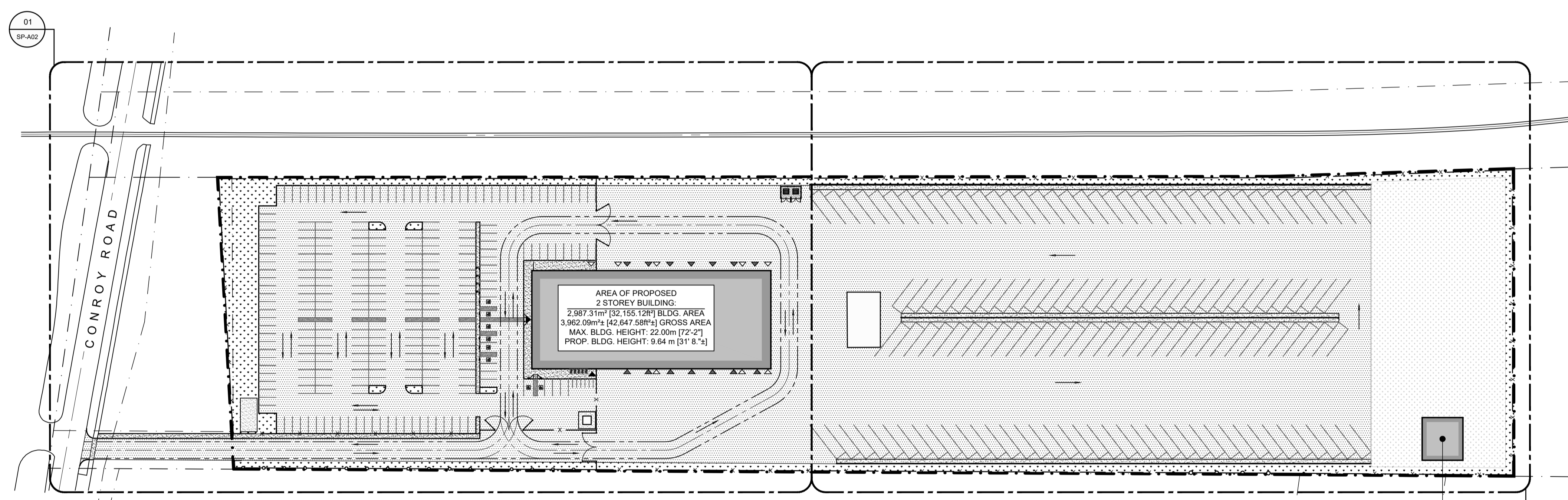


**NOTE:**  
THIS SITE PLAN HAS BEEN BASED ON THE SURVEYOR'S REAL PROPERTY REPORT PREPARED BY J.D. BARNES LTD., DATED SEPTEMBER 04, 2024.

**ZONING INFORMATION**

1. **GENERAL INFORMATION:**  
LEGAL DESCRIPTION:  
PT LT 2, CON SRF, PTS 1,2,3, SR5712, EXCEPT PT 1, 4R11804; T/W IN N742746, OTTAWA/GLOUCESTER
2. **TOTAL BUILDING AREA (B.A.):**  
2,987.31m<sup>2</sup>
3. **TOTAL GROSS FLOOR AREA (G.F.A.):**  
3,962.09m<sup>2</sup>  
GROUND FLOOR:  
GROUP D (BUSINESS & PERSONAL SERVICES):  
790.73m<sup>2</sup> [8,511.34ft<sup>2</sup>]  
GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):  
2,230.04m<sup>2</sup> [24,003.95ft<sup>2</sup>]  
SECOND FLOOR:  
GROUP D (BUSINESS & PERSONAL SERVICES):  
941.32m<sup>2</sup> [10,132.28ft<sup>2</sup>]
4. **PROPOSED USE:**  
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
2. **ZONING PROVISIONS:**
  - 2.1. **DESIGNATION:**  
GENERAL INDUSTRIAL ZONE (IG3)
  - 2.2. **LOT AREA:**  
REQUIRED: 1,000.00m<sup>2</sup> [10,763.90ft<sup>2</sup>] (MIN.)  
PROPOSED: 48,611.80m<sup>2</sup> [523,253.62ft<sup>2</sup>]
  - 2.3. **LOT FRONTAGE:**  
REQUIRED: 0.00m (MIN.)  
PROPOSED: 103.30m [338.91ft]
  - 2.4. **SETBACKS:**  
**FRONT YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 108.21m [355.02ft]  
**CORNER SIDE YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: N/A  
**INTERIOR SIDE YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 34.20m [112.21ft] (MIN.)  
**REAR YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 264.01m [866.18ft]
  - 2.5. **LOT COVERAGE:**  
REQUIRED: 65% (MAX.)  
PROPOSED: 6.6%
  - 2.6. **FLOOR SPACE INDEX (FSI):**  
FSI = (3,962.09m<sup>2</sup> / 48,611.80m<sup>2</sup>) = 0.08
  - 2.7. **BUILDING HEIGHT:**  
REQUIRED: 22.00m [72.17ft] (MAX.)  
PROPOSED: 9.64m [31.64ft]
  - 2.8. **ACCESSORY BUILDING HEIGHT:**  
REQUIRED: 6.00m [19'-8"] (MAX.)  
PROPOSED: 8.08m [26'-6"]
3. **PARKING (PER SECTIONS 3.30 & 3.41):**
  - 3.1. **PARKING SPACES:**  
**STANDARD SPACES**  
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING  
PROVISION: 0.75 SPACES PER 100m<sup>2</sup> G.F.A.  
REQUIRED: (2,230.04m<sup>2</sup> / 100m<sup>2</sup>) x 0.75 = 16.72 SPACES = 17.00 SPACES  
OFFICE  
PROVISION: 2.40 SPACES PER 100m<sup>2</sup> G.F.A.  
REQUIRED: (1,732.05m<sup>2</sup> / 100m<sup>2</sup>) x 2.40 = 41.57 SPACES = 42 SPACES  
**STORAGE (ACCESSORY BUILDING)**  
PROVISION: 0.80 SPACES PER 100m<sup>2</sup> G.F.A.  
REQUIRED: (221.51m<sup>2</sup> / 100m<sup>2</sup>) x 0.80 = 1.77 SPACES = 2.00 SPACES  
REQUIRED: 12 SPACES  
**BARRIER-FREE (B.F.) SPACES:**  
PROVISION: 251-300 STANDARD SPACES = 8 SPACES (4 - TYPE A, 4 - TYPE B)  
**TOTAL REQUIRED:** 8 B.F. + 62 STANDARD = 70 PARKING SPACES  
**TOTAL PROVIDED:** 8 B.F. + 259 STANDARD = 267 PARKING SPACES
  - 3.2. **LOADING SPACES:**  
PROVISION: 2,000m<sup>2</sup>-4,999m<sup>2</sup> G.F.A. = 2 SPACES  
REQUIRED: 2 SPACES  
PROVIDED: 2 SPACES
  - 3.3. **BICYCLE SPACES:**  
PROVISION: ALL NON-RESIDENTIAL USES  
1 PER 150m<sup>2</sup> G.F.A. = 2 SPACES  
OFFICE  
1 PER 250m<sup>2</sup> G.F.A. = 7 SPACES  
9 SPACES  
REQUIRED: 10 SPACES  
PROVIDED: 10 SPACES
  - 3.4. **MOTORCYCLE SPACES:**  
PROVISION: 5% OF PARKING SPACES MAX.  
REQUIRED: 5% = 12 SPACES MAX.  
PROVIDED: 12 SPACES
  - 3.5. **FLEET PARKING SPACES:**  
REQUIRED: N/A  
PROVIDED: 135 SPACES

