



# Infrastructure and Water Services Department Design & Construction



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File Number D07-12-25-0095  
Plan Number 19357

## OCT ZEB-New Garage

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

**AECOM**

In Association with

**grc architects**



**PRIME:**  
AECOM Canada Architects Ltd.  
1150 Morrison Drive, Suite 302  
Ottawa, Ontario, K2H 8S9



**SUBCONSULTANT:**  
GRC ARCHITECTS INC.  
47 Clarence Street, Suite 401  
Ottawa, Ontario, K1N 9K1

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9	ISSUED FOR 100% CONTRACT DOCUMENTATION/PRE-TENDER	2025/11/14	
8	ISSUED FOR BUILDING PERMIT DOCUMENTATION	2025/08/19	
7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15	
6	ISSUED FOR SPC	2025/06/18	
5	ISSUED FOR CLIENT REVIEW	2025/06/12	
4	ISSUED FOR 66% CONTRACT DOCUMENTATION	2025/04/15	H.Q.

NUMBER	MILESTONE/FAT SAILLANT	DATE: (Y/M/D) (AMM)	INITIALS

DESIGNED BY / CONÇU PAR	CHECKED BY / VÉRIFIÉ PAR
H.Q.R.	N.D.

DRAWN BY / DÉSSINÉ PAR	SCALE / ÉCHELLE
H.Q.R.	

DETAIL NUMBER	DRAWING TITLE	SHEET NUMBER
1	1	1

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN

**OBC MATRIX**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ  
BUILDING NUMBER / NUMÉRO DU BÂTIMENT

OMF1

CITY PROJECT NO. / NUMÉRO DE PROJET

CONS. PROJECT NO. / NUMÉRO DE PROJET

60716350

SHEET NO. / FEUILLE NO.

G-002

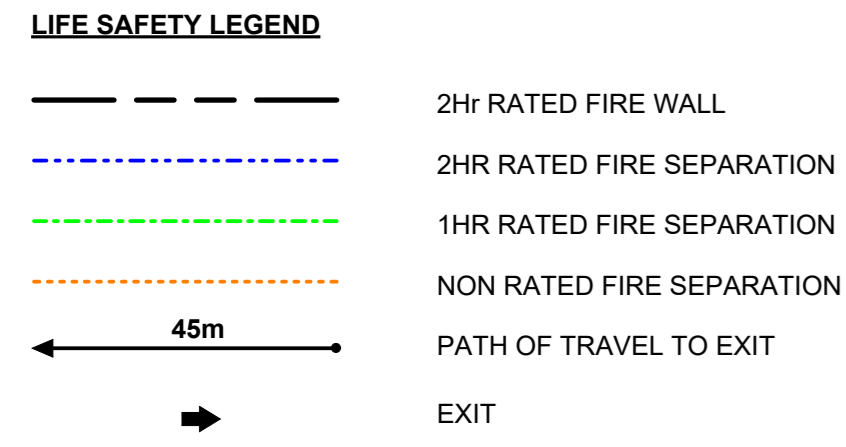
File Number D07-12-25-0095  
Plan Number 19357

<b>Name of Practice:</b> AECOM Architects Canada Ltd. 300 Water Street, Whiteby, Ontario, L1N 9J2, Canada		
<b>Name of Project:</b> Ottawa OC Transpo ZEB New Garage		
<b>Location:</b> 1500 St. Laurent Boulevard, Ottawa, ON		
<b>Date:</b>		
<b>Ontario Building Code Data Matrix Part 3</b>		<b>Building Code Reference<sup>1</sup></b>
3.00	Building Code Version: <u>O_Reg_332/12</u> Last Amendment <u>O_Reg_191/14</u>	
3.01	Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: Bus Indoor Parking and Charging	
3.02	Major Occupancy Classification: <u>F2</u> General Storage, Garage Area (Bus parking & Charging)	
3.03	Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:	
3.04	Building Area (m <sup>2</sup> ) Description: Existing New Total Ground Floor Area 0 6335.356 6335.356 Total 6335.356 6335.356	
3.05	Gross Area (m <sup>2</sup> ) Description: Existing New Total Ground Floor Area 0 6335.356 6335.356 Service Floor Area 0 683.003 683.003 Total 7018.359 7018.359	
3.06	Mezzanine Area (m <sup>2</sup> ) Description: Existing New Total Mezzanine Floor Area 0 0 0 Total 0 0 0	
3.07	Building Height: <u>1</u> Storeys above grade <u>8,915</u> (m) Above grade <u>0</u> Storeys below grade	
3.08	High Building: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	
3.09	Number of Streets/ Firefighter access: <u>3</u> street(s)	
3.10	Building Classification: 3.2.2.79. F2 - Any height, Any Area, Sprinklered	

3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none	3.2.1.5 & 3.2.2.17.
3.12	Standpipe System	<input checked="" type="checkbox"/> Not required <input type="checkbox"/> Required	3.2.5.9.
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None	3.2.4.
3.14	Water Service / Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	3.2.2.20 - 83. & 3.2.1.4.
3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1.(3) & 14.1.2.1.B
3.17	Seismic Hazard Index:	(Ie Fa Sa (0.2)) = _____ Seismic design required for Table 4.1.1.18, items 6 to 21: (Ie Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1.(3) & 4.1.8.18.(2)
3.18	Occupant Load	Floor Level/Area Ground level Occupancy Type (F2) Based On Design Occupant Load (Persons) <u>10</u>	3.1.17.
3.19	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <u>Office areas</u> <input type="checkbox"/> No	3.8.
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19.
3.21	Required Fire Resistance Ratings	Horizontal Rating Supporting Assembly Noncombustible in lieu of rating? Floors over basement <u>N/A</u> <u>N/A</u> <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Floors <u>N/A</u> <u>N/A</u> <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Service Floor <u>1hr</u> <u>1hr</u> <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Roof <u>0</u> <u>0</u> <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A	3.2.2.20 - 83. & 3.2.1.4.

3.22	Spatial Separation	Wall EBF Area (m <sup>2</sup> ) L.D. (m) LH or HL Require FRR(H) Construction Type (Required) Cladding Type (Required)	3.2.3. 3.2.3.10(2) Unlimited unprotected openings
		North - >15m - - <input type="checkbox"/> Noncombustible West - >15m - - <input type="checkbox"/> Noncombustible East - >15m - - <input type="checkbox"/> Noncombustible South - >15m - - <input type="checkbox"/> Noncombustible	
		*Refer to code report. - 100% unprotected openings permitted. - No rating required. - Combustible cladding permitted.	
3.23	Plumbing Fixture Requirements	Ratio: Male:Female = 50:50 Except as noted otherwise Floor Level/ Area Occupant Load OBC Reference Fixture Required Fixtures Provided Storage & Garage Area <u>10</u> Table 3.7.4.9(1) <u>1</u> <u>1</u> Universal W/C <u>1</u> <u>Universal</u>	3.7.4.
3.24	Energy Efficiency:	Compliance Path: Climatic Zone: <u>Zone 5B</u>	
3.25	Notes:	<b>Proposed Building:</b>	

<sup>1</sup> All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C.



**FIRE SEPARATIONS & FIRE PROTECTION REQUIREMENTS**

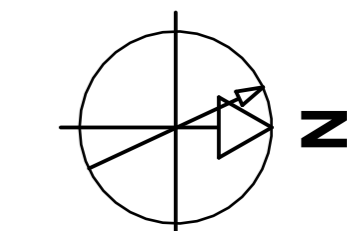
- ALL REQUIRED FIRE SEPARATIONS SHALL HAVE A FIRE RESISTANCE RATING AS SHOWN ON FIRE SEPARATION LEGEND & PLANS.
- OPENINGS IN REQUIRED FIRE SEPARATIONS SHALL BE PROTECTED WITH CLOSURES, SHAFTS OR FIRE STOPPING MATERIALS AS INDICATED AND SPECIFIED.
- FIRE SEPARATION SHALL TERMINATE SO THAT SMOKE-TIGHT JOINTS ARE PROVIDED WHERE IT ABUTS ON OR INTERSECTS AT A FLOOR, ROOF, SLAB, ROOF DECK OR AN EXTERIOR WALL ASSEMBLY.
- PROVIDE/INSTALL FIRESTOPPING SEALANT/MATERIALS AS SPECIFIED AND AT ALL REQUIRED FIRE SEPARATIONS AND WHERE INDICATED.
- FOR ADDITIONAL REQUIREMENTS AND INSTRUCTIONS, REFER TO ARCHITECTURAL SPECIFICATIONS AND MECHANICAL/ELECTRICAL DRAWINGS.
- THE FOLLOWING FIRE-PROTECTION ASSEMBLIES TO BE USED:

STEEL BEAMS SUPPORTING FLOOR &/OR WALL ASSEMBLIES  
- SPRAY FIREPROOFING - ULC F818

SPRAY ALL STEEL COLUMNS/BRACING WITH SPRAY FIREPROOFING - SIMILAR TO ULC Y745

7. THE FIRE PROTECTION RATING OF A CLOSURE SHALL CONFORM AS FOLLOWS:

FIRE RESISTANCE RATING OF FIRE SEPARATION	MINIMUM FIRE-PROTECTION RATING OF CLOSURE
2.0 HOUR.....	90 Minutes
1.5 HOUR.....	60 Minutes
1.0 HOUR.....	45 Minutes
0.5 HOUR.....	20 Minutes



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NO.	ISSUED FOR	DATE	BY
9	ISSUED FOR 100% CONTRACT DOCUMENTATION/TENDER	2025/11/14	
8	ISSUED FOR BUILDING PERMIT DOCUMENTATION	2025/08/19	
7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15	
4	ISSUED FOR 66% CONTRACT DOCUMENTATION	2025/04/15	
3	ISSUED FOR 100% DESIGN DEVELOPMENT / 33% CONTRACT DOCUMENTATION	2025/01/09	H.Q.

NUMBER	DATE	INITIALS
DESIGNED BY / CONQU PAR		
H.Q.R.		N.D.
CHECKED BY / VERIFIE PAR		
H.Q.R.		

