum)	29	Private	Good/fair	Remove ; proposed regrading of up to 0.5 to 1m increase and new catch basin
15	Silver maple (Acer saccharinum)	42	Private	Good	Remove ; proposed regrading of up to 0.5 to 1m increase and new catch basin



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16	Grey birch (<i>Betula populifolia</i>)	17	Private	Fair	Remove ; proposed regrading of up to 0.5 to 1m increase and new catch basin
17	Hawthorne (<i>Crataegus</i> spp.)	12	Private	Fair	Remove ; regrading and proximity to existing building
18	Amur maple (<i>Acer ginnala</i>)	10,11,11	Private	Fair	Remove ; regrading and proximity to existing building
19	Amur maple (<i>Acer ginnala</i>)	5,7,7,12,12	Private	Fair/good	Remove ; regrading and new pathway conflict
20	White pine (<i>Pinus strobus</i>)	21	Private	Good	Remove ; regrading
21	White pine (<i>Pinus strobus</i>)	21	Private	Fair	Remove ; regrading
22	Little leaf linden (<i>Tilia cordata</i>)	23	Private	Fair; girdling roots and possible root decay	Remove ; regrading
23	Hawthorne (<i>Crataegus</i> spp.)	12	Private	Fair	Remove ; too close to building where work will be conducted
24	Little leaf linden (<i>Tilia cordata</i>)	20	Private	Good	Retain and protect; review with construction team to reevaluate feasibility of retention with grading and catch basin installation
25	Norway spruce (<i>Picea abies</i>)	23	Private	Good	Retain and protect; review with construction team to reevaluate feasibility of retention with grading and catch basin installation
26	Norway spruce (<i>Picea abies</i>)	23	Private	Good	Remove ; new catch basin and grading increase
27	Amur maple (<i>Acer ginnala</i>)	13	Private	Good	Remove ; conflict with new building
28	White birch (<i>Betula papyrifera</i>)	16	Private	Good/fair	Remove ; conflict with new building
29	Eastern white cedar (<i>Thuja occidentalis</i>)	7,12	Private	Good/fair	Remove ; conflict with new building and laneway
30	White pine (<i>Pinus strobus</i>)	29	Private	Fair; possible girdling roots	Remove ; conflict with new building and laneway
31	Norway maple (<i>Acer platanoides</i>)	21	Private	Good/fair; girdling roots	Retain and protect with fencing
32	White pine (<i>Pinus strobus</i>)	21	Private	Poor; almost dead	Remove due to poor health
33	White pine (<i>Pinus strobus</i>)	17	Private	Fair/poor, large scar along trunk, thin crown and dieback	Remove ; new catch basin and poor health



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34	White pine (Pinus strobus)	20	Private	Good	Remove ; conflict with proposed services and paving
35	White pine (Pinus strobus)	23	Private	Good	Remove ; conflict with proposed services and paving
36	Norway maple (Acer platanoides)	23	Private	Good/fair; poor union with codominant stem	Retain and protect with fencing
37	Silver maple (Acer saccharinum)	16	Private	Fair/poor; Large scar on trunk	Remove ; conflict with new building
38	Silver maple (Acer saccharinum)	16,18,12,13,9	Private	Good/fair; needs structural pruning	Remove ; conflict with new building
39	Trembling aspen (Populus tremuloides)	11	Private	Poor	Remove ; conflict with new building
40	Cottonwood (Populus deltoides)	31	Private	Fair/Good	Remove ; conflict with new building
41	Red maple (Acer rubrum)	11	Private	Poor; recently partly chopped trunk	Remove due to poor health
42	White pine (Pinus strobus)	26	Private	Good	Retain and protect with fencing; limit grading within critical root zone as much as possible; protect roots during walkway replacement
43	Grey birch (Betula populifolia)	9,16	Private	Fair/poor; dieback present	Remove due to poor health and proposed grading and walkway
44	Grey birch (Betula populifolia)	14	Private	Poor/fair	Remove due to poor health and proposed grading and walkway
45	White spruce (Picea glauca)	15	Private	Good	Retain and protect with fencing; limit grading within critical root zone as much as possible; protect roots during walkway replacement
46	White spruce (Picea glauca)	16	Private	Good	Retain and protect with fencing; limit grading within critical root zone as much as possible; protect roots during walkway replacement
47	Red maple (Acer rubrum)	24	Private	Good	Retain and protect with fencing; limit grading within critical root zone as much as possible; protect roots during walkway replacement
48	Little leaf linden (Tilia cordata)	23	Private	Good/fair	Remove ; access required for construction on existing building
49	White pine (Pinus strobus)	20	Private	Fair; 2 codominant stems, slightly	Retain and protect with fencing; limit grading within critical root zone as much as possible; protect roots during walkway replacement