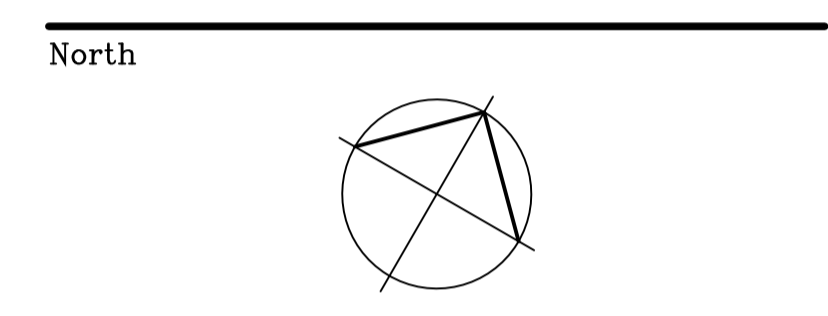
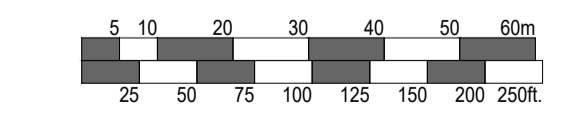


AREA OF PROPOSED  
2 STOREY BUILDING:  
2,987.31m<sup>2</sup> [32,155.12ft<sup>2</sup>] BLDG. AREA  
3,962.09m<sup>2</sup> [42,647.58ft<sup>2</sup>] GROSS AREA  
MAX. BLDG. HEIGHT: 22.00m [72'-2"]  
PROP. BLDG. HEIGHT: 9.64m [31'-8"]

AREA OF PROPOSED  
1 STOREY TARP BUILDING:  
221.51m<sup>2</sup> [2,384.35ft<sup>2</sup>] BLDG. AREA  
221.51m<sup>2</sup> [2,384.35ft<sup>2</sup>] GROSS AREA  
MAX. BLDG. HEIGHT: 6.00m [19'-8"]  
PROP. BLDG. HEIGHT: 8.08m [26'-6"]

**SYMBOL LEGEND**

- SITE PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- SETBACK LINE
- ROAD CENTRELINE
- FIRE ROUTE LINE
- NEW CHAIN LINK FENCE
- NEW NOISE DAMPENING FENCE
- MUNICIPAL ROAD BOUNDARY
- SNOW STORAGE AREA BOUNDARY
- DIRECTION OF TRAVEL
- ▭ PROPOSED BUILDING
- ▨ PROPOSED HEAVY DUTY ASPHALT
- ▩ EXISTING GRAVEL
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ LANDSCAPED AREA
- ▶ OR ▶ B.F. PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE
- ◀ OR ▶ B.F. SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS
- O.H. OVERHEAD DOOR
- Ⓡ OR F.R. FIRE ROUTE/NO PARKING SIGNAGE
- ♿ AND B.F. BARRIER-FREE PARKING SIGN
- ⊙ F.H. FIRE HYDRANT (EXISTING)
- ⊙ W/H/MH EXIST. WATER HYDRANT OR MANHOLE
- ⊙ HP-(E/N) HYDRO POLE, EXISTING OR NEW
- ⊙ LS-(E/N) LIGHT STANDARD, EXISTING OR NEW
- ⊙ UP-(E/N) UTILITY POLE, EXISTING OR NEW



Revisions

No.	By	Description	Date
12	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
11	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
10	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
09	W.P.	ISSUED FOR COORDINATION	16 OCT 2025
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025
06	T.D.	ISSUED FOR COORDINATION	28 MAY 2025
05	T.D.	ISSUED FOR COORDINATION	09 MAY 2025
04	W.P.	ISSUED FOR COORDINATION	10 APR 2025
03	W.P.	ISSUED FOR CLIENT REVIEW	25 MAR 2025
02	W.P.	ISSUED FOR CLIENT REVIEW	05 MAR 2025

Project  
**WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY**

3145 CONROY ROAD, OTTAWA, ON

Drawing  
**PROPOSED SITE PLAN**

Scale 1:500  
Drawn W.P.  
Checked C.D.



Project No. 24-151  
Date DECEMBER, 2024  
Drawing No. SP-A01



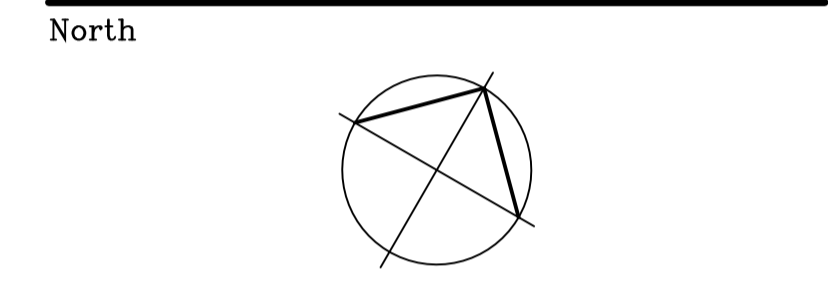
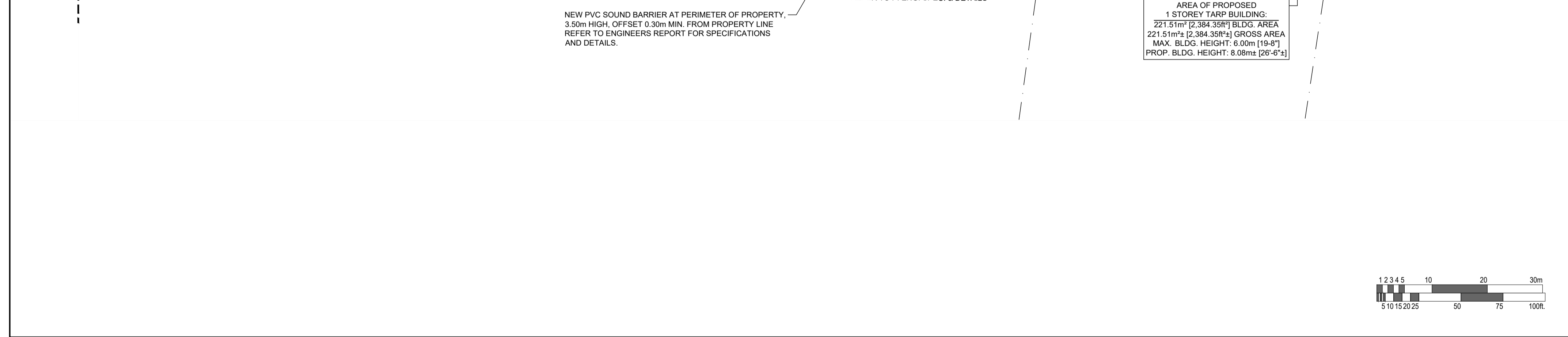
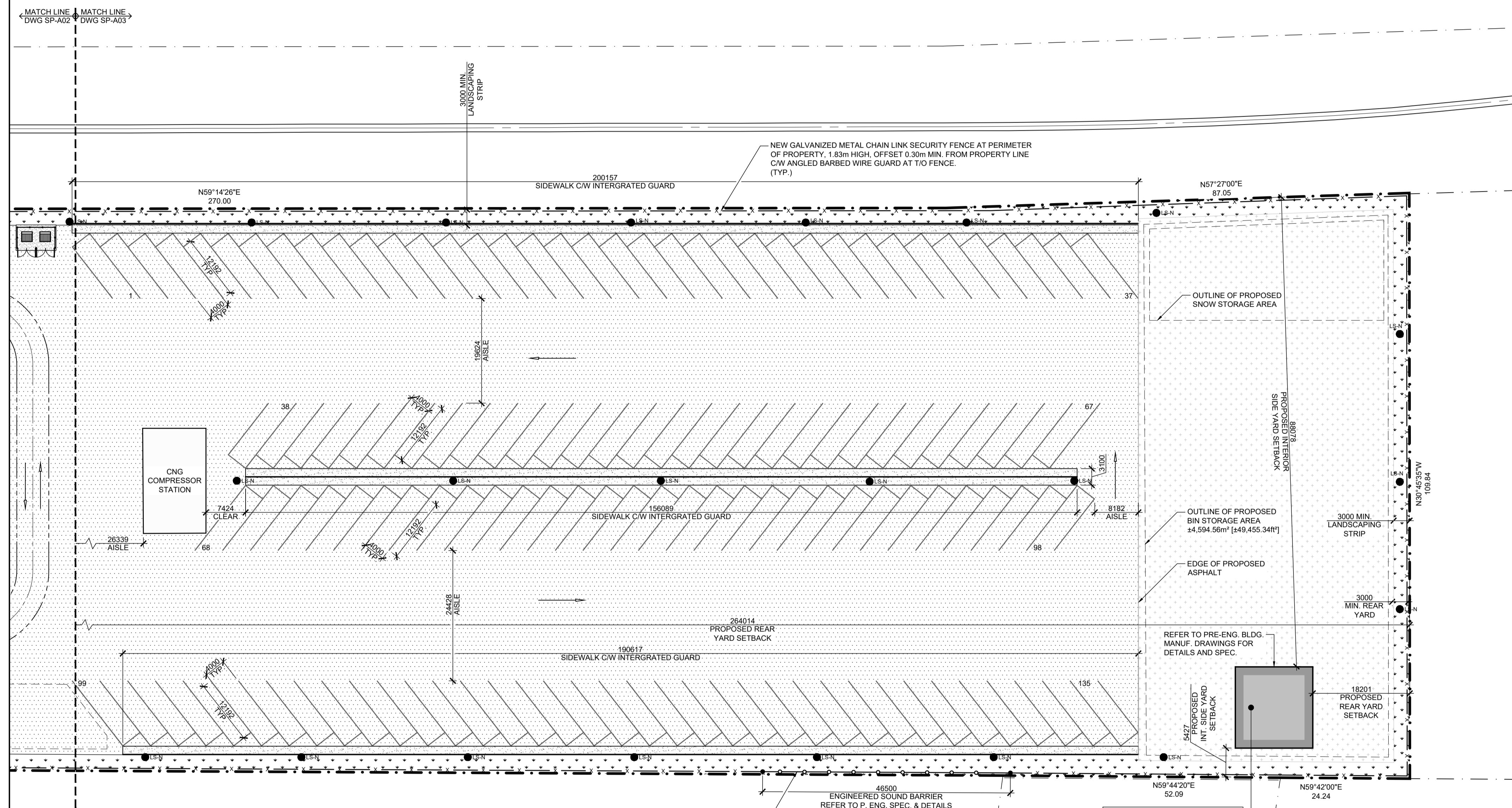
**NOTE:**  
THIS SITE PLAN HAS BEEN BASED ON THE SURVEYOR'S REAL PROPERTY REPORT PREPARED BY J.D. BARNES LTD., DATED SEPTEMBER 04, 2024.

