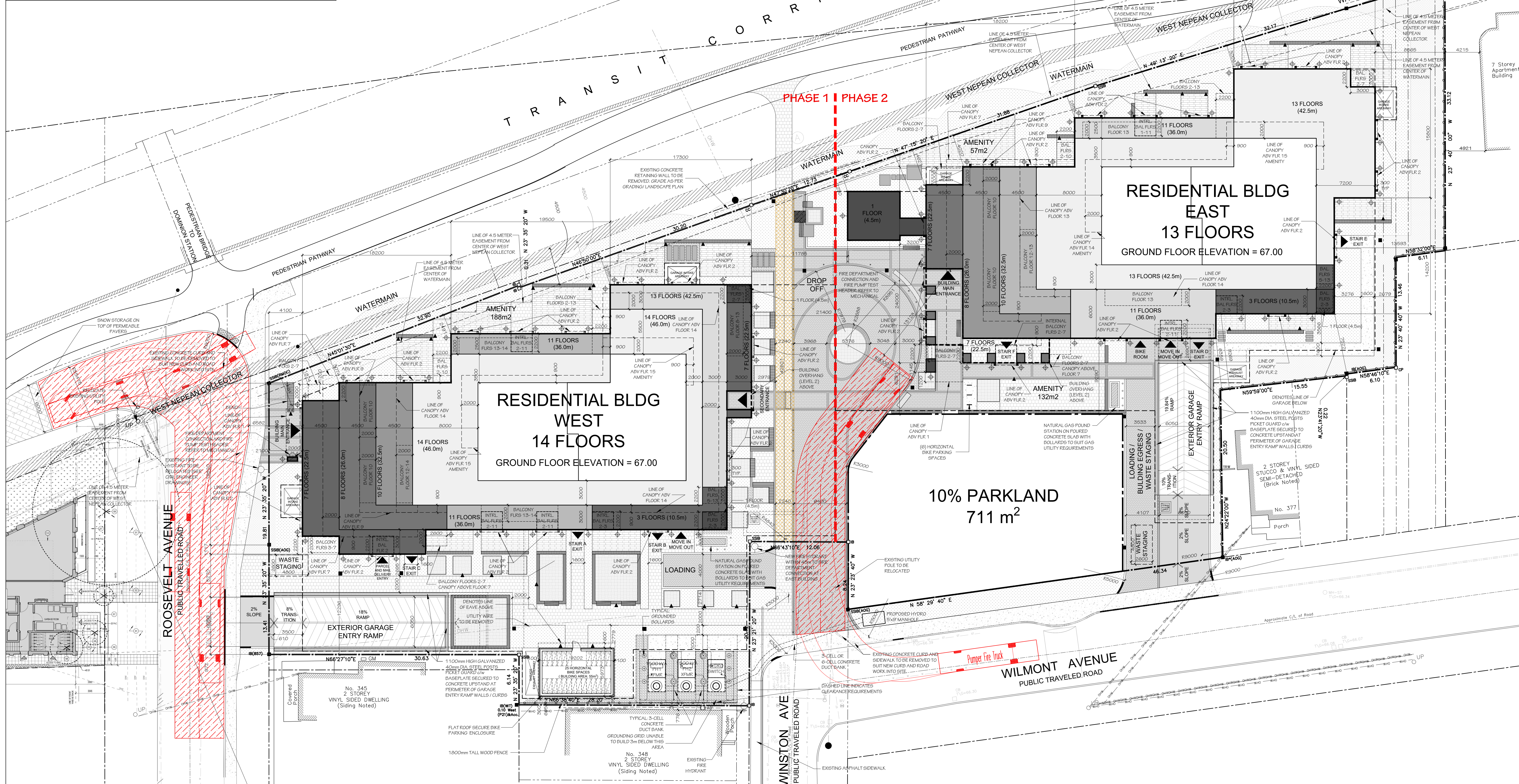


**LEGEND**

- PROPERTY LINE
- ENTRY POINT
- DEPRESSED CURB
- EXTERIOR LIGHT FIXTURE
- PLANTING (REFER TO LANDSCAPE)
- GRASS
- CLEAR STONE
- PROPOSED SURFACE EASEMENT FOR PUBLIC/Private CIRCULATION TOTAL = 95.5m<sup>2</sup>
- RAISED PLANTER
- FALX WOOD LANDSCAPE PAVERS
- CONCRETE
- LANDSCAPE PAVERS OR STAMPED CONCRETE
- BENCH
- ASPHALT
- FIRE ROUTE
- 800mm TALL DRY-STACK LANDSCAPE WALL
- 240mm LANDSCAPE PAVES STRIP
- 1800mm TALL WOOD FENCE
- PRECAST STEPPING STONES
- PHASING LINE