DESIGNED BY / CONQU PAR	CHECKED BY / VERIFIE PAR
H.Q.R.	N.D.
SCALE / ECHELLE	As indicated

DETAIL NUMBER	DRAWING TITLE	SHEET NUMBER
1		

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

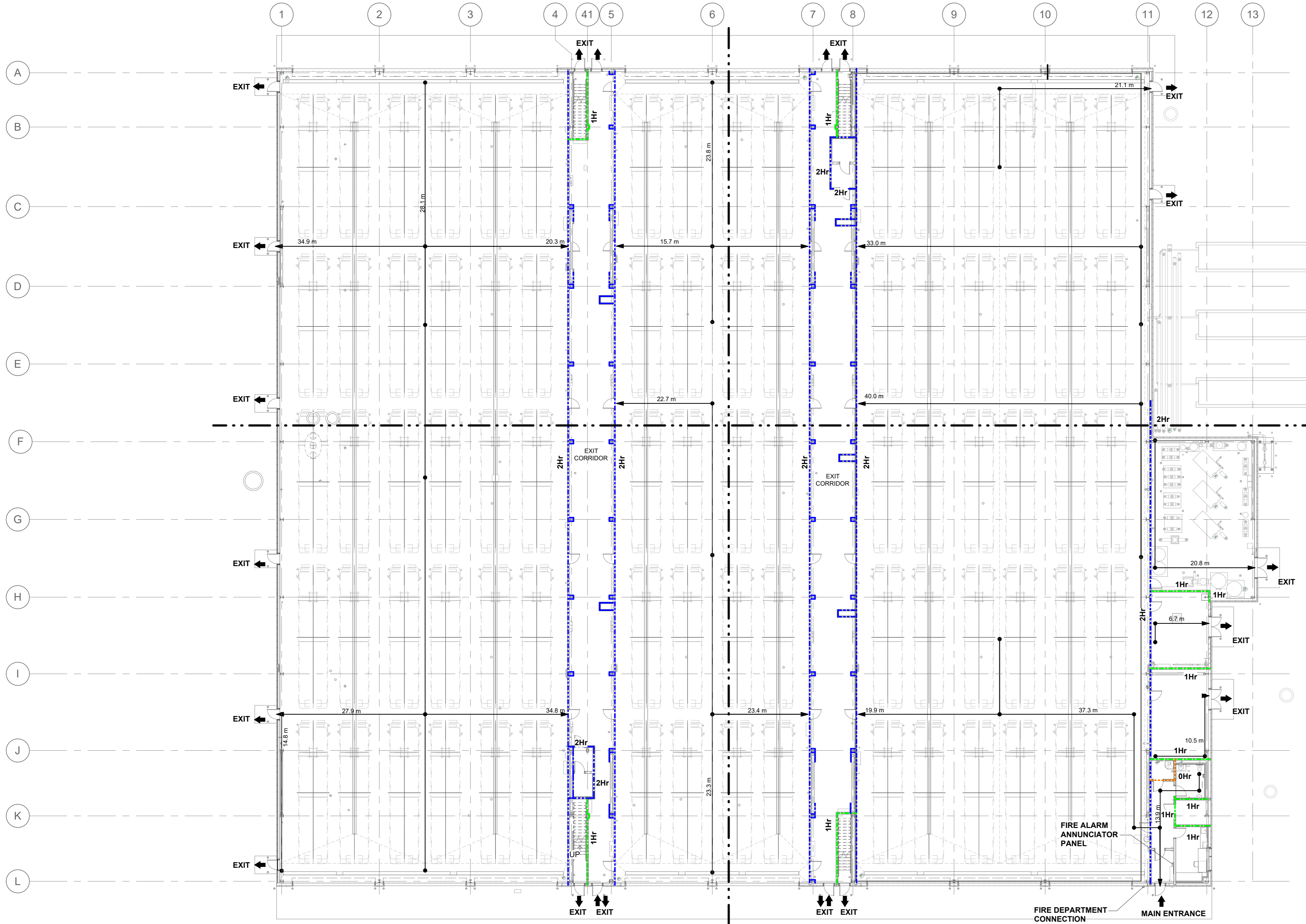
OTTAWA, ONTARIO

DRAWING / DESSIN  
**LIFE SAFETY PLAN - GROUND FLOOR**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ	SHEET NO. / FEUILLE NO.
OMF1	

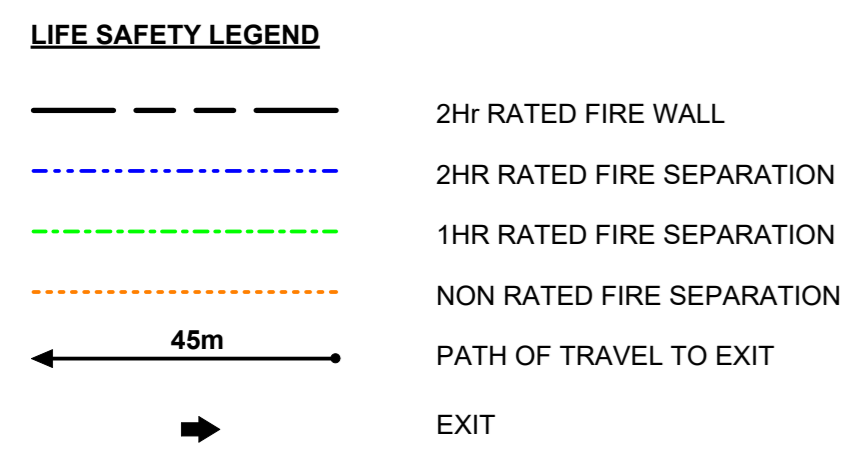
CITY PROJECT NO. / NUMÉRO DE PROJET	CONS. PROJECT NO. / NUMÉRO DE PROJET	G-003
	60716350	

File Number D07-12-25-0095  
Plan Number 19357



**1 | LIFE SAFETY PLAN - NEW BUILDING - GROUND FLOOR**

G-003 REF: A-402 SCALE: 1:200



**FIRE SEPARATIONS & FIRE PROTECTION REQUIREMENTS**

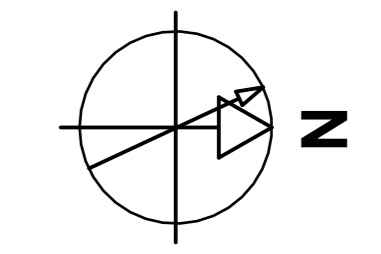
- ALL REQUIRED FIRE SEPARATIONS SHALL HAVE A FIRE RESISTANCE RATING AS SHOWN ON FIRE SEPARATION LEGEND & PLANS.
- OPENINGS IN REQUIRED FIRE SEPARATIONS SHALL BE PROTECTED WITH CLOSURES, SHAFTS OR FIRE STOPPING MATERIALS AS INDICATED AND SPECIFIED.
- FIRE SEPARATION SHALL TERMINATE SO THAT SMOKE-TIGHT JOINTS ARE PROVIDED WHERE IT ABUTS ON OR INTERSECTS AT A FLOOR, ROOF, SLAB, ROOF DECK OR AN EXTERIOR WALL ASSEMBLY.
- PROVIDE/INSTALL FIRESTOPPING SEALANT/MATERIALS AS SPECIFIED AND AT ALL REQUIRED FIRE SEPARATIONS AND WHERE INDICATED.
- FOR ADDITIONAL REQUIREMENTS AND INSTRUCTIONS, REFER TO ARCHITECTURAL SPECIFICATIONS AND MECHANICAL/ELECTRICAL DRAWINGS.
- THE FOLLOWING FIRE-PROTECTION ASSEMBLIES TO BE USED:

STEEL BEAMS SUPPORTING FLOOR &/OR WALL ASSEMBLIES  
- SPRAY FIREPROOFING - ULC F818

SPRAY ALL STEEL COLUMNS/BRACING WITH SPRAY FIREPROOFING - SIMILAR TO ULC Y745

7. THE FIRE PROTECTION RATING OF A CLOSURE SHALL CONFORM AS FOLLOWS:

FIRE RESISTANCE RATING OF FIRE SEPARATION	MINIMUM FIRE-PROTECTION RATING OF CLOSURE
2.0 HOUR	90 Minutes
1.5 HOUR	60 Minutes
1.0 HOUR	45 Minutes
0.5 HOUR	20 Minutes



NOTE:  
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NUMBER / MILESTONE/ÉTAPE	DATE: (Y/M/D) (ANNUÉ) / INITIALS
9 ISSUED FOR 100% CONTRACT DOCUMENTATION/PRE-TENDER	2025/11/14
8 ISSUED FOR BUILDING PERMIT DOCUMENTATION	2025/08/19
7 ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15
4 ISSUED FOR 66% CONTRACT DOCUMENTATION	2025/04/15
3 ISSUED FOR 100% DESIGN DEVELOPMENT / 33% CONTRACT DOCUMENTATION	2025/01/09

DESIGNED BY / CONÇU PAR	CHECKED BY / VÉRIFIÉ PAR
H.Q.R.	N.D.
DRAWN BY / DÉSSINÉ PAR	SCALE / ÉCHELLE
H.Q.R.	As indicated

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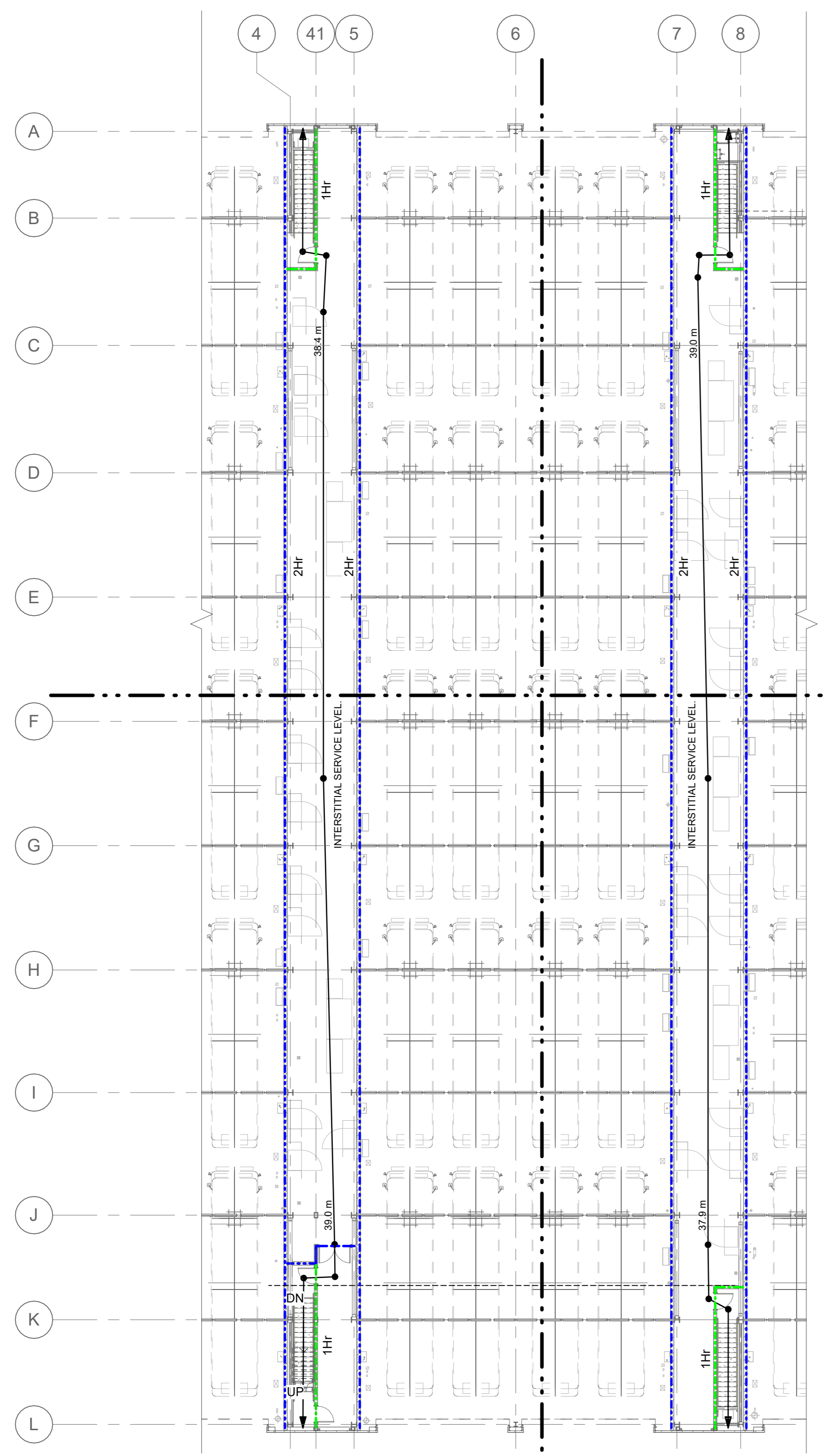
CE Dessin constitue la propriété de la Ville d'Ottawa et tout droit d'auteur est réservé. Les dimensions utilisées le sont à des fins d'estimation seulement. Il incombe à chaque entrepreneur, sous-contractant ou consultant de vérifier toutes les dimensions et les conditions sur le chantier. Veuillez informer le propriétaire de toute erreur ou omission avant d'entamer les travaux. Ne dessinez pas les plans à l'échelle.

ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

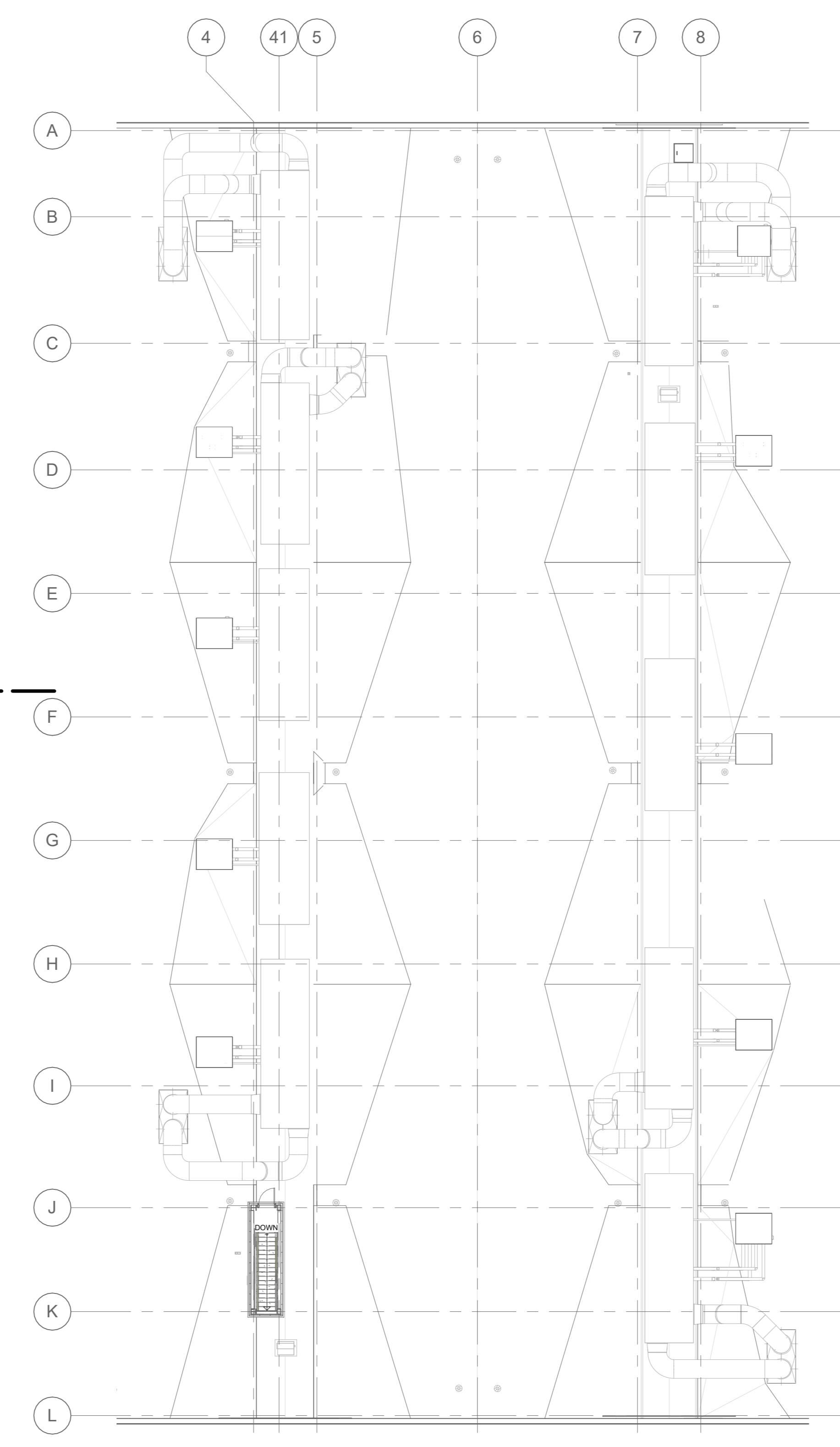
PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**  
1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8  
OTTAWA, ONTARIO

DRAWING / DESSIN  
**LIFE SAFETY PLAN - SERVICE FLOOR**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ	SHEET NO. / FEUILLE NO.
OMF1	G-004
CITY PROJECT NO. / NUMÉRO DE PROJET	CONS. PROJECT NO. / NUMÉRO DE PROJET
	60716350

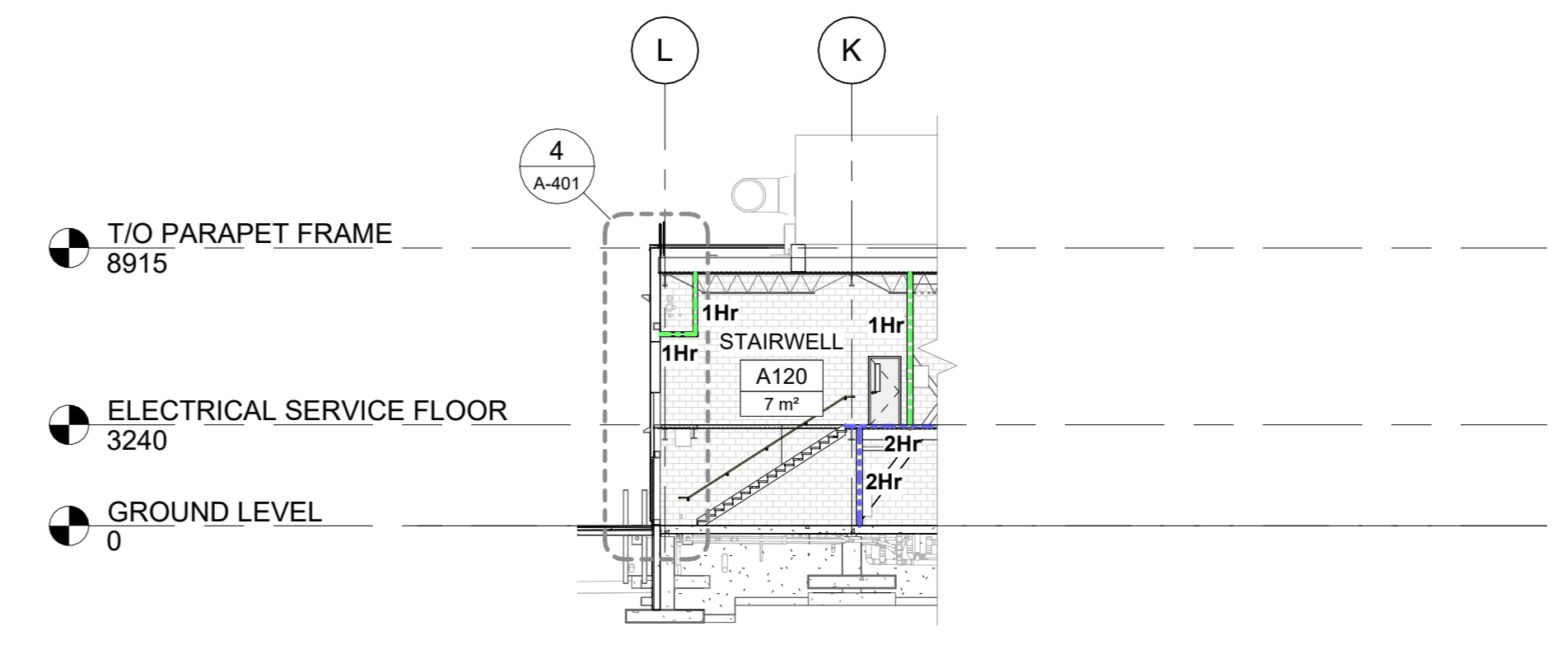


**1 | LIFESAFETY PLAN - ELECTRICAL SERVICE SPACE**  
G-004 REF: A-402 SCALE: 1 : 200

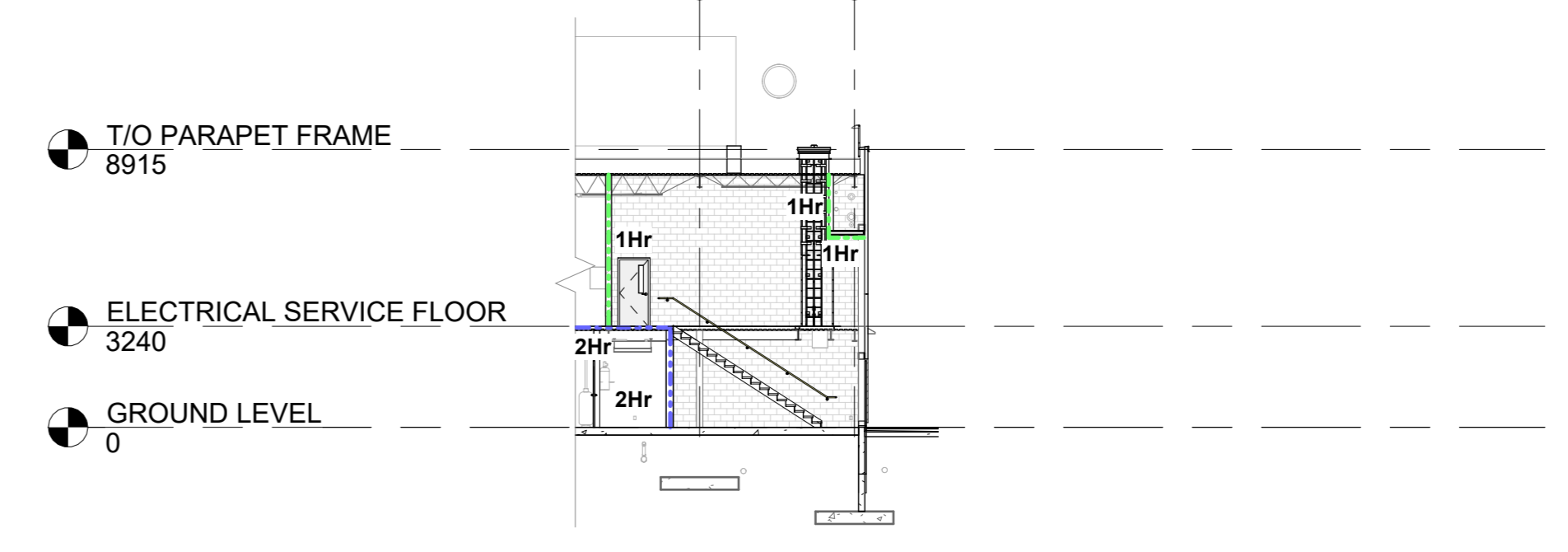


**2 | LIFE SAFETY PLAN - ROOF**  
G-004 REF: A-301 SCALE: 1 : 200

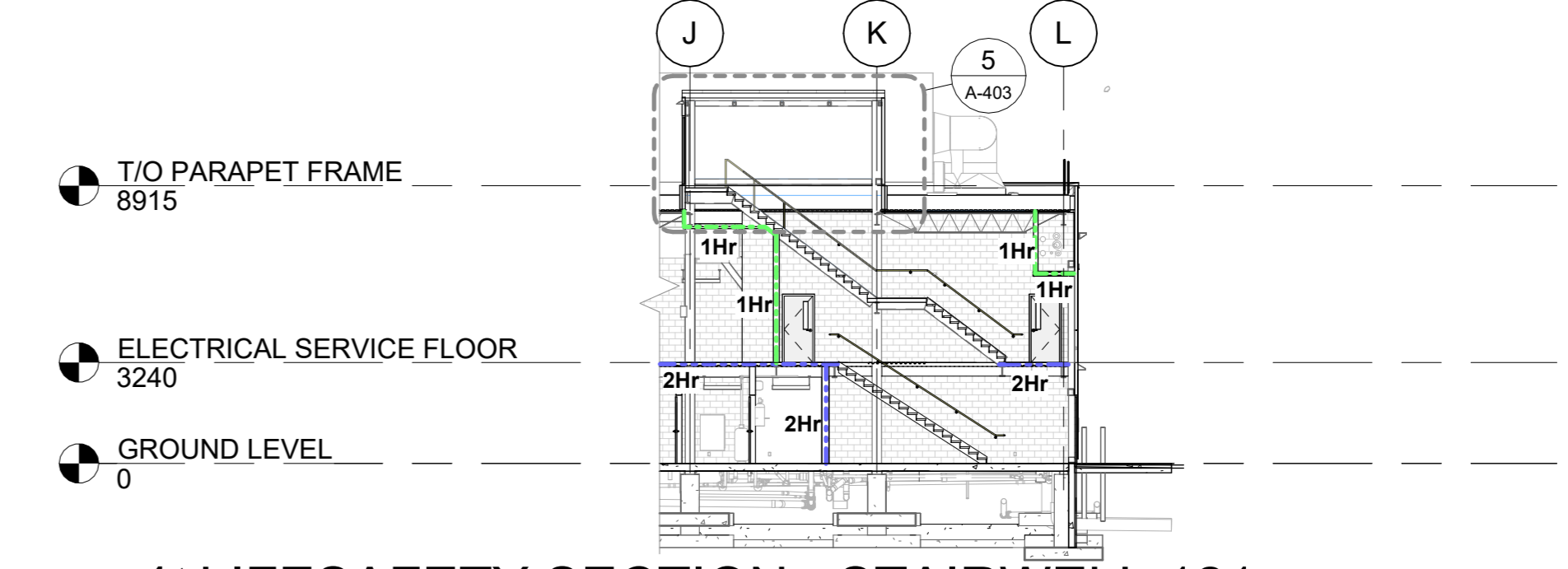
File Number D07-12-25-0095  
Plan Number 19357