**ZONING INFORMATION**

- GENERAL INFORMATION:**
  - LEGAL DESCRIPTION:** PT LT 2, CON SRF, PTS 1, 2, 3, 5R5712, EXCEPT PT 1, 4R11804, TW IN N742746, OTTAWA/GLOUCESTER
  - TOTAL BUILDING AREA (B.A.):** 2,967.31m<sup>2</sup>
  - TOTAL GROSS FLOOR AREA (G.F.A.):** 3,962.09m<sup>2</sup>
    - GROUND FLOOR:
      - GROUP D (BUSINESS & PERSONAL SERVICES): 790.73m<sup>2</sup> [8,511.34ft<sup>2</sup>]
      - GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL): 2,230.04m<sup>2</sup> [24,003.95ft<sup>2</sup>]
    - SECOND FLOOR:
      - GROUP D (BUSINESS & PERSONAL SERVICES): 941.32m<sup>2</sup> [10,132.28ft<sup>2</sup>]
  - PROPOSED USE:** HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
- ZONING PROVISIONS:**
  - DESIGNATION:** GENERAL INDUSTRIAL ZONE (IG3)
  - LOT AREA:**
    - REQUIRED: 1,000.00m<sup>2</sup> [10,763.90ft<sup>2</sup>] (MIN.)
    - PROPOSED: 48,611.80m<sup>2</sup> [523,253.62ft<sup>2</sup>]
  - LOT FRONTAGE:**
    - REQUIRED: 0.00m (MIN.)
    - PROPOSED: 103.30m [338.91ft]
  - SETBACKS:**
    - FRONT YARD:**
      - REQUIRED: 3.00m [9.84ft] (MIN.)
      - PROPOSED: 108.21m [355.02ft]
    - CORNER SIDE YARD:**
      - REQUIRED: 3.00m [9.84ft] (MIN.)
      - PROPOSED: N/A
    - INTERIOR SIDE YARD:**
      - REQUIRED: 3.00m [9.84ft] (MIN.)
      - PROPOSED: 34.20m [112.21ft] (MIN.)
    - REAR YARD:**
      - REQUIRED: 3.00m [9.84ft] (MIN.)
      - PROPOSED: 264.01m [866.18ft]
  - LOT COVERAGE:**
    - REQUIRED: 65% (MAX.)
    - PROPOSED: 6.6%
  - FLOOR SPACE INDEX (FSI):**
    - REQUIRED: 0.75
    - PROPOSED: FSI = (3,962.09m<sup>2</sup> / 48,611.80m<sup>2</sup>) = 0.08
  - BUILDING HEIGHT:**
    - REQUIRED: 22.00m [72.17ft] (MAX.)
    - PROPOSED: 9.64m [31.64ft]
  - ACCESSORY BUILDING HEIGHT:**
    - REQUIRED: 6.00m [19'-8"] (MAX.)
    - PROPOSED: 8.08m [26'-6"]
- PARKING (PER SECTIONS 3.30 & 3.41):**
  - PARKING SPACES:**
    - STANDARD SPACES**
      - HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING
        - PROVISION: 0.75 SPACES PER 100m<sup>2</sup> G.F.A. (22.233.04m<sup>2</sup> / 100m<sup>2</sup>) x 0.75 = 16.72 SPACES = 17.00 SPACES
      - OFFICE
        - PROVISION: 2.40 SPACES PER 100m<sup>2</sup> G.F.A. (1,732.05m<sup>2</sup> / 100m<sup>2</sup>) x 2.40 = 41.57 SPACES = 42 SPACES
      - STORAGE (ACCESSORY BUILDING)
        - PROVISION: 0.80 SPACES PER 100m<sup>2</sup> G.F.A. (221.51m<sup>2</sup> / 100m<sup>2</sup>) x 0.80 = 1.77 SPACES = 2.00 SPACES
        - REQUIRED: 19 SPACES
    - BARRIER-FREE (B.F.) SPACES:**
      - PROVISION: 251-300 STANDARD SPACES = 8 SPACES (4-TYPE A, 4-TYPE B)
    - TOTAL REQUIRED:** 8 B.F. + 62 STANDARD = 70 PARKING SPACES
    - TOTAL PROVIDED:** 8 B.F. + 259 STANDARD = 267 PARKING SPACES
  - LOADING SPACES:**
    - PROVISION: 2,000m<sup>2</sup> - 4,999m<sup>2</sup> G.F.A. = 2 SPACES
    - REQUIRED: 2 SPACES
    - PROVIDED: 2 SPACES
  - BICYCLE SPACES:**
    - PROVISION: ALL NON-RESIDENTIAL USES
      - 1 PER 150m<sup>2</sup> G.F.A. = 2 SPACES
      - OFFICE: 1 PER 250m<sup>2</sup> G.F.A. = 7 SPACES
      - 9 SPACES
    - REQUIRED: 10 SPACES
    - PROVIDED: 10 SPACES
  - MOTORCYCLE SPACES:**
    - PROVISION: 5% OF PARKING SPACES MAX.
    - REQUIRED: 5% = 12 SPACES MAX.
    - PROVIDED: 12 SPACES
  - FLEET PARKING SPACES:**
    - PROVISION: N/A
    - REQUIRED: 135 SPACES
    - PROVIDED: 135 SPACES