**GENERAL NOTES:**

- SHOW TO BE REMOVED FROM SITE.



**SURVEY INFORMATION TAKEN FROM:**

TOPOGRAPHIC PLAN OF SURVEY OF LOT 20 AND PART OF LOT 21, RESUBDIVISION PLAN 114, LOTS 13, 14 and 15 (West Wilton Avenue), LOTS 20, 21 and 22 (East Wilton Avenue), LOTS 17 AND 18 AND PART OF LOT 19 (East Main Avenue), PART OF WILTON AVENUE (County Tr. No. 44-799, 1840000), PART OF WILSON AVENUE (County Tr. No. 44-799, 1840000), COORDINATE PLAN 179, CITY OF OTTAWA, ANNS ORSULLAVNA VOLBERGER LTD.

**SITE SUMMARY:**

ZONING: R55 (2772) 9454

REFER: BY-LAW NUMBER: 2024-490

PROPOSED USE: RESIDENTIAL RENTAL APARTMENT BUILDING

PHASE 1 WEST BUILDING = 14 RESIDENTIAL FLOORS

PHASE 2 EAST BUILDING = 13 RESIDENTIAL FLOORS

3 LEVELS UNDERGROUND PARKING GARAGE BELOW PHASE 1 BUILDING AND BELOW PHASE 2 BUILDING

ROOF OF AMENITY PHASE 1 AND PHASE 2 BUILDINGS

PHASE 1 ACCESSORY BUILDING (BIKE ENCLOSURE)

**SITE AREA:**

7,112 m<sup>2</sup> (10% PARKLAND)

- 711 m<sup>2</sup>

TOTAL = 6,401 m<sup>2</sup> (PHASE 1 AND PHASE 2)

**BUILDING FOOTPRINT AND COVERAGE PHASE 1 & 2:** (VALUES ABOVE GRADE)

TOTAL SITE COVERAGE - PHASE 1 AND PHASE 2 =	41.8%
BUILDING FOOTPRINT - PHASE 1 WEST BUILDING =	1,284 m <sup>2</sup>
BUILDING FOOTPRINT - PHASE 1 ACCESSORY BUILDING =	95 m <sup>2</sup>
BUILDING FOOTPRINT - PHASE 2 EAST BUILDING =	1,336 m <sup>2</sup>
TOTAL FOOTPRINT - PHASE 1 AND PHASE 2 =	2,675 m <sup>2</sup>

**LANDSCAPE OPEN SPACE PHASE 1 & 2:** PROPOSED

SOFT LANDSCAPING	1,190 m <sup>2</sup> (16.7%)
HARD LANDSCAPING	1,797 m <sup>2</sup> (27.9%)
ARCHITECTURAL ELEMENTS	413 m <sup>2</sup> (6.5%)
TOTAL LANDSCAPE OPEN SPACE =	3,398 m <sup>2</sup> (53.1%)

**BUILDING GFA ZONING PHASE 1 & 2:** PROPOSED

GFA PHASE 1 WEST BUILDING =	15,446 m <sup>2</sup>
GFA PHASE 2 EAST BUILDING =	15,814 m <sup>2</sup>
TOTAL GFA PHASE 1 AND PHASE 2 =	31,260 m <sup>2</sup>

**RESIDENTIAL UNITS - PHASE 1 & 2:** PROPOSED

PHASE 1 WEST BUILDING =	152 UNITS
PHASE 2 EAST BUILDING =	160 UNITS

**BUILDING HEIGHTS - PHASE 1 & 2:**

MAXIMUM BUILDING HEIGHTS AS PER URBAN EXCEPTIONS AND ZONING SCHEDULE	
REQUIRED SETBACKS - PHASE 1 & 2	
MINIMUM SETBACKS AS PER URBAN EXCEPTIONS AND ZONING SCHEDULE	