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				chlorotic, included bark	
50	White pine (Pinus strobus)	22	Private	Fair; 2 codominant stems, included bark	Retain and protect with fencing; limit grading within critical root zone as much as possible; protect roots during walkway replacement
51	Little leaf linden (Tilia cordata)	24	Private	Fair; recent root damage, insect holes in trunk	Remove ; access required for construction on existing building
52	White pine (Pinus strobus)	19	Private	Fair	Remove ; access required for construction on existing building
53	White pine (Pinus strobus)	20	Private	Fair/good	Remove ; access required for construction on existing building
54	Norway maple (Acer platanoides)	18	Private	Good	Remove ; access required for construction on existing building
55	White pine (Pinus strobus)	14	Private	Good	Remove ; conflict with proposed walkway
56	Norway maple (Acer platanoides)	64	Private	Poor	Remove due to poor health
57	Weeping willow (Salix babylonica)	70	City	Fair; codominant stem removed previously, possible basal decay	Remove ; conflict with proposed new laneway
58	American elm (Ulmus americana)	25	Private	Good	Retain and protect
59	American elm (Ulmus americana)	25,25	City	Good	Retain and protect
60	American elm (Ulmus americana)	19	City	Good	Retain and protect
61	Bitternut hickory (Carya cordiformis)	65,32,28,27,15	Jointly owned with NCC	Fair; codominant stems separating from the base	Remove ; conflict with proposed retaining wall; explore options to retain at time of construction
62	Bitternut hickory (Carya cordiformis)	20,15,17,18,12	NCC	Good; codominant steps separating from the base	Remove ; conflict with proposed retaining wall; explore options to retain and smaller stems at time of construction



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63	Bitternut hickory (Carya cordiformis)	45,45	Jointly owned with NCC	Fair; fused codominant stems	Remove ; conflict with proposed retaining wall
64	Manitoba maple (Acer negundo)	50,60,17	Private	Poor	Remove ; conflict with proposed retaining wall, poor health
65	Bitternut hickory (Carya cordiformis)	60	Jointly owned with NCC	Poor; hickory gall throughout in advanced stages of decline	Remove ; conflict with proposed retaining wall, poor health
66	Bitternut hickory (Carya cordiformis)	45	Jointly owned with NCC	Poor; hickory gall throughout in advanced stages of decline	Remove ; conflict with proposed retaining wall, poor health
67	Norway maple (Acer platanoides)	25	Private	Fair	Remove ; conflict with proposed retaining wall
68	Manitoba maple (Acer negundo)	29	Private	Fair/poor	Remove ; conflict with proposed retaining wall, poor health
69	Manitoba maple (Acer negundo)	28	Jointly owned with NCC	Fair	Remove ; conflict with proposed retaining wall
70	Manitoba maple (Acer negundo)	31,29,26	Jointly owned with NCC	Fair	Remove ; conflict with proposed retaining wall
71	Norway maple (Acer platanoides)	15	Private	Fair	Remove ; conflict with proposed retaining wall
72	Manitoba maple (Acer negundo)	30,17,20,23	Private	Fair	Remove ; conflict with proposed retaining wall

¹ Please refer to the enclosed Tree Conservation Report map for tree numbers. Note that this map includes a tree layer added to maps provided by the client. This layer includes only information about the trees and the original plans were not altered in this process.