**SYMBOL LEGEND**

- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- SETBACK LINE
- ROAD CENTRELINE
- FIRE ROUTE LINE
- NEW CHAIN LINK FENCE
- NEW NOISE DAMPENING FENCE
- MUNICIPAL ROAD BOUNDARY
- SNOW STORAGE AREA BOUNDARY
- DIRECTION OF TRAVEL
- PROPOSED BUILDING
- PROPOSED HEAVY DUTY ASPHALT
- EXISTING GRAVEL
- PROPOSED CONCRETE SIDEWALK
- LANDSCAPED AREA
- PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE
- SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS
- O.H. OVERHEAD DOOR
- FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
- BARRIER-FREE PARKING SIGN
- FIRE HYDRANT (EXISTING)
- EXIST. WATER HYDRANT OR MANHOLE
- HYDRO POLE, EXISTING OR NEW
- LIGHT STANDARD, EXISTING OR NEW
- UTILITY POLE, EXISTING OR NEW



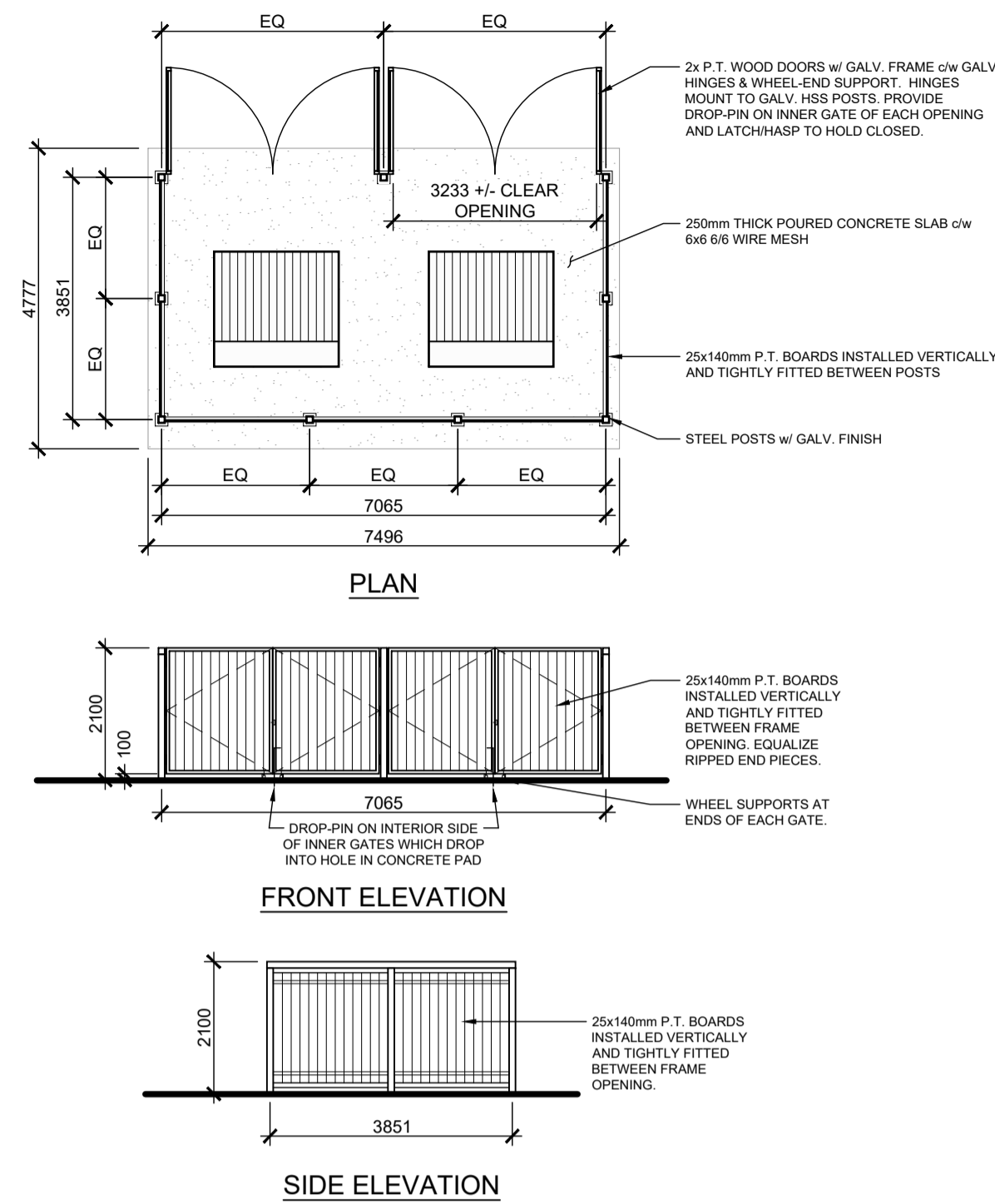
**Revisions**

No.	By	Description	Date
12	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
11	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
10	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
09	W.P.	ISSUED FOR COORDINATION	16 OCT 2025
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025
06	T.D.	ISSUED FOR COORDINATION	28 MAY 2025
05	T.D.	ISSUED FOR COORDINATION	09 MAY 2025
04	W.P.	ISSUED FOR COORDINATION	10 APR 2025
03	W.P.	ISSUED FOR CLIENT REVIEW	25 MAR 2025
02	W.P.	ISSUED FOR CLIENT REVIEW	05 MAR 2025