**ACCESSORY BUILDING:**

REQUIRED	PROVIDED
INTERIOR SIDE YARD SETBACK	0.6m MIN, 0.6m
BUILDING HEIGHT	3.6m MAX, 3.12m
EXTERIOR WALL HEIGHT	3.2m MAX, 3.142m
BUILDING AREA	55m <sup>2</sup> MAX, 55m <sup>2</sup>

**PHASE 1 WEST BUILDING: PARKING AND AMENITY AREA SUMMARY:**

VEHICLE PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING =	70	134
VISITOR PARKING =	14	14
TOTAL PHASE 1 =	84	148

**BICYCLE PARKING:** 152

**AMENITY AREA:** 912 m<sup>2</sup> (2,335 m<sup>2</sup>)

**PHASE 1 WEST BUILDING REQUIREMENTS:**

TYPE	REQUIRED	PROVIDED
COMPACTED GARAGE (152 UNITS x 0.035) = 9 YRDS	12 YRDS	12 YRDS
FIBRE (152 UNITS x 0.035) = 9 YRDS	9 YRDS	9 YRDS
GMP (152 UNITS x 0.018) = 3 YRDS	6 YRDS	6 YRDS
ORGANICS (1.240L CART / 50 UNITS) = 4 CARTS	4 CARTS	4 CARTS

**PHASE 2 EAST BUILDING: PARKING AND AMENITY AREA SUMMARY:**

VEHICLE PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING =	74	116
VISITOR PARKING =	15	15
TOTAL PHASE 2 =	89	131

**BICYCLE PARKING:** 160

**AMENITY AREA:** 980 m<sup>2</sup> (1,828 m<sup>2</sup>)

**PHASE 2 EAST BUILDING REQUIREMENTS:**

TYPE	REQUIRED	PROVIDED
COMPACTED GARAGE (160 UNITS x 0.035) = 9 YRDS	12 YRDS	12 YRDS
FIBRE (160 UNITS x 0.035) = 9 YRDS	9 YRDS	9 YRDS
GMP (160 UNITS x 0.018) = 3 YRDS	6 YRDS	6 YRDS
ORGANICS (1.240L CART / 50 UNITS) = 4 CARTS	4 CARTS	4 CARTS

**PHASE 1 WEST BUILDING SUMMARY:**

LEVEL	GROSS AREA	NET AREA
UPPER MECHANICAL	212 m <sup>2</sup>	0 m <sup>2</sup>
MECHANICAL & ROOF AMENITY	338 m <sup>2</sup>	0 m <sup>2</sup>
LEVEL 13	702 m <sup>2</sup>	598 m <sup>2</sup>
LEVEL 12	811 m <sup>2</sup>	702 m <sup>2</sup>
LEVEL 11	998 m <sup>2</sup>	777 m <sup>2</sup>
LEVEL 10	963 m <sup>2</sup>	845 m <sup>2</sup>
LEVEL 9	963 m <sup>2</sup>	845 m <sup>2</sup>
LEVEL 8	1,070 m <sup>2</sup>	919 m <sup>2</sup>
LEVEL 7	1,219 m <sup>2</sup>	1,082 m <sup>2</sup>
LEVEL 6	1,219 m <sup>2</sup>	1,082 m <sup>2</sup>
LEVEL 5	1,219 m <sup>2</sup>	1,082 m <sup>2</sup>
LEVEL 4	1,219 m <sup>2</sup>	1,082 m <sup>2</sup>
LEVEL 3	1,106 m <sup>2</sup>	1,106 m <sup>2</sup>
LEVEL 2	1,257 m <sup>2</sup>	1,059 m <sup>2</sup>
LEVEL 1 GROUND	1,284 m <sup>2</sup>	223 m <sup>2</sup>
TOTAL ABOVE GRADE =	15,446 m <sup>2</sup>	12,022 m <sup>2</sup>
TOTAL BELOW GRADE =	23,045 m <sup>2</sup>	12,022 m <sup>2</sup>