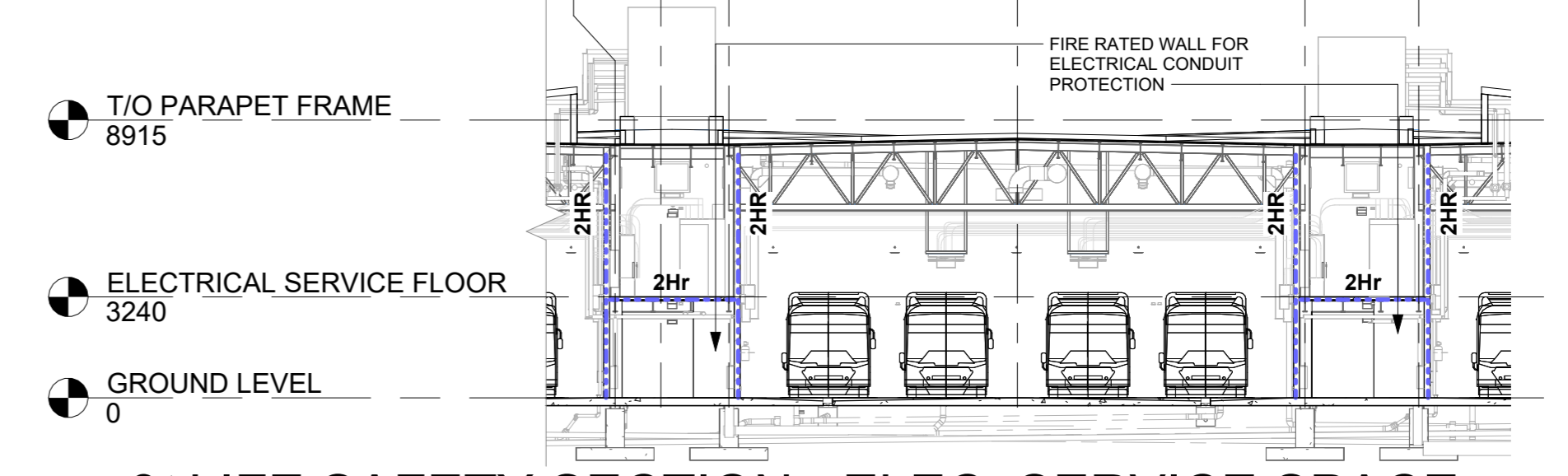
**6 | LIFESAFETY SECTION - STAIRWELL 120**  
G-004 REF: A-101d SCALE: 1 : 200



**5 | LIFESAFETY SECTION - STAIRWELL 125**  
G-004 REF: A-101b SCALE: 1 : 200



**4 | LIFESAFETY SECTION - STAIRWELL 121**  
G-004 REF: A-101c SCALE: 1 : 200



**3 | LIFE SAFETY SECTION - ELEC. SERVICE SPACE**  
G-004 REF: A-101 SCALE: 1 : 200



PEPSI CO BEVERAGES CANADA

CONCRETE PAD FOR THE NEW GENERATOR. SEE ELECTRICAL DWGS. CONCRETE PAD DIMENSIONS MUST BE CONFIRMED WITH THE ELECTRICAL TEAM

ELECTRICAL SUBSTATION BOUNDARY BY OTHERS

PROPERTY LINE

ASPHALT AND GRANULAR A REMOVAL. SEE CIVIL DWGS.

NEW GENERATOR

15 M SETBACK WEST

NEW LIGHT STANDARD

15 M SETBACK NORTH

PROPOSED 80 x 40' BUS GARAGE

ZONING BOUNDARY

NUMBER	DATE (Y/M/D)	INITIALS
8	2025/11/14	H.G.
7	2025/06/19	L.G.
6	2025/06/15	L.G.
5	2025/06/18	L.G.
4	2025/04/15	L.G.
3	2025/01/09	L.G.
2	2024/09/27	GD

DESIGNED BY	CHECKED BY
H.Q.R.	N.D.
SCALE / ÉCHELLE	1 : 500

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ARCHITECT / ARCHITECTE CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OTC ZEB-New Garage**

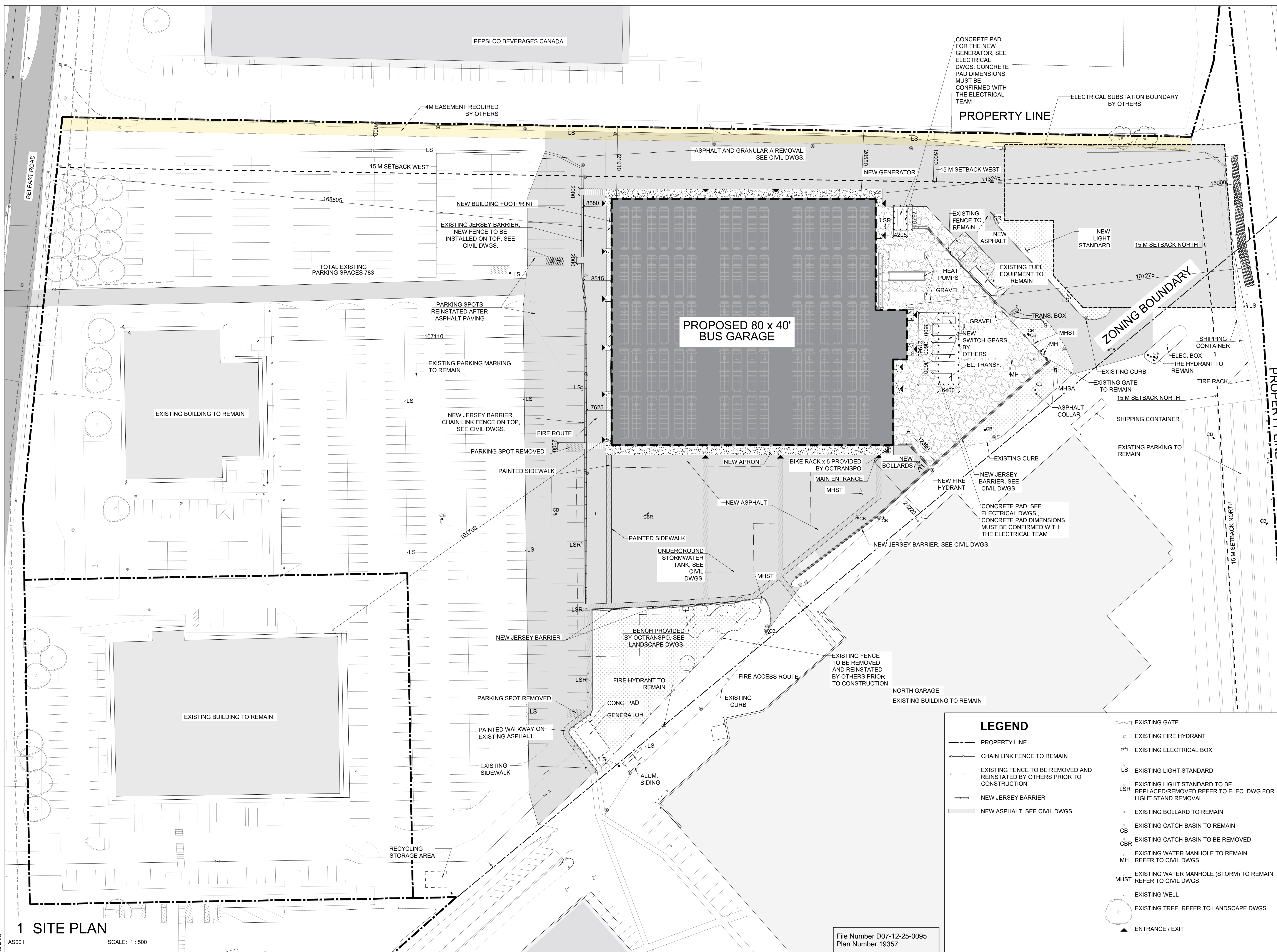
1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN  
**SITE PLAN PROPOSED**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ / SHEET NO. / FEUILLE NO.  
OMF1 AS101

CITY PROJECT NO. / NUMÉRO DE PROJET / CONS. PROJECT NO. / NUMÉRO DE PROJET  
60716350



**1 SITE PLAN**  
AS001 SCALE: 1 : 500

File Number D07-12-25-0095  
Plan Number 19357

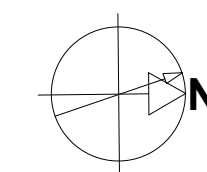
ARCH D 24" x 36"

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Table with 4 columns: NUMBER, MILESTONE/FAT SAILLANT, DATE (Y/M/D), INITIALS. Rows 1-8 detailing project milestones.

DESIGNED BY / CONCU PAR H.Q.R. CHECKED BY / VERIFIE PAR N.D.

DRAWN BY / DESINE PAR L.G. SCALE / ECHELLE 1 : 500



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ARCHITECT / ARCHITECTE CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

OTC ZEB-New Garage

1500 St. Laurent Blvd Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN

SITE PLAN PROPOSED

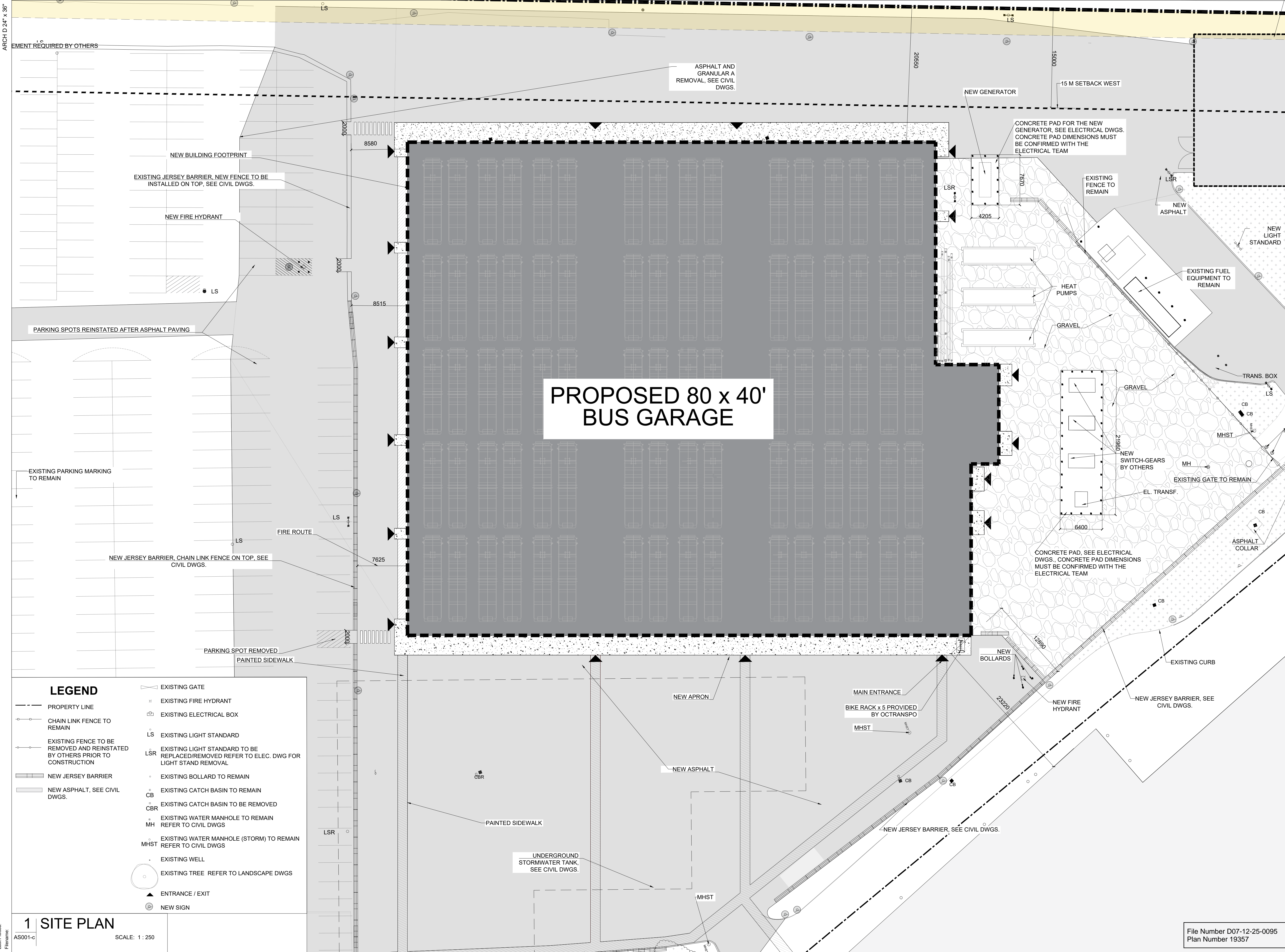
BUSINESS ENTITY / NUMERO DE L'ENTITE BUILDING NUMBER / NUMERO DU BATIMENT SHEET NO. / FEUILLE NO.