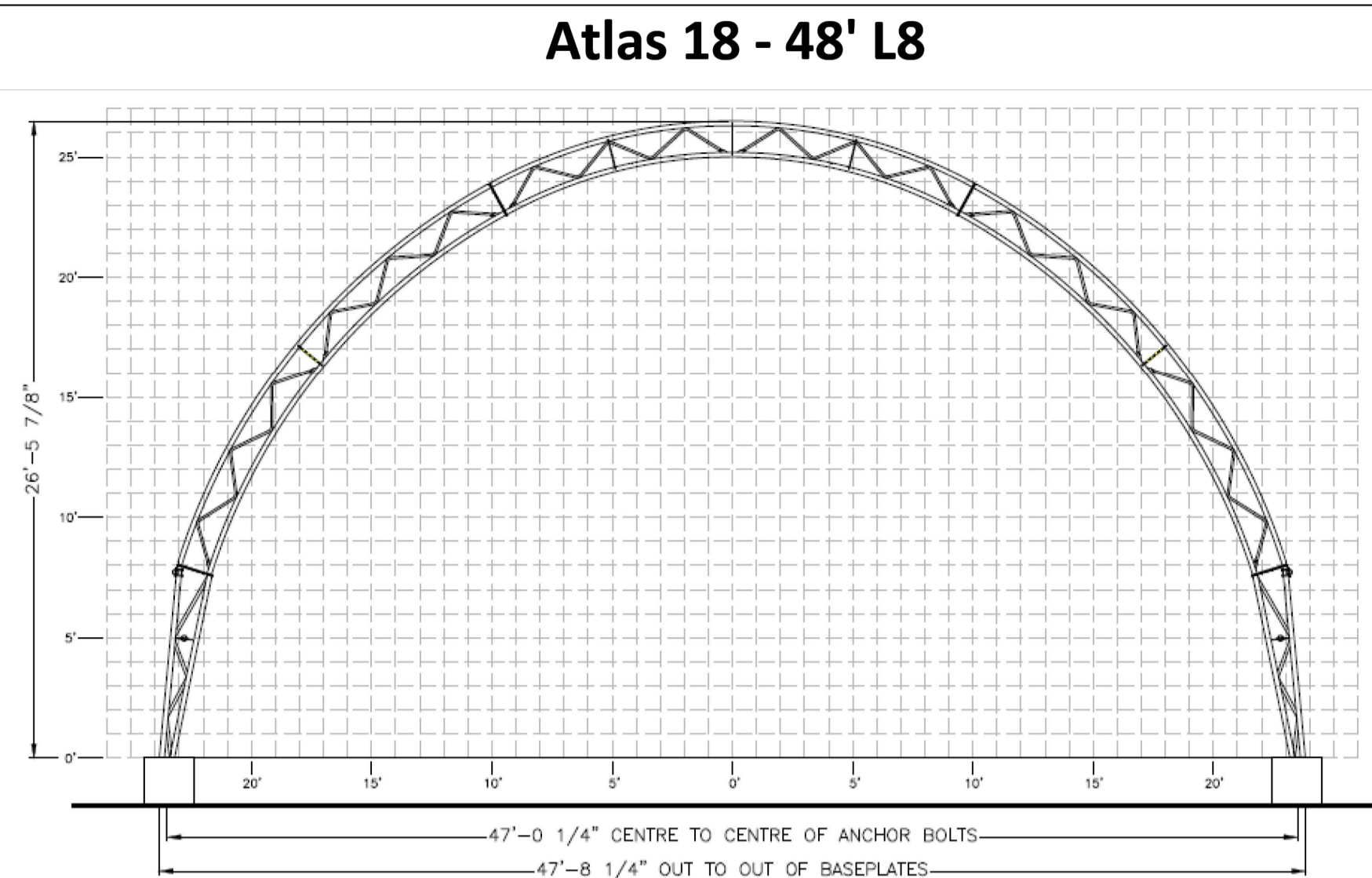
Project  
**WO MW REALTY LIMITED OFFICE GROUP**  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY  
3145 CONROY ROAD, OTTAWA, ON

Drawing  
**PROPOSED SITE PLAN**

Scale 1:500  
Stamp  
Drawn W.P.  
Checked C.D.  
Project No. 24-151  
Date DECEMBER, 2024  
Drawing No. SP-A03



**06 SHOP DRAWING DETAIL - WASTE ENCLOSURE**  
SP-A04 SCALE: 1:100

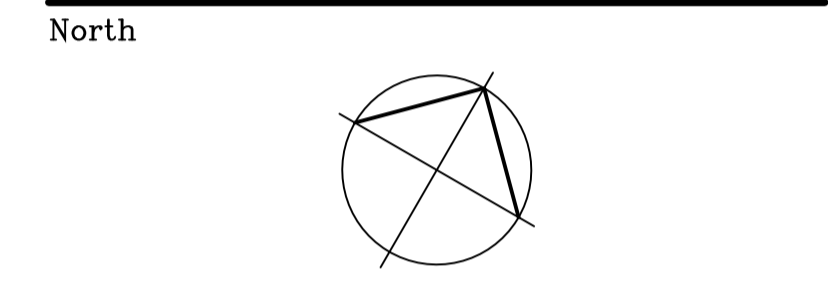


<b>BRITESPAN</b> BUILDING SYSTEMS INC.		37651 Amberley Road Lucknow, ON, Canada PH: 1-519-528-2922 FAX: 1-519-528-2890	DEALER NOG 2HG	CUSTOMER Windsor Mold Group	PROJECT
DETAILER: DS	DWG REV: 1	REVISED BY: DESCRIPTION	DATE 06.JAN.14	THIS DRAWING IS PROPERTY OF BRITESPAN ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.	WIDTH-STEEL-FAB-HSS-HSSORFP TAB TITLE: 012
CHECKER: EM				FILE NO: END 001	DRAWING: REV: 3

1. ALL PRE-FABRICATED STRUCTURES SHALL BE DESIGNED AND SUPPLIED BY THE MANUFACTURER AND/OR CONTRACTOR. DESIGNS SHALL BE SUBJECT TO REVIEW BY THE MUNICIPALITY UNDER A SEPARATE APPLICATION AT A LATER DATE.
2. ALL SITE FURNITURE AND FIXTURES SHALL BE SELECTED BY OWNER AND COORDINATED WITH THE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER AS REQUIRED.
3. ALL FENCING SHALL BE DESIGNED AND SUPPLIED BY MANUFACTURER AND/OR CONTRACTOR. DESIGN SUBJECT TO MUNICIPAL BY-LAWS AND REGULATIONS.
4. REVIEW CONDITIONS AND VERIFY ALL INFORMATION, DETAILS, AND DIMENSIONS. REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO THE PROJECT MANAGER PRIOR TO COMMENCEMENT OF THE WORK.
5. COORDINATE ALL NEW CIVIL, STRUCTURAL MECHANICAL AND ELECTRICAL ITEMS WITH RESPECTIVE ENGINEER'S DRAWINGS, WHERE PROVIDED.

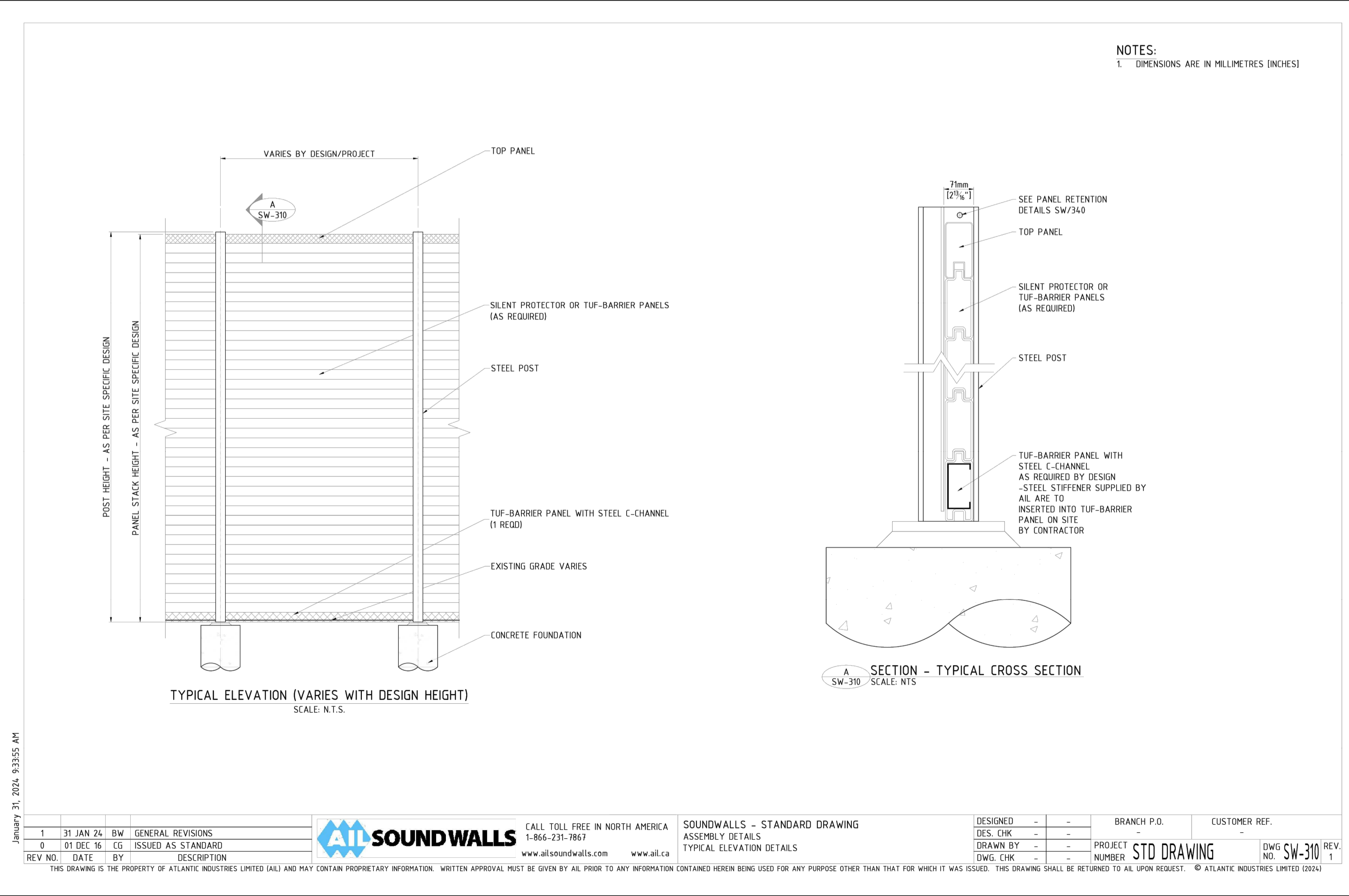
**04 GENERAL NOTES**  
SP-A04 SCALE: N.T.S.