²Ownership of the tree in this report is based on the information provided and should not be used as a determination of ownership. For ownership disputes, a survey should be relied on. For boundary trees, consent from the adjacent property owner is required for removal as part of the application.

³The location of these trees was not provided and has been estimated



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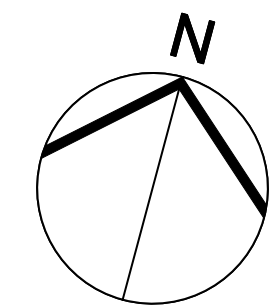
Appendix B: Map 1: Existing Vegetation

Note: the tree layer has been added to the original base layer supplied by the client in pdf format. This layer refers to the trees only, and the original base has not been altered in the process, although it may be cropped. Refer to the original plan for details as quality is lost when importing the plan into the software used to create the tree layer.

Base Layer: Survey prepared by JD Barnes dated May 9, 2025

TCR Map#1: Existing Vegetation – 1541
Saint Joseph Boulevard

Date	Revision	Prepared By
08/25/2025	Version 1	AN



- Legend**
- 1 Private Tree
 - 1 Tree either fully or partly on adjacent property
 - 1 Tree either fully or partly on city property
 - Location of tree not provided on survey and has been estimated



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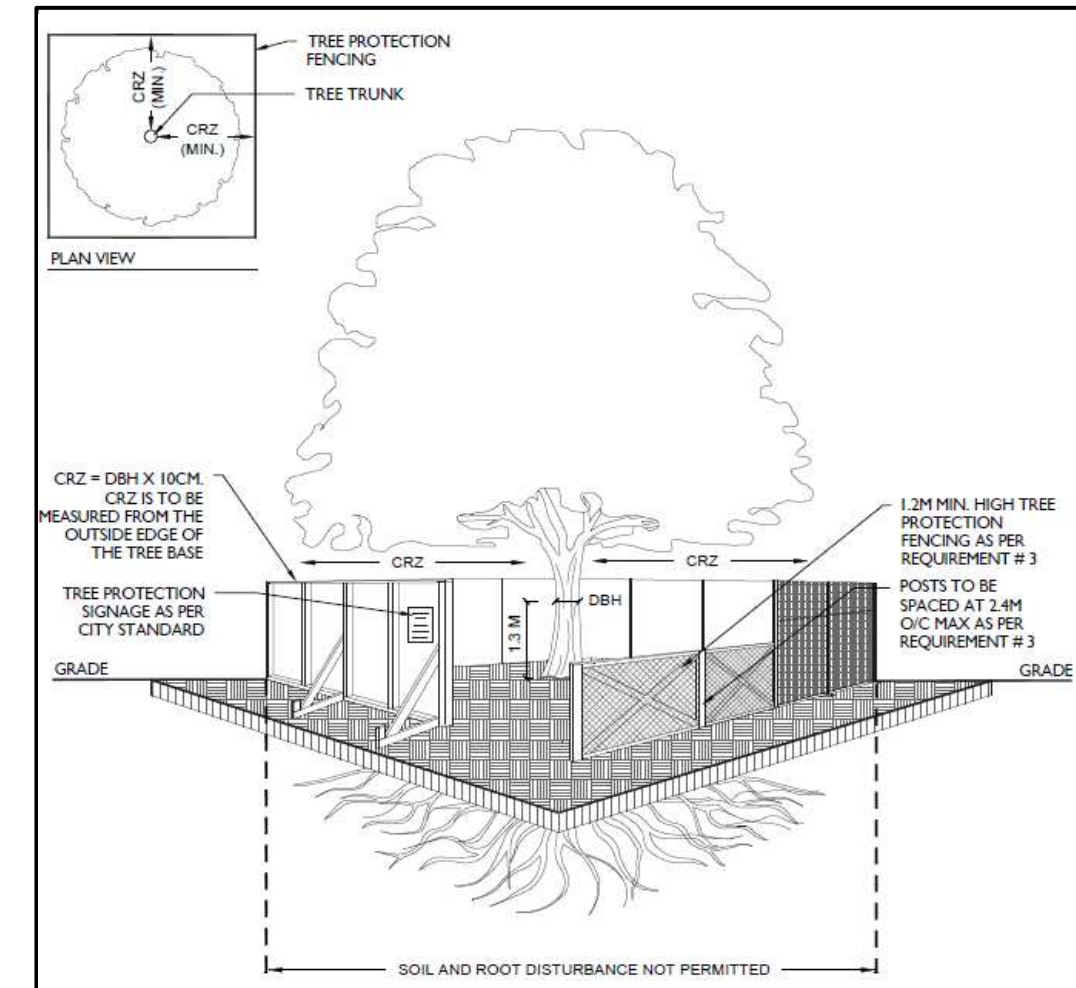
Appendix C: Map 2: Proposed Development and Conserved Vegetation