OMF1

CITY PROJECT NO. / NUMERO DE PROJET CON. PROJECT NO. / NUMERO DE PROJET 60716350 AS101-a

File Number D07-12-25-0095 Plan Number 19357

PROPOSED 80 x 40' BUS GARAGE



LEGEND

- Legend items: PROPERTY LINE, CHAIN LINK FENCE TO REMAIN, EXISTING FENCE TO BE REMOVED AND REINSTATED BY OTHERS PRIOR TO CONSTRUCTION, NEW JERSEY BARRIER, NEW ASPHALT, SEE CIVIL DWGS., EXISTING GATE, EXISTING FIRE HYDRANT, EXISTING ELECTRICAL BOX, EXISTING LIGHT STANDARD, EXISTING LIGHT STANDARD TO BE REPLACED/REMOVED REFER TO ELEC. DWG FOR LIGHT STAND REMOVAL, EXISTING BOLLARD TO REMAIN, EXISTING CATCH BASIN TO BE REMOVED, EXISTING WATER MANHOLE TO REMAIN REFER TO CIVIL DWGS, EXISTING WATER MANHOLE (STORM) TO REMAIN REFER TO CIVIL DWGS, EXISTING WELL, EXISTING TREE REFER TO LANDSCAPE DWGS, ENTRANCE / EXIT, NEW SIGN.

1 SITE PLAN

AS001-C SCALE: 1 : 250

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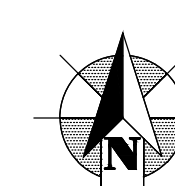
NUMBER	DESCRIPTION	DATE (Y/M/D)	INITIALS
8	ISSUED FOR 100% CONTRACT DOCUMENTATION/TENDER	2025/11/14	H.G.
7	ISSUED FOR BUILDING PERMIT	2025/08/19	LG
6	ISSUED FOR 90% CONTRACT DOCUMENTATION	2025/06/15	LG
5	ISSUED FOR SPC	2025/06/18	LG
4	ISSUED FOR 60% CONTRACT DOCUMENTATION	2025/04/15	LG
3	ISSUED FOR 100% DESIGN DEVELOPMENT / 35% CONTRACT DOCUMENTATION	2025/01/09	LG
2	RESUBMISSION FOR SCHEMATIC DESIGN	2024/09/27	GD

DESIGNED BY / CONCU PAR  
H.Q.R.

CHECKED BY / VERIFIE PAR  
N.D.

DRAWN BY / DESINE PAR  
L.G.

SCALE / ECHELLE  
1 : 1500



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ARCHITECT / ARCHITECTE  
CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL  
CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

**OTC ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN

**SITE PLAN - CONTEXT PLAN**

BUSINESS ENTITY / NUMERO DE L'ENTITE  
BUILDING NUMBER / NUMERO DU BATIMENT

OMF1

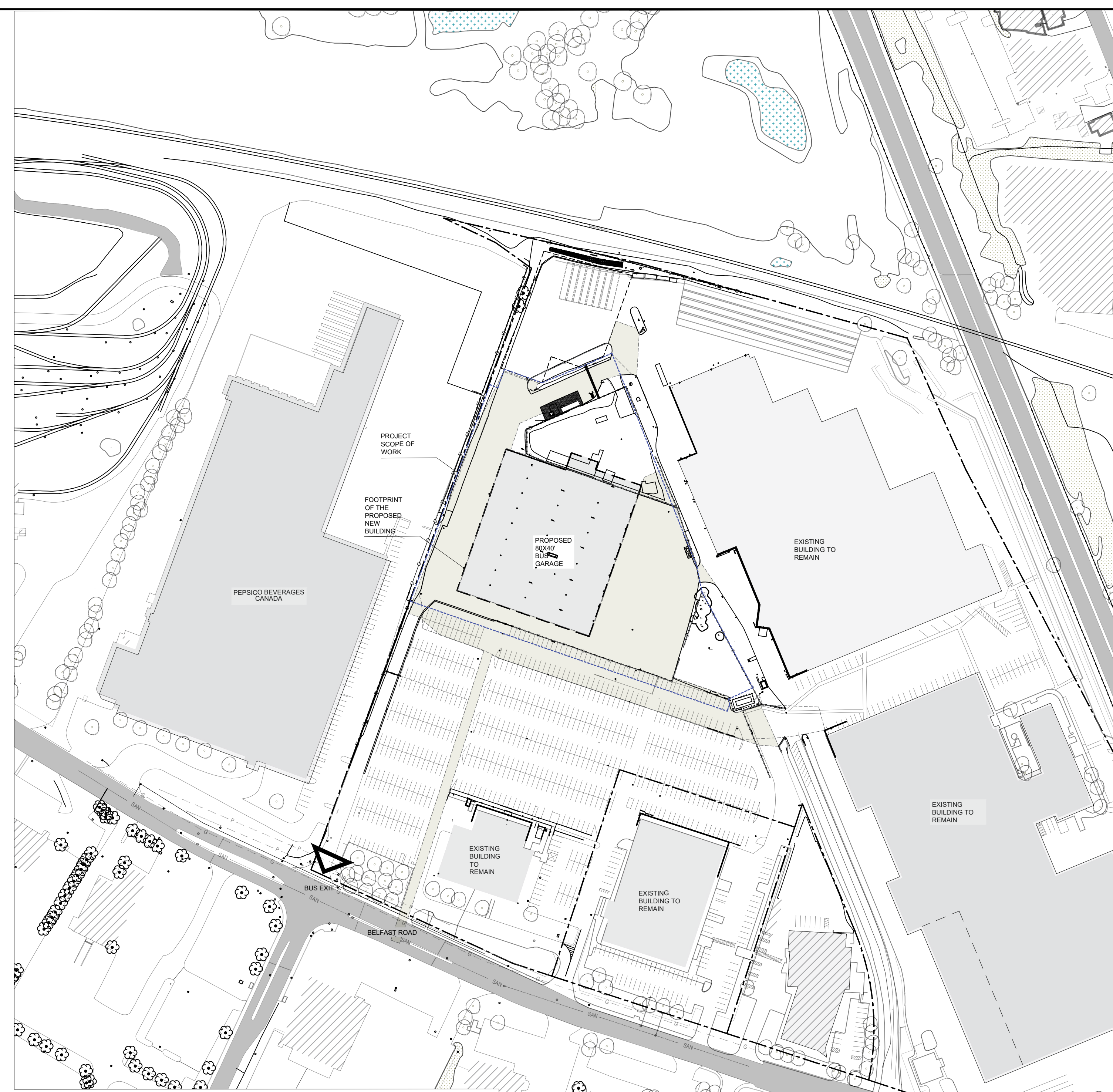
CITY PROJECT NO. / NUMERO DE PROJET  
60716350

SHEET NO. / FEUILLE NO.  
**AS102**

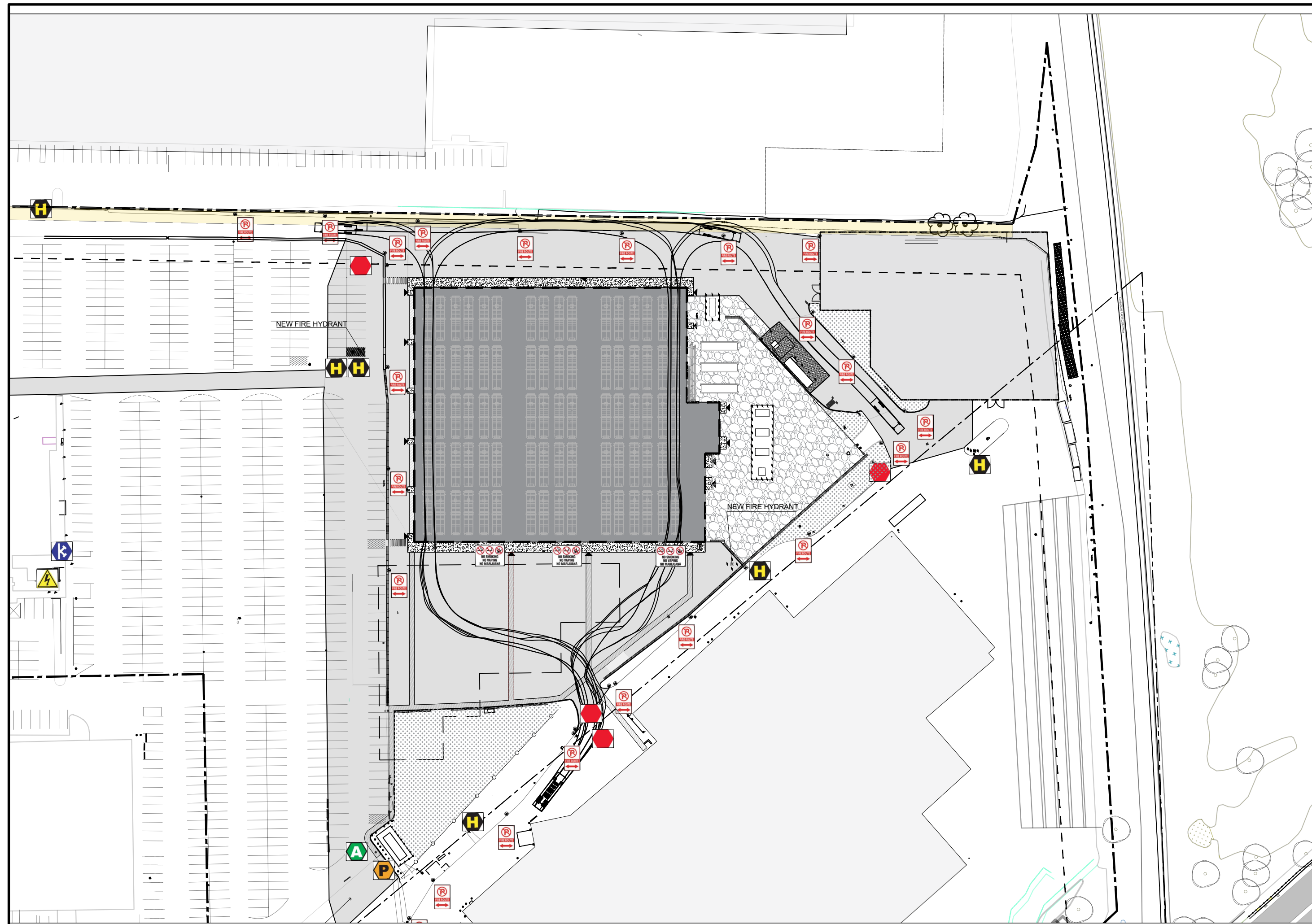
File Number D07-12-25-0095  
Plan Number 19357