**05 SHOP DRAWING DETAIL - FABRIC STORAGE BUILDING**  
SP-A04 SCALE: N.T.S.

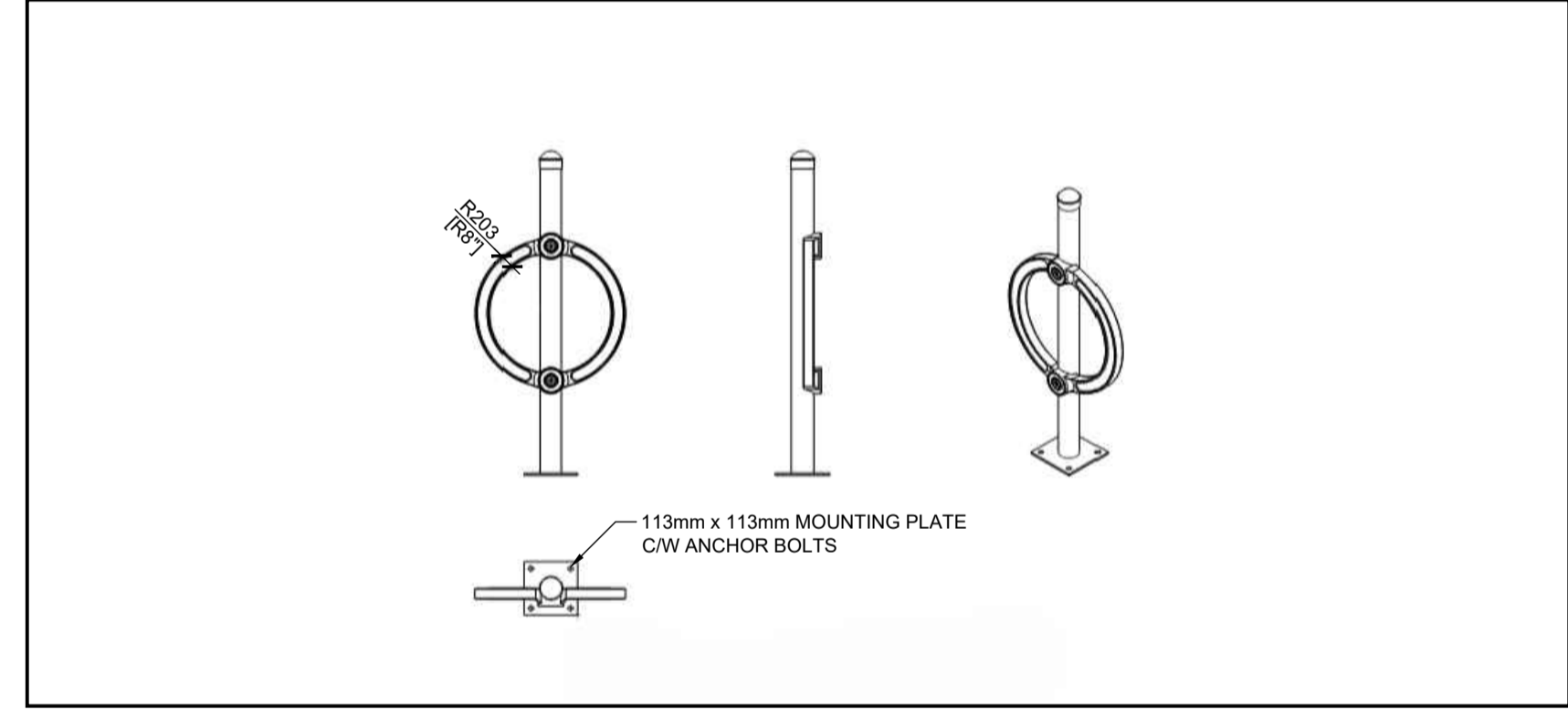


Revisions

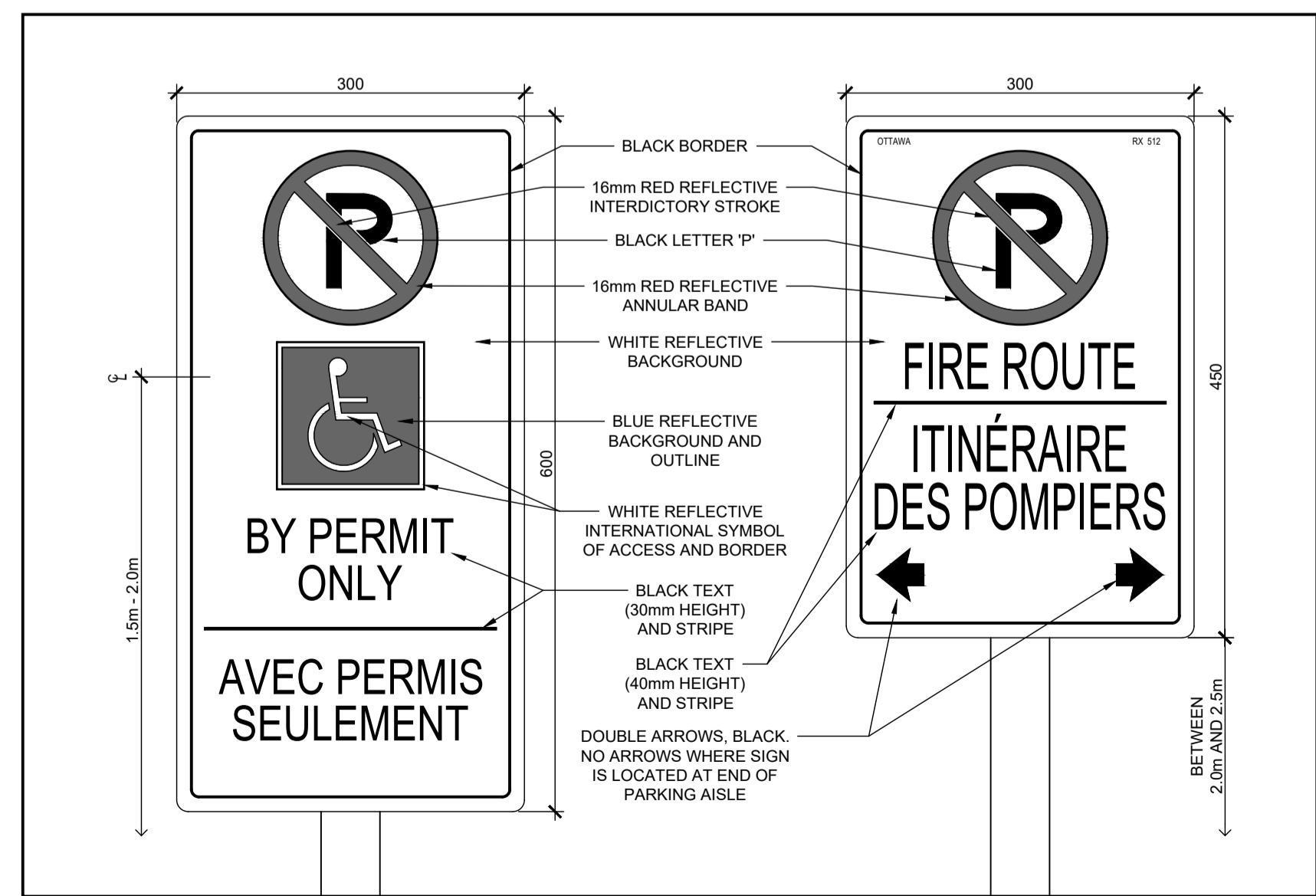
No.	By	Description	Date
03	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
02	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
01	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025