Note: the tree layer has been added to the original base layer supplied by the client in pdf format. This layer refers to the trees only, and the original base has not been altered in the process, although it may be cropped. Refer to the original plan for details as quality is lost when importing the plan into the software used to create the tree layer.

Base Layer: Grading plan prepared by Novatech Engineering, Planners & Landscape Architects Inc dated July 24, 2025

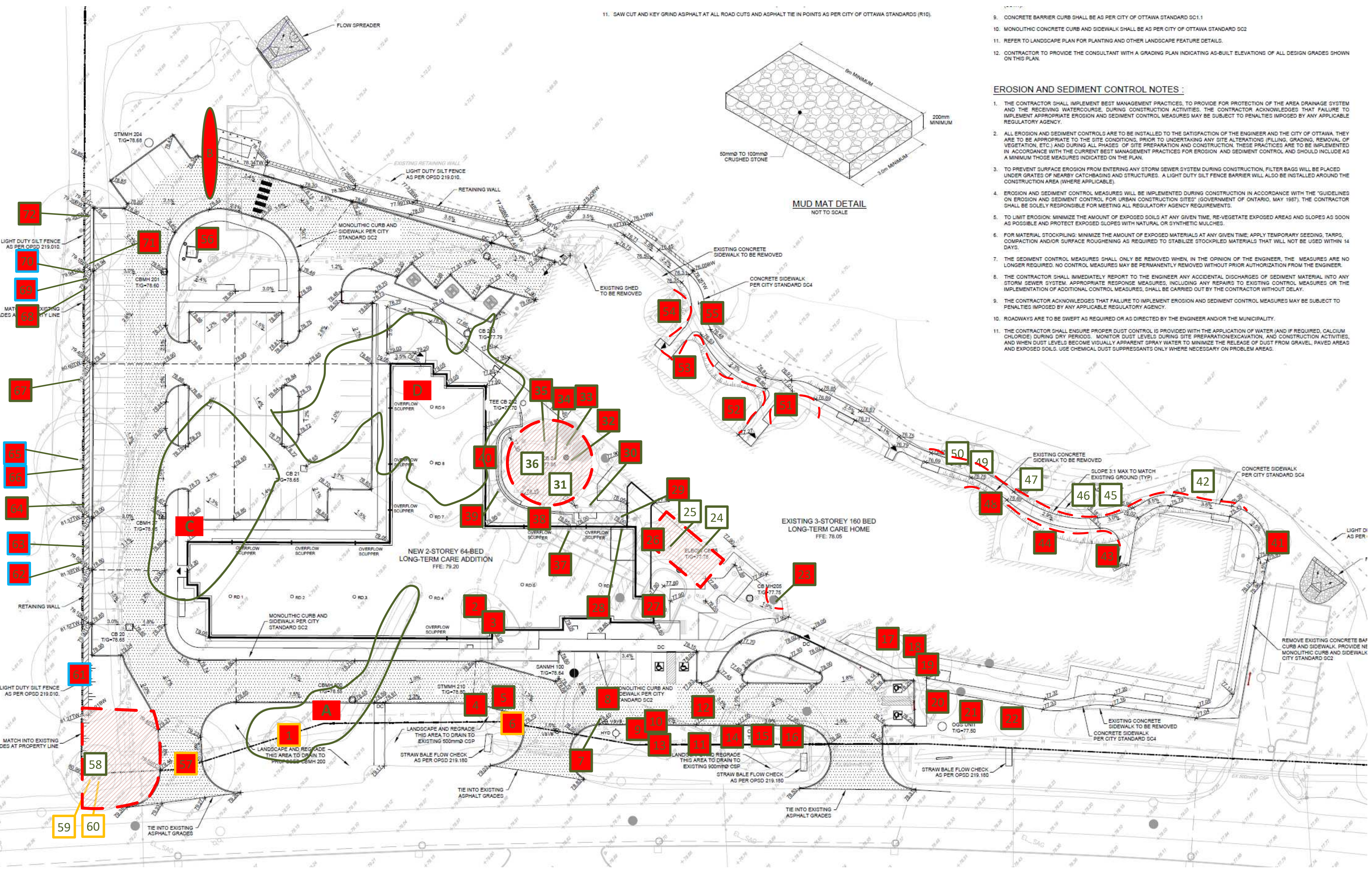
TCR Map#2: Proposed Development and Conserved Vegetation – 1541 Saint Joseph Boulevard