SITE DEVELOPMENT STATISTICS			
SITE ADDRESS: OTC ZEB-NEW GARAGE, 1500 ST. LAURENT BLVD, OTTAWA, ON K1G 0Z8			
CITY OF OTTAWA: ZONING BYLAW IG3			
PROPOSED ZONING	INDUSTRIAL ZONES		
EXISTING ZONING	INDUSTRIAL ZONES		
LEGAL DESCRIPTION	REQUIRED	PROVIDED (from property line)	
FRONT YARD SETBACK (SOUTH)	3m	168.80m	
SIDE YARD SETBACK (EAST)	15m	NA	
SIDE YARD SETBACK (WEST)	15m	20.55m	
REAR YARD SETBACK (NORTH)	15m	107.26m	
BUILDING HEIGHT	22m	8.51m	
LOT FRONTAGE	141m+150m		
LOT DEPTH	376.465 m		
LOT AREA	135,720 m2		
FLOOR AREA RATIO			
HARD/SOFTSCAPE	AREA	COVERAGE	
HARDSCAPE AREA - EXISTING	75,236	55.43%	
HARDSCAPE AREA - NEW	1030	0.75%	
LANDSCAPED AREA - EXISTING	11181	8.23%	
LANDSCAPED AREA - NEW	0	0%	
BUILDING AREA	6,308.60	4.64%	
GROSS FLOOR AREA	6,970	5.13%	
PARKING	REQUIRED	PROVIDED	
BARRIER FREE	SPACES		
	STALL LENGTH	length of 5.2 m	
	STALL WIDTH	"Type A" width of 3.4m "Type B" width of 2.4m	
STANDARD	SPACES	0.75 / 100 m2 of GFA	
	STALL LENGTH	5.2m	
	STALL WIDTH	2.6m	
		6.7m	
AISLE WIDTH -			
TOTAL NUMBER OF NEW PARKING	EXISTING	PROVIDED	
0.75 per 100 m2 of gross floor area	783	783 - 2 = 781	
SHORT TERM BICYCLING PARKING - NEW	-	-	
1 per 1500 m2 of gross floor area			
NEW LOADING SPACES TOTAL	1	0	
1 for 10,000-10,000 m2 1/2 for 10,000-25,000 m2			

1 | SITE DEVELOPMENT STATISTICS  
AS103

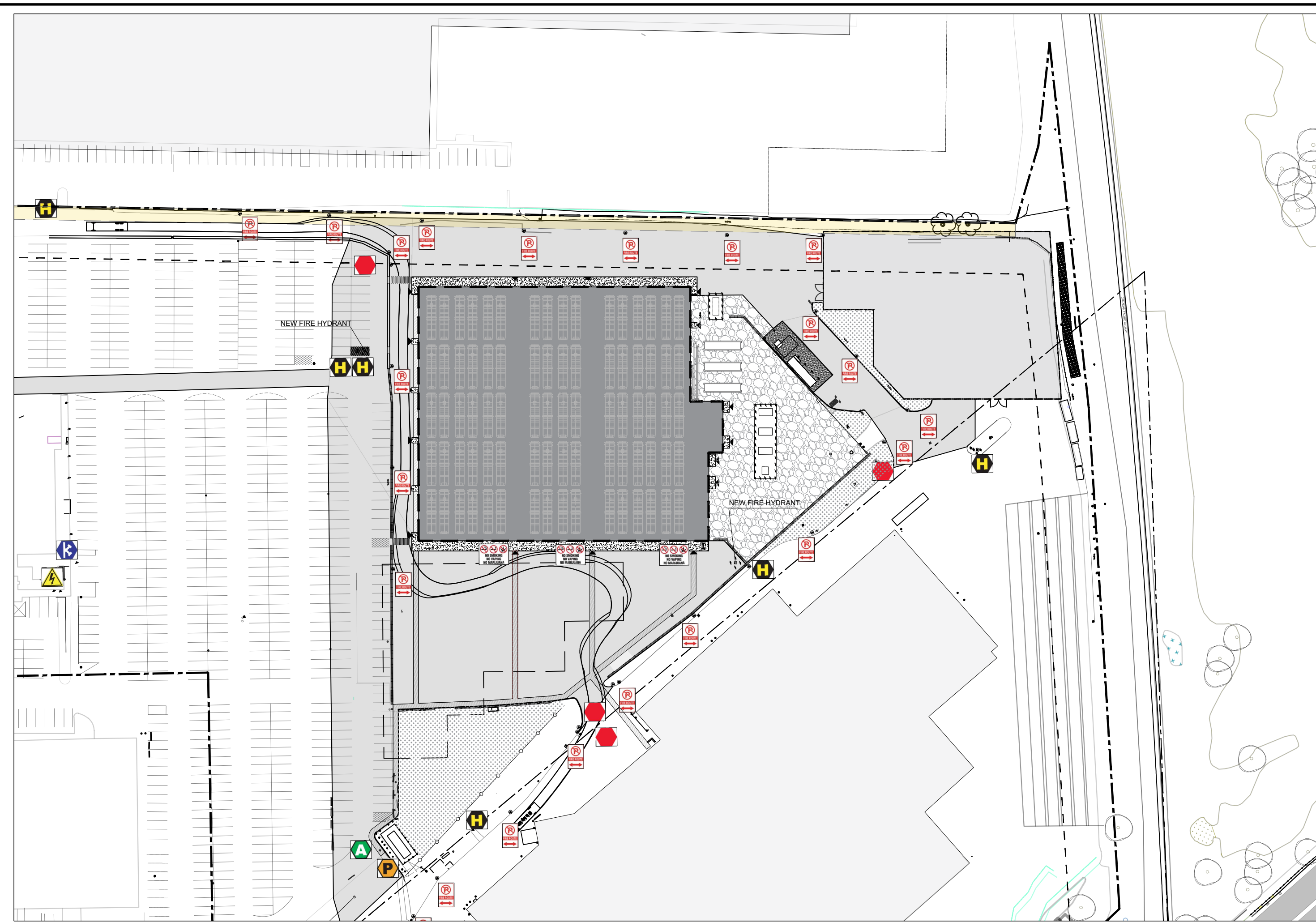


2 | SITE PLAN - CONTEXT PLAN  
AS103 SCALE: 1 : 1500



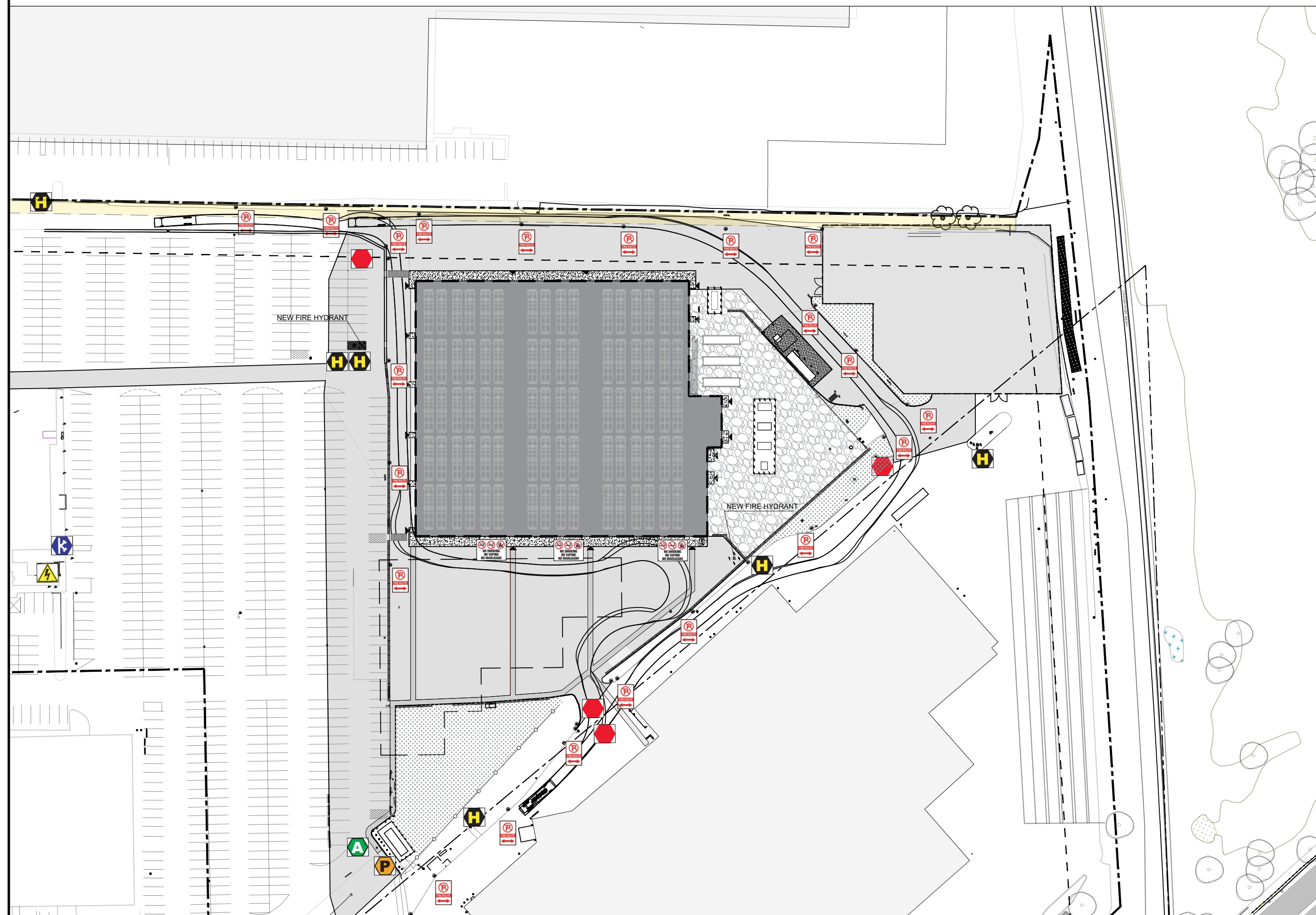
1 SITE PLAN - BUS PATH

AS103 SCALE: 1 : 1000



2 SITE PLAN - GARBAGE TRUCK PATH

AS103 SCALE: 1 : 1000



3 SITE PLAN - FIRETRUCK PATH

AS103 SCALE: 1 : 1000

**LEGEND EXISTING SIGNAGE**

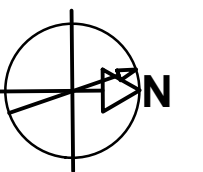
- CONNECTION
- FIRE HYDRANT
- EMERGENCY ASSEMBLY AREA
- FIRE PLAN BOX
- STOP SIGN
- GENERATOR

NOTE:  
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NUMBER	DATE (Y/M/D)	INITIALS
8	2025/11/14	H.G.
7	2025/08/19	L.G.
6	2025/08/15	L.G.
5	2025/06/18	L.G.
4	2025/04/15	L.G.
3	2025/01/09	L.G.
2	2024/09/27	G.D.

NUMBER	DATE (Y/M/D)	INITIALS
DESIGNED BY / CONÇU PAR		
H.Q.R.		N.D.