**PHASE 2 EAST BUILDING SUMMARY:**

LEVEL	GROSS AREA	NET AREA
UPPER MECHANICAL	212 m <sup>2</sup>	0 m <sup>2</sup>
MECHANICAL & ROOF AMENITY	338 m <sup>2</sup>	0 m <sup>2</sup>
LEVEL 13	836 m <sup>2</sup>	728 m <sup>2</sup>
LEVEL 12	836 m <sup>2</sup>	728 m <sup>2</sup>
LEVEL 11	880 m <sup>2</sup>	894 m <sup>2</sup>
LEVEL 10	1,074 m <sup>2</sup>	947 m <sup>2</sup>
LEVEL 9	1,074 m <sup>2</sup>	947 m <sup>2</sup>
LEVEL 8	1,195 m <sup>2</sup>	1,021 m <sup>2</sup>
LEVEL 7	1,311 m <sup>2</sup>	1,137 m <sup>2</sup>
LEVEL 6	1,311 m <sup>2</sup>	1,137 m <sup>2</sup>
LEVEL 5	1,311 m <sup>2</sup>	1,137 m <sup>2</sup>
LEVEL 4	1,311 m <sup>2</sup>	1,137 m <sup>2</sup>
LEVEL 3	1,343 m <sup>2</sup>	1,168 m <sup>2</sup>
LEVEL 2	1,343 m <sup>2</sup>	1,168 m <sup>2</sup>
LEVEL 1 GROUND	1,336 m <sup>2</sup>	596 m <sup>2</sup>
TOTAL ABOVE GRADE =	15,814 m <sup>2</sup>	12,694 m <sup>2</sup>
TOTAL BELOW GRADE =	24,390 m <sup>2</sup>	12,694 m <sup>2</sup>