Date	Revision	Prepared By
08/19/2025	Version 1	AN
09/19/2025	Version 2	AN

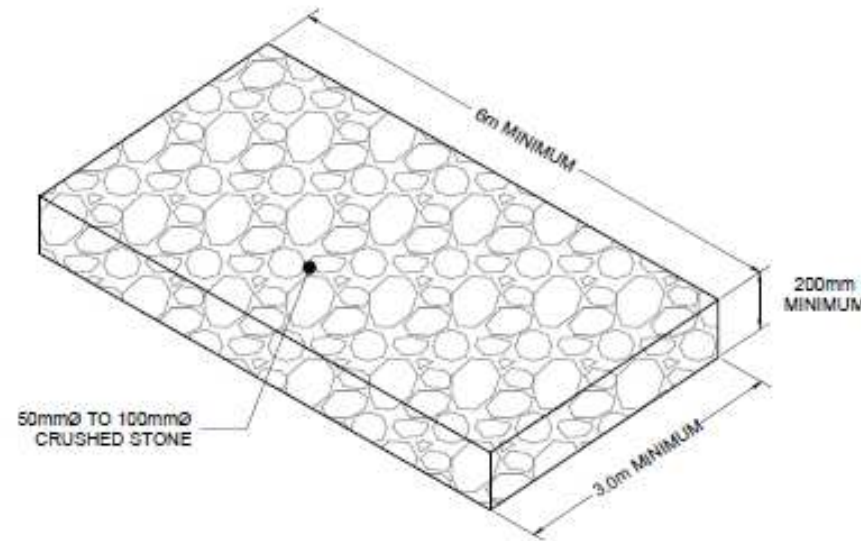


Failure to install and maintain fencing as described in this report may result in fines from the city.

- TREE PROTECTION REQUIREMENTS:**
- PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 - UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
 - TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"X4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
 - THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 - IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.



- CONCRETE BARRIER CURB SHALL BE AS PER CITY OF OTTAWA STANDARD SC1.1
- MONOLITHIC CONCRETE CURB AND SIDEWALK SHALL BE AS PER CITY OF OTTAWA STANDARD SC2
- REFER TO LANDSCAPE PLAN FOR PLANTING AND OTHER LANDSCAPE FEATURE DETAILS.
- CONTRACTOR TO PROVIDE THE CONSULTANT WITH A GRADING PLAN INDICATING AS-BUILT ELEVATIONS OF ALL DESIGN GRADES SHOWN ON THIS PLAN.



EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
- ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED TO THE SATISFACTION OF THE ENGINEER AND THE CITY OF OTTAWA. THEY ARE TO BE APPROPRIATE TO THE SITE CONDITIONS, PRIOR TO UNDERTAKING ANY SITE ALTERATIONS (FILLING, GRADING, REMOVAL OF VEGETATION, ETC.) AND DURING ALL PHASES OF SITE PREPARATION AND CONSTRUCTION. THESE PRACTICES ARE TO BE IMPLEMENTED IN ACCORDANCE WITH THE CURRENT BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL, AND SHOULD INCLUDE AS A MINIMUM THOSE MEASURES INDICATED ON THE PLAN.
- TO PREVENT SURFACE EROSION FROM ENTERING ANY STORM SEWER SYSTEM DURING CONSTRUCTION, FILTER BAGS WILL BE PLACED UNDER GRATES OF NEARBY CATCHBASINS AND STRUCTURES. A LIGHT DUTY SILT FENCE BARRIER WILL ALSO BE INSTALLED AROUND THE CONSTRUCTION AREA (WHERE APPLICABLE).
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION IN ACCORDANCE WITH THE 'GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES' (GOVERNMENT OF ONTARIO, MAY 1997). THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEETING ALL REGULATORY AGENCY REQUIREMENTS.
- TO LIMIT EROSION, MINIMIZE THE AMOUNT OF EXPOSED SOILS AT ANY GIVEN TIME, RE-VEGETATE EXPOSED AREAS AND SLOPES AS SOON AS POSSIBLE AND PROTECT EXPOSED SLOPES WITH NATURAL OR SYNTHETIC MULCHES.
- FOR MATERIAL STOCKPILING, MINIMIZE THE AMOUNT OF EXPOSED MATERIALS AT ANY GIVEN TIME, APPLY TEMPORARY SEEDING, TARPS, COMPACTION AND/OR SURFACE ROUGHENING AS REQUIRED TO STABILIZE STOCKPILED MATERIALS THAT WILL NOT BE USED WITHIN 14 DAYS.
- THE SEDIMENT CONTROL MEASURES SHALL ONLY BE REMOVED WHEN, IN THE OPINION OF THE ENGINEER, THE MEASURES ARE NO LONGER REQUIRED. NO CONTROL MEASURES MAY BE PERMANENTLY REMOVED WITHOUT PRIOR AUTHORIZATION FROM THE ENGINEER.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY ACCIDENTAL DISCHARGES OF SEDIMENT MATERIAL INTO ANY STORM SEWER SYSTEM. APPROPRIATE RESPONSE MEASURES, INCLUDING ANY REPAIRS TO EXISTING CONTROL MEASURES OR THE IMPLEMENTATION OF ADDITIONAL CONTROL MEASURES, SHALL BE CARRIED OUT BY THE CONTRACTOR WITHOUT DELAY.
- THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
- ROADWAYS ARE TO BE SWEEPED AS REQUIRED OR AS DIRECTED BY THE ENGINEER AND/OR THE MUNICIPALITY.
- THE CONTRACTOR SHALL ENSURE PROPER DUST CONTROL IS PROVIDED WITH THE APPLICATION OF WATER (AND IF REQUIRED, CALCIUM CHLORIDE) DURING DRY PERIODS. MONITOR DUST LEVELS DURING SITE PREPARATION, EXCAVATION, AND CONSTRUCTION ACTIVITIES, AND WHEN DUST LEVELS BECOME VISUALLY APPARENT SPRAY WATER TO MINIMIZE THE RELEASE OF DUST FROM GRAVEL, PAVED AREAS AND EXPOSED SOILS. USE CHEMICAL DUST SUPPRESSANTS ONLY WHERE NECESSARY ON PROBLEM AREAS.

11. SAW CUT AND KEY GRIND ASPHALT AT ALL ROAD CUTS AND ASPHALT TIE IN POINTS AS PER CITY OF OTTAWA STANDARDS (R10).

MUD MAT DETAIL
NOT TO SCALE

Legend

- Private Tree
- Tree either fully or partly on adjacent property
- Tree either fully or partly on city property
- Tree Protection Area
- Tree to be removed