DESIGNED BY / CONÇU PAR	SCALE / ÉCHELLE
L.G.	1 : 500



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ARCHITECT / ARCHITECTE CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

**OTC ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN

**SITE PLAN - PROPOSED VEHICLE MANEUVERING**

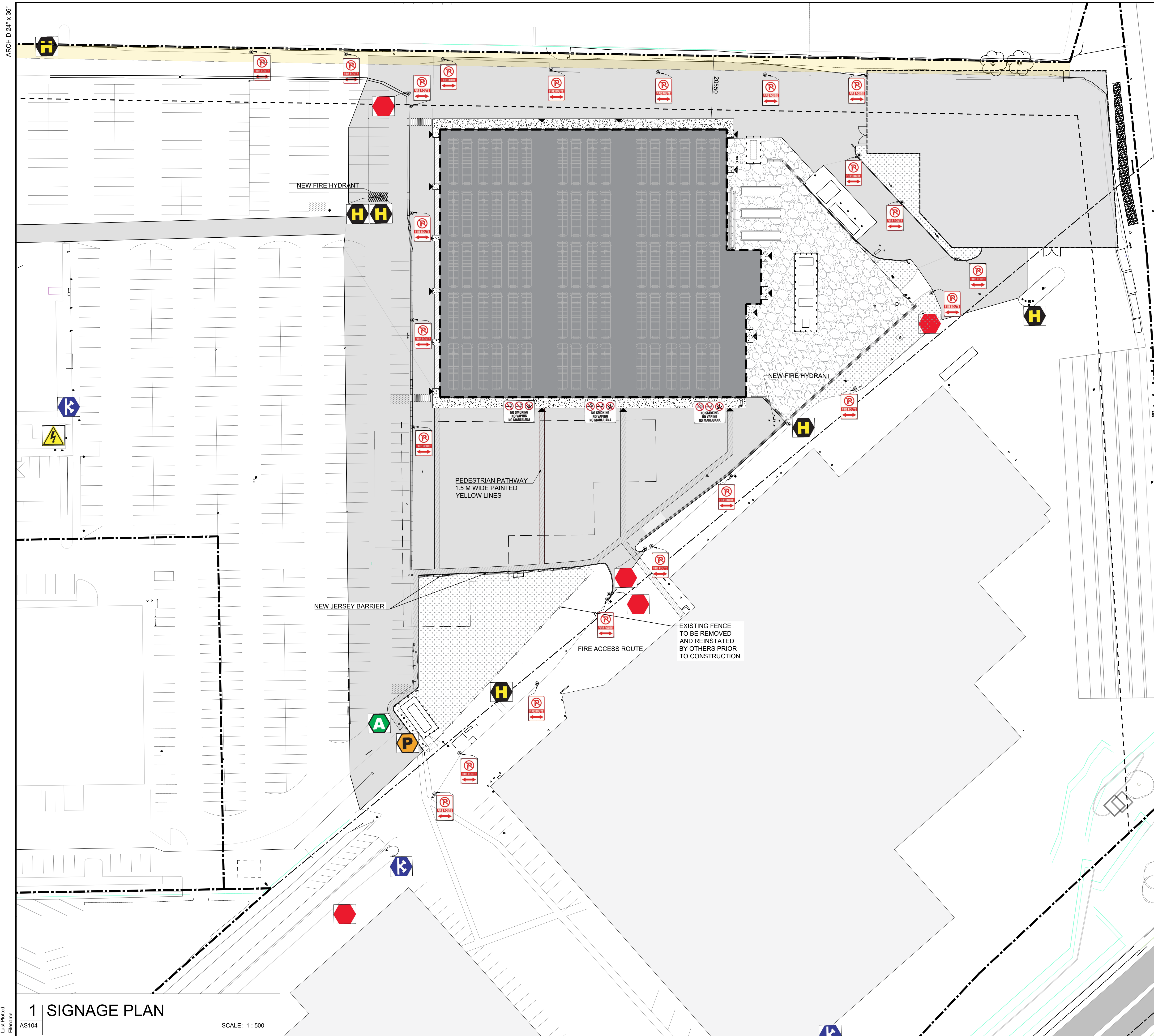
BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ SHEET NO. / FEUILLE NO.

OMF1 AS103

CITY PROJECT NO. / NUMÉRO DE PROJET CONS. PROJECT NO. / NUMÉRO DE PROJET

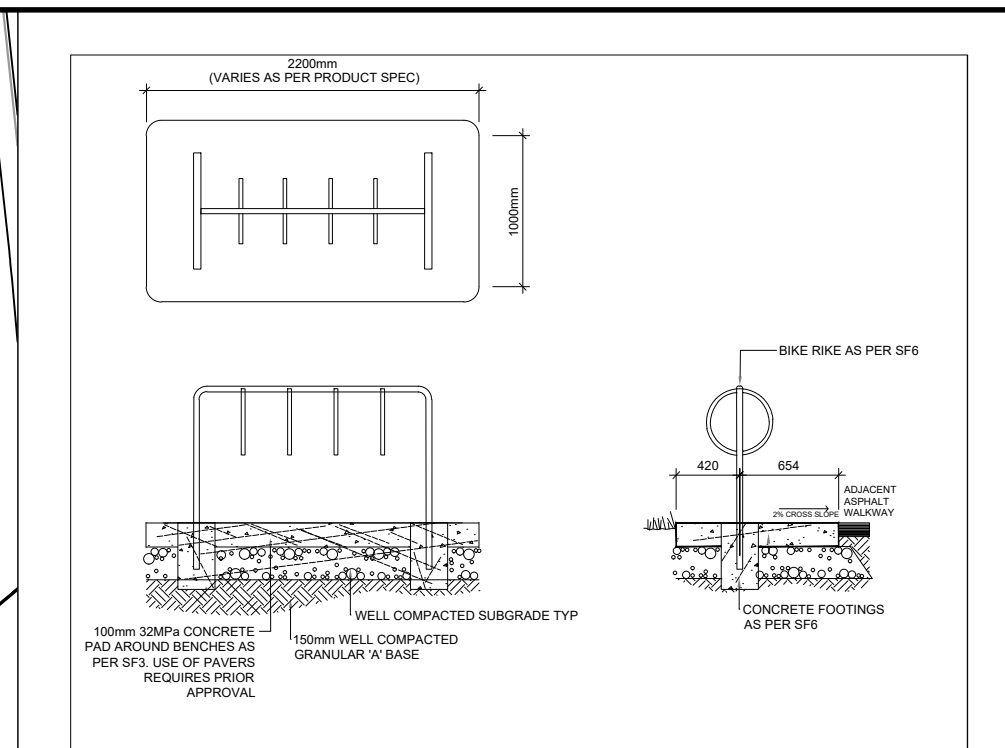
60716350

File Number D07-12-25-0095  
Plan Number 19357



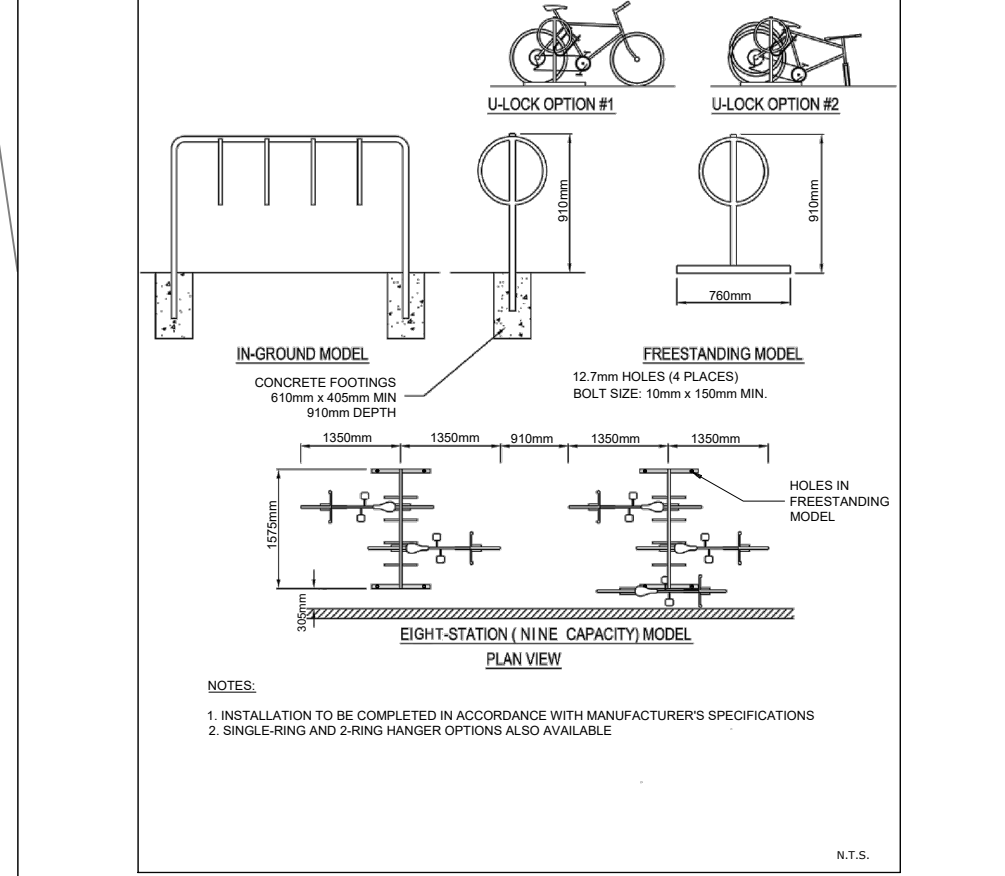
# 1 SIGNAGE PLAN

AS104 SCALE: 1 : 500



## 2 CONCRETE PAD FOR RING HANGER BIKE RACK

AS104 SCALE: 1 : 50



## 3 RING HANGER BIKE RACK

AS104 SCALE: 1 : 500

- LEGEND**
- CONNECTION
  - FIRE HYDRANT
  - EMERGENCY ASSEMBLY AREA
  - FIRE PLAN BOX
  - STOP SIGN
  - GENERATOR
  - NO PARKING FIRE ROUTE SIGNS AT MAXIMUM 30M
  - PEDESTRIAN PATHWAY 1.5 M WIDE PAINTED YELLOW LINES
  - NEW SIGN
  - NO SMOKING NO VAPING NO MARIJUANA

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2	2024/09/27	G.D.

DESIGNED BY / VERIFIE PAR	CHECKED BY / VERIFIE PAR
H.Q.R.	N.D.
DRAWN BY / DESINE PAR	SCALE / ECHELLE
L.G.	1 : 500



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ARCHITECT / ARCHITECTE  
CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL  
CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OTC ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN  
**SITE PLAN - SIGNAGE**

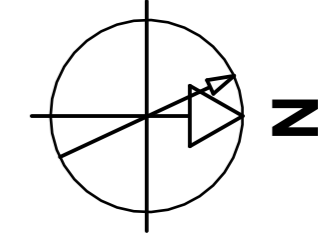
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BUILDING NUMBER / NUMERO DU BATIMENT  
**OMF1**

CITY PROJECT NO. / NUMERO DE PROJET  
CONS. PROJECT NO. / NUMERO DE PROJET  
**60716350**

SHEET NO. / FEUILLE NO.  
**AS104**

File Number D07-12-25-0095  
Plan Number 19357





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8	ISSUED FOR BUILDING PERMIT DOCUMENTATION	2025/08/19
7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15
6	ISSUED FOR SPC DOCUMENTATION	2025/06/18
4	ISSUED FOR 86% CONTRACT DOCUMENTATION	2025/04/15

NUMBER MILESTONE/ÉVÉNEMENT DATE: (Y/M/D) (A/M/J) INITIALS

DESIGNED BY / CONÇU PAR: H.Q.R. CHECKED BY / VÉRIFIÉ PAR: N.D.