**03 SHOP DRAWING DETAIL - SOUND WALL FENCE**  
SP-A04 SCALE: N.T.S.



**02 SHOP DRAWING DETAIL - BIKE RACK**  
SP-A04 SCALE: N.T.S.



**01 VERTICAL PARKING LOT SIGNAGE (POST OR WALL MOUNTED)**  
SP-A04 SCALE: N.T.S.

Project  
**WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY**

3145 CONROY ROAD, OTTAWA, ON  
Drawing  
**SITE DETAILS**

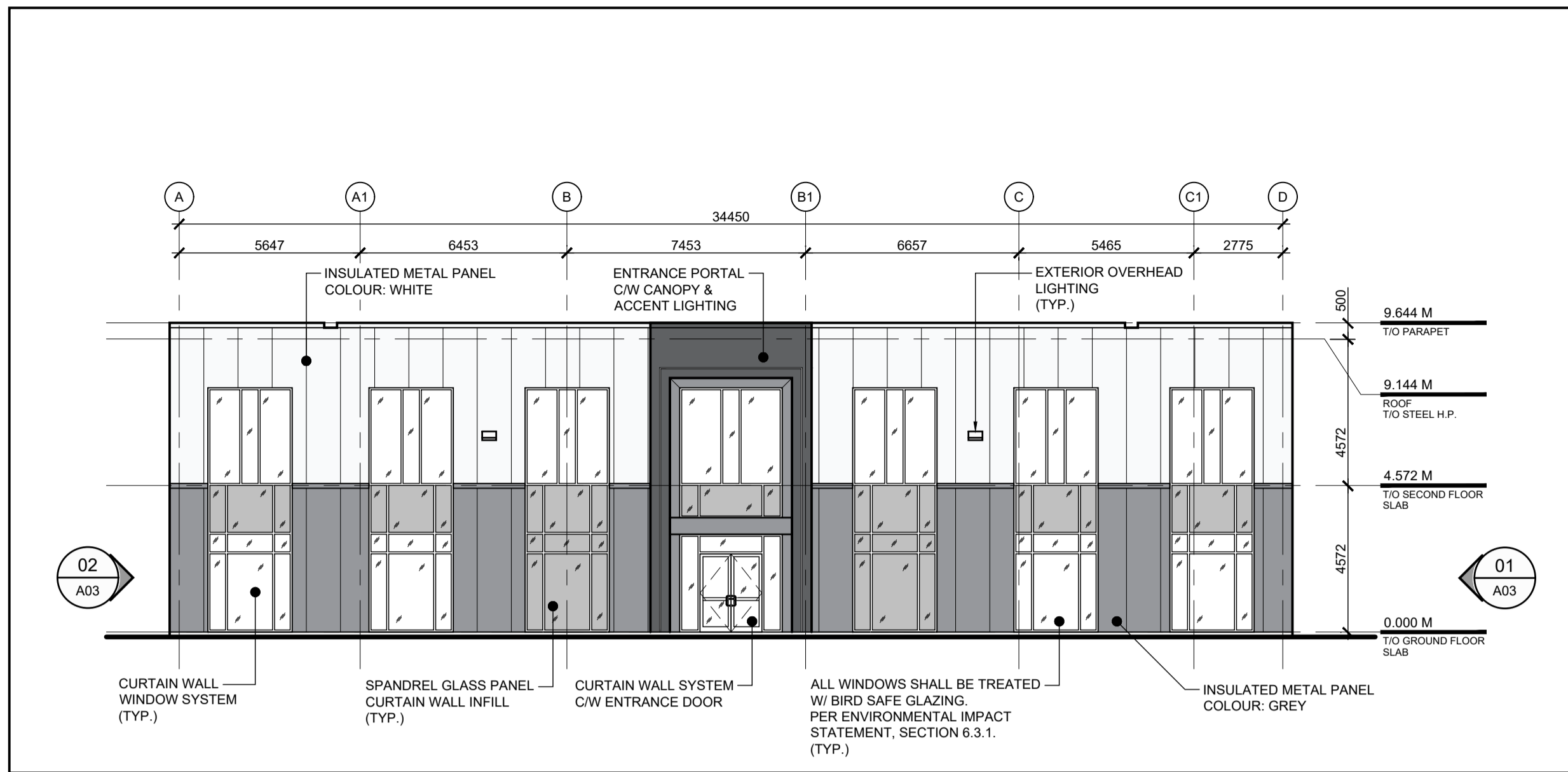
Scale AS NOTED  
Drawn W.P.  
Checked C.D.

Stamp  
ONTARIO ASSOCIATION OF ARCHITECTS  
CHRISTOPHER LEE DEIMLING  
LICENCE 6238

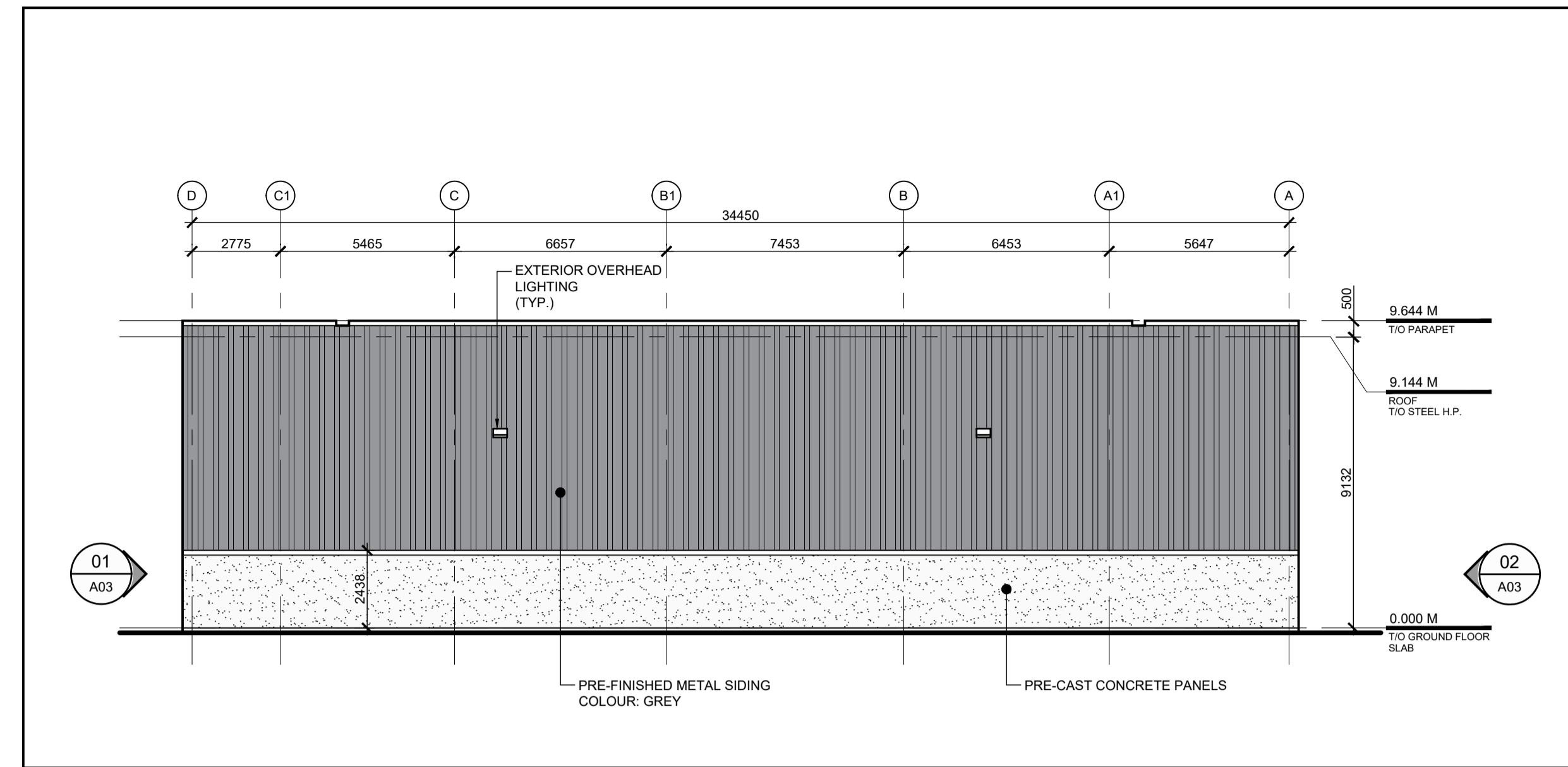
Project No. 24-151  
Date DECEMBER, 2024  
Drawing No. **SP-A04**