**PROJECT CONSULTANTS:**

**ARCHITECT:** HOBIN ARCHITECTURE INC., 63 PAMILIA STREET, OTTAWA, ON K1S 3K7

**GEOTECHNICAL:** PATERSON GROUP, 615-226-1751, OTTAWA, ON K2E 1T9

**CONTACT:** RHEAL LABELLE TEL: 613-236-1200 x112

**CONTACT:** DAVID GILBERT TEL: 613-XXX-XXXX EXT. XXX

**DEVELOPER:** UNIFORM URBAN DEVELOPMENTS, 111 CENTREPOINTE DR. #300, OTTAWA, ON K2G 5X3

**CONTACT:** RYAN MACDOUGALL TEL: XXX-XXX-XXXX EXT. XXX

**CONTACT:** MARK BISSET TEL: 613-XXX-XXXX EXT. XXX

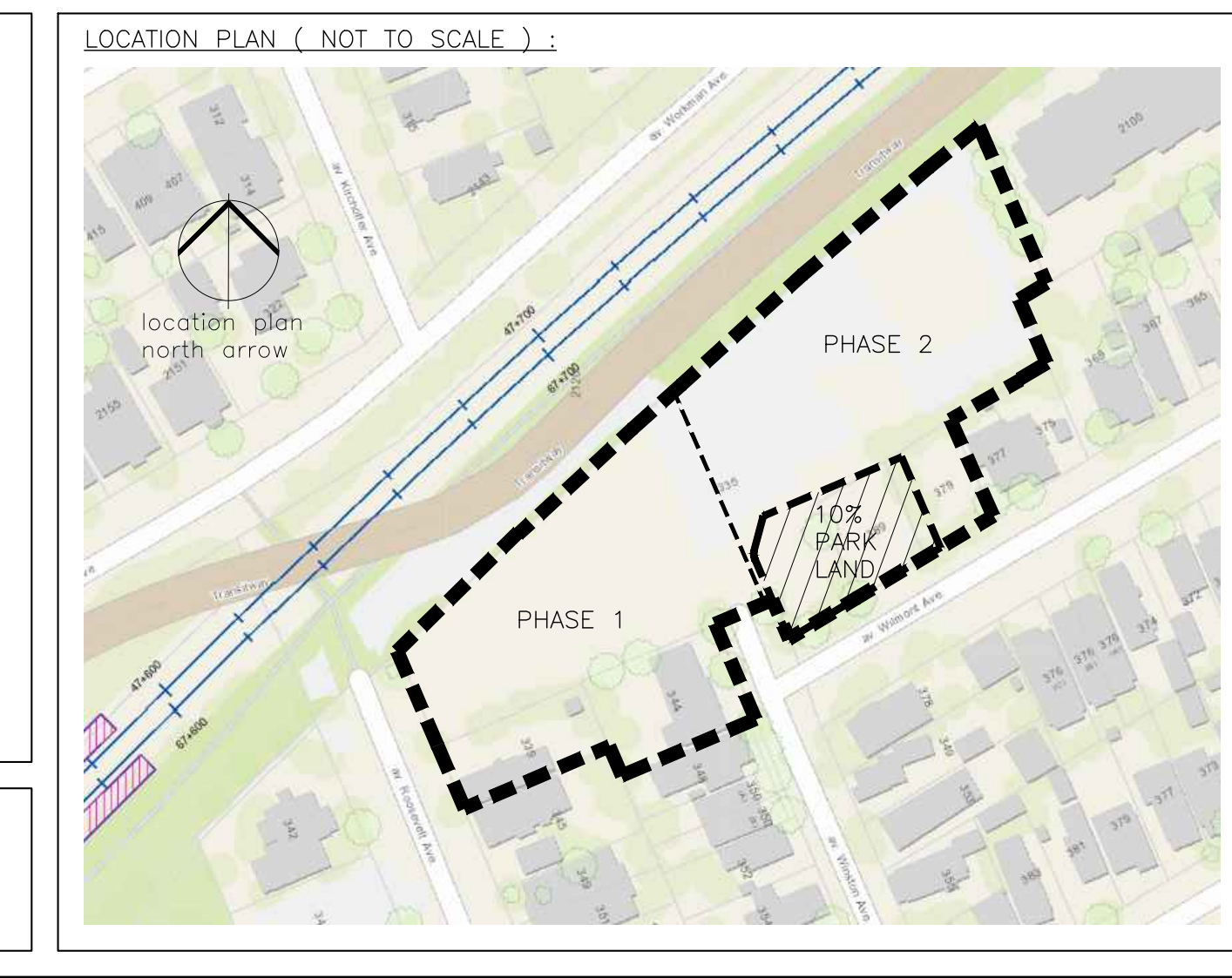
**LANDSCAPE ARCHITECT:** NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

**CONTACT:** SCOTT COVELL TEL: 613-254-1643 EXT. 303

**SITE SERVICES & GRADING:** NOVATECH, 240 MICHAEL COMPLAND DR., OTTAWA, ON K2M 1P6

**CONTACT:** SCOTT COVELL TEL: 613-254-1643 EXT. 303

**GRAPHIC SCALE:** 0m, 5m, 10m, 20m



**18** 2026-02-27 REBID FOR SFA

**17** 2026-02-02 REBID FOR SFA

**16** 2026-01-14 REBID FOR SFA

**15** 2026-01-12 WATER ENTRY RELOCATION

**14** 2025-12-19 REBID FOR SFA

**13** 2025-12-19 ISSUED FOR 335

**12** 2025-12-10 ISSUED FOR COORDINATION

**11** 2025-09-17 REBID FOR SFA

**10** 2025-09-10 ISSUED FOR COORDINATION

**9** 2025-08-29 ISSUED FOR COORDINATION

**8** 2025-08-28 ISSUED FOR REVIEW

**7** 2025-06-27 ISSUED FOR SFA

**6** 2025-06-27 ISSUED FOR COORDINATION

**5** 2025-06-20 ISSUED FOR REVIEW

**4** 2025-06-04 ISSUED FOR COORDINATION

no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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**HOBIN ARCHITECTURE**

**PROJECT/LOCATION:** 335 ROOSEVELT HIGHRISE RENTAL APARTMENTS 335 ROOSEVELT AVE. OTTAWA, ONTARIO

**DRAWING TITLE:** SITE PLAN PHASE 1 WEST BUILDING & PHASE 2 EAST BUILDING

**DRAWN BY:** DATE: SCALE: 1:200

**PROJECT:** 2315

**DRAWING NO.:** A-1.01

**REVISION NO.:** 18281

**File No: D07-12-25-0097**