DESIGNED	---	BRANCH P.O.	---	CUSTOMER REF.	---
DES. CHK	---	PROJECT NUMBER	---	DWG NO.	SW-310
DRAWN BY	---	STD DRAWING	---	REV.	1
DWG. CHK	---		---		

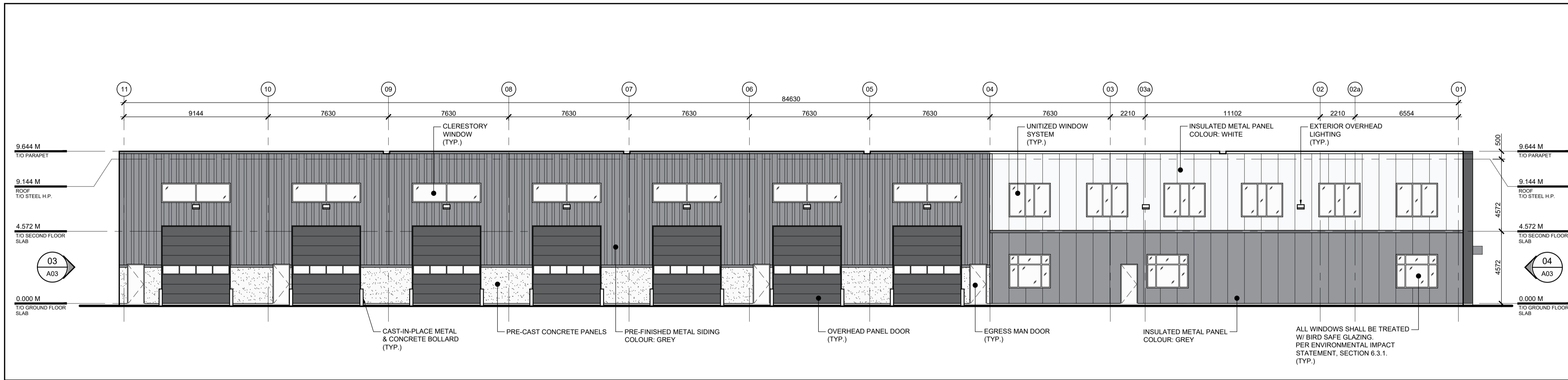
CALL TOLL FREE IN NORTH AMERICA 1-866-231-7867  
www.allsoundwalls.com  
SOUNDWALLS - STANDARD DRAWING ASSEMBLY DETAILS TYPICAL ELEVATION DETAILS  
THIS DRAWING IS THE PROPERTY OF ATLANTIC INDUSTRIES LIMITED (AII) AND MAY CONTAIN PROPRIETARY INFORMATION. WRITTEN APPROVAL MUST BE GIVEN BY AII PRIOR TO ANY INFORMATION CONTAINED HEREIN BEING USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS ISSUED. THIS DRAWING SHALL BE RETURNED TO AII UPON REQUEST. © ATLANTIC INDUSTRIES LIMITED (2024)



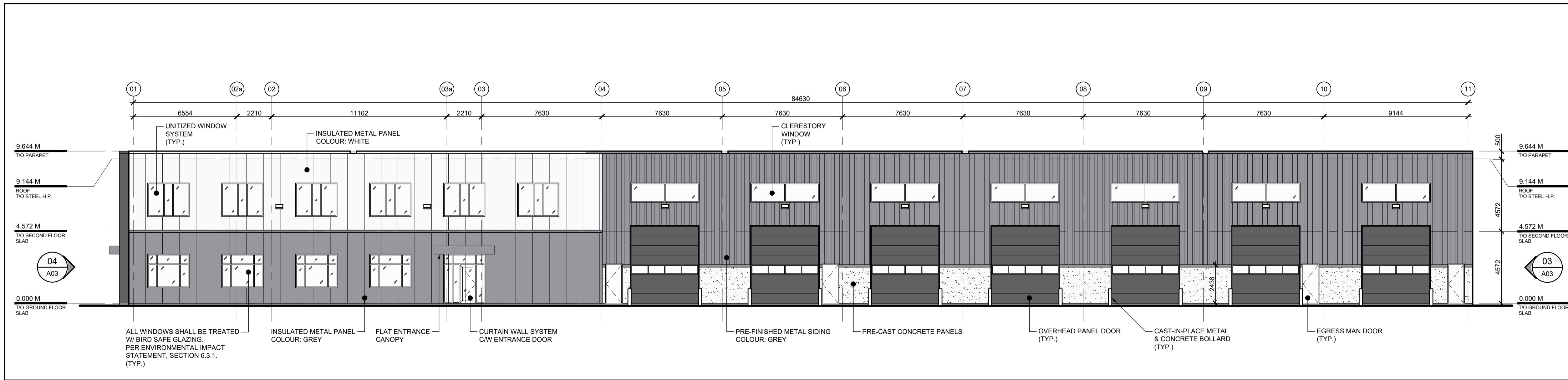
**04 EAST ELEVATION**  
A03 SCALE: 1:150



**03 WEST ELEVATION**  
A03 SCALE: 1:150



**02 NORTH ELEVATION**  
A03 SCALE: 1:150



**01 SOUTH ELEVATION**  
A03 SCALE: 1:150

North

Revisions

No.	By	Description	Date
06	W.P.	ISSUED FOR SITE PLAN CONTROL	19 MAR 2026
05	W.P.	ISSUED FOR INFORMATION	14 JAN 2026
04	W.P.	ISSUED FOR SITE PLAN CONTROL	13 NOV 2025
03	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
02	A.P.	ISSUED FOR CLIENT REVIEW	15 AUG 2025
01	W.P.	ISSUED FOR CLIENT REVIEW	24 JUL 2025

Project

**WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY**

3145 CONROY ROAD, OTTAWA, ON

Drawing

**PROPOSED  
EXTERIOR ELEVATIONS**

Scale AS NOTED

Drawn J.M.

Checked W.P.

Stamp



Project No. 24-151

Date DECEMBER, 2024

Drawing No.

**A03**