DRAWN BY / DÉSSINÉ PAR: H.Q.R. SCALE / ÉCHELLE: 1 : 200

DETAIL NUMBER: 1 DRAWING TITLE: 1.1 SCALE: SHEET NUMBER

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ARCHITECT / ARCHITECTE: CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT: OCT ZEB-New Garage

1500 St. Laurent Blvd Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

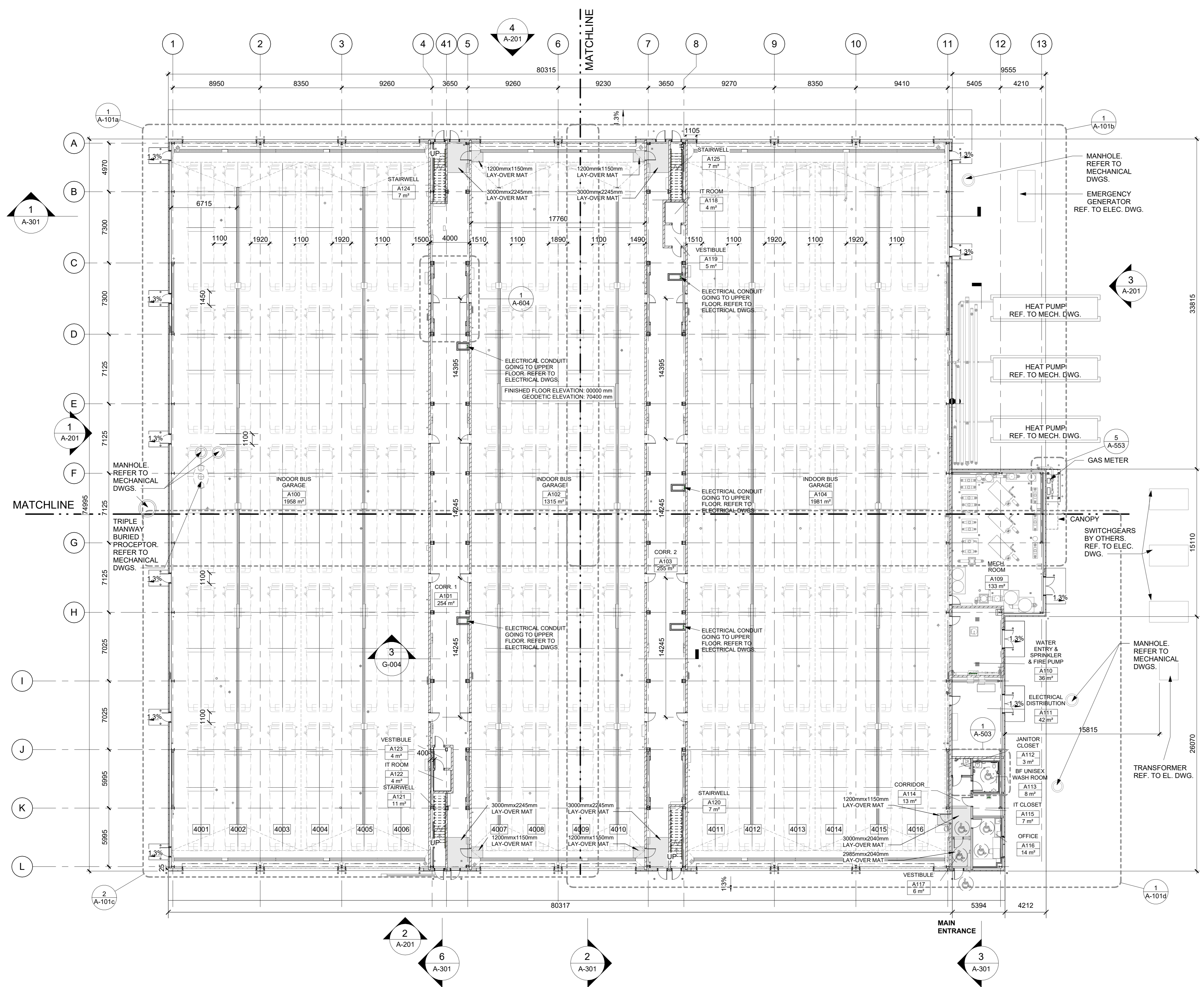
DRAWING / DESSIN: NEW BUILDING\_GROUND FLOOR PLAN

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ: OMF1 SHEET NO. / FEUILLE NO.:

CITY PROJECT NO. / NUMÉRO DE PROJET: 60716350 CONS. PROJECT NO. / NUMÉRO DE PROJET: 60716350

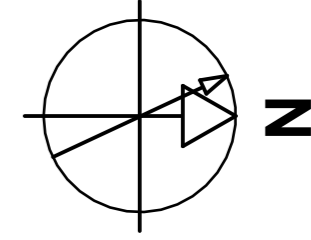
File Number D07-12-25-0095 Plan Number 19357

A-101



1 | NEW BUILDING - GROUND FLOOR PLAN

A-101 REF: A-402 SCALE: 1 : 200



NOTE:  
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6	ISSUED FOR SPC DOCUMENTATION	2025/06/18	
4	ISSUED FOR 86% CONTRACT DOCUMENTATION	2025/04/15	H.Q.

DESIGNED BY / CONÇU PAR	CHECKED BY / VÉRIFIÉ PAR
H.Q.R.	N.D.

DRAWN BY / DÉSSINÉ PAR	SCALE / ÉCHELLE
H.Q.R.	As indicated

DETAIL NUMBER	DRAWING TITLE	SHEET NUMBER
1	1	1

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
------------------------	-----------------------------

CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL
-----------------------------	-----------------------------

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

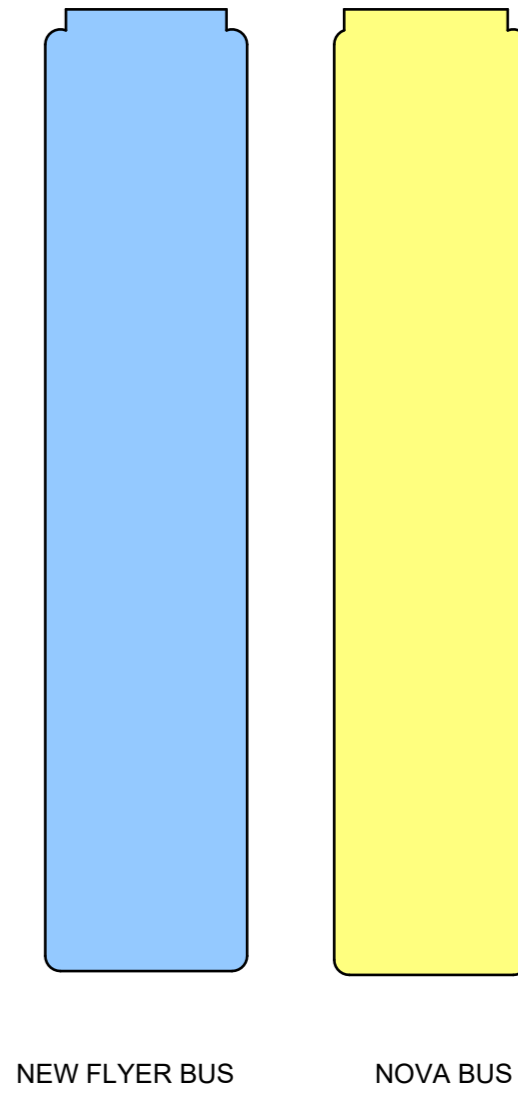
OTTAWA, ONTARIO

DRAWING / DESSIN  
**NEW BUILDING\_PARTIAL GROUND FLOOR PLAN**

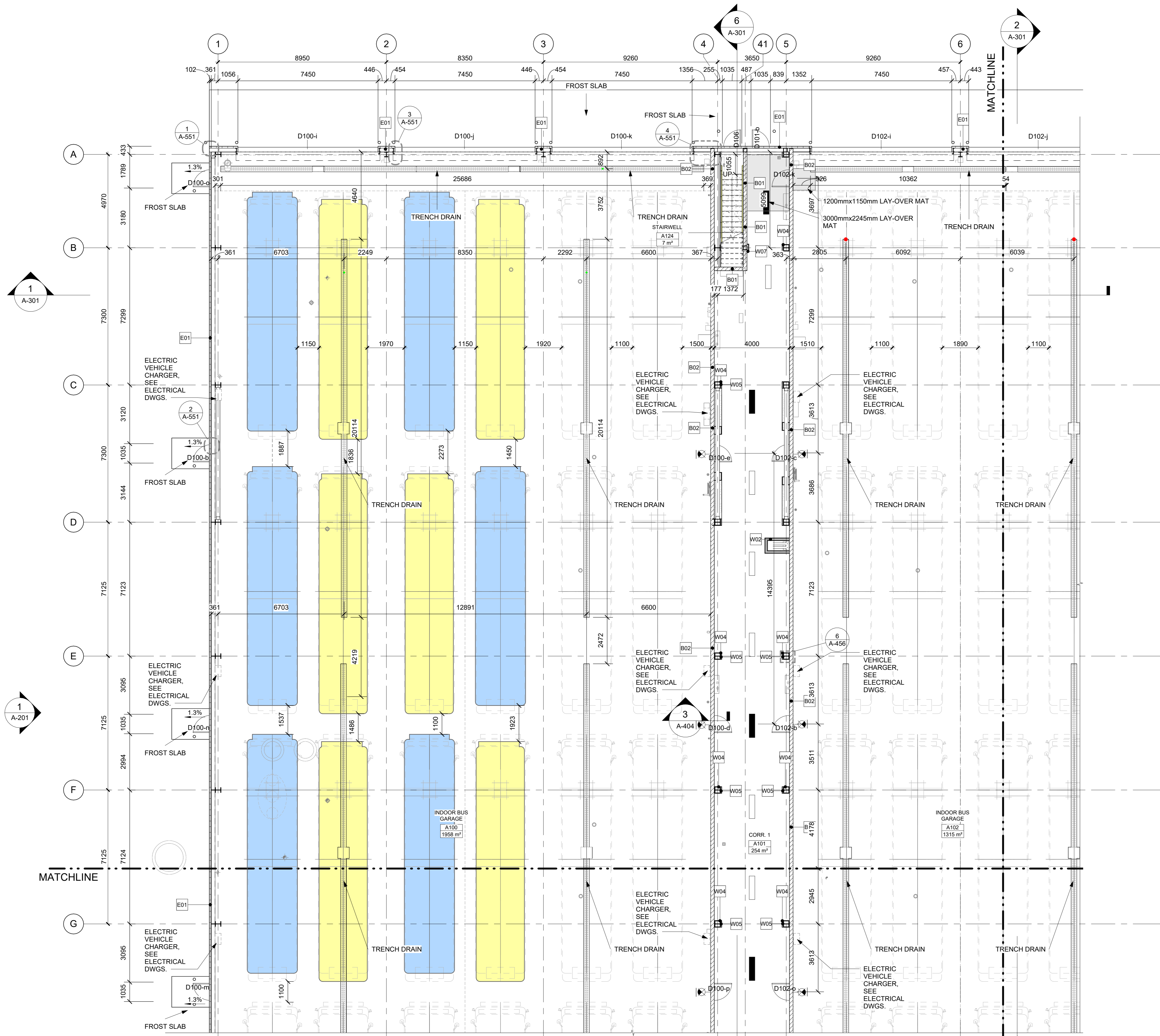
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BUILDING NUMBER / NUMÉRO DU BÂTIMENT  
**OMF1**

CITY PROJECT NO. / NUMÉRO DE PROJET  
CONS. PROJECT NO. / NUMÉRO DE PROJET  
**60716350**

SHEET NO. / FEUILLE NO.  
**A-101a**



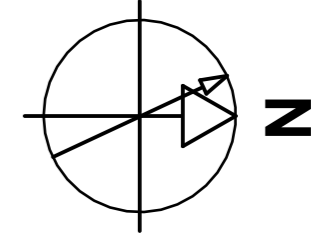
KEY PLAN



1 | NEW BUILDING - GROUND FLOOR PLAN a

A-101a REF: A-101 SCALE: 1 : 100

File Number D07-12-25-0095  
Plan Number 19357



PRIME: AECOM Canada Architects Ltd. 1150 Morrison Drive, Suite 302 Ottawa, Ontario, K2H 8S9



SUBCONSULTANT: GRC ARCHITECTS INC. 47 Clarence Street, Suite 401 Ottawa, Ontario, K1N 9K1

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4	ISSUED FOR 86% CONTRACT DOCUMENTATION	2025/04/15	H.Q.

DESIGNED BY / CONQUI PAR	CHECKED BY / VERIFIE PAR
H.Q.R.	N.D.

DRAWN BY / DESINE PAR	SCALE / ECHELLE
H.Q.R.	As indicated

DETAIL NUMBER	DRAWING TITLE
1	A-101b
SHEET NUMBER	SCALE
	1:100

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

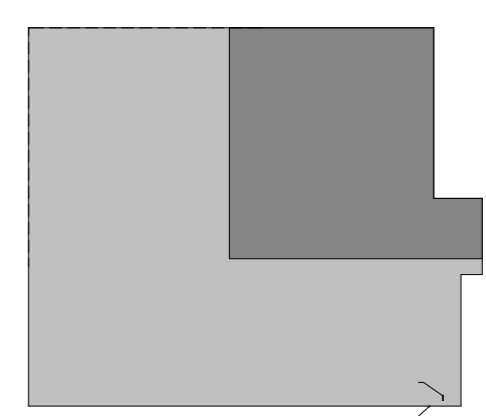
OTTAWA, ONTARIO

DRAWING / DESSIN  
**NEW BUILDING\_PARTIAL GROUND FLOOR PLAN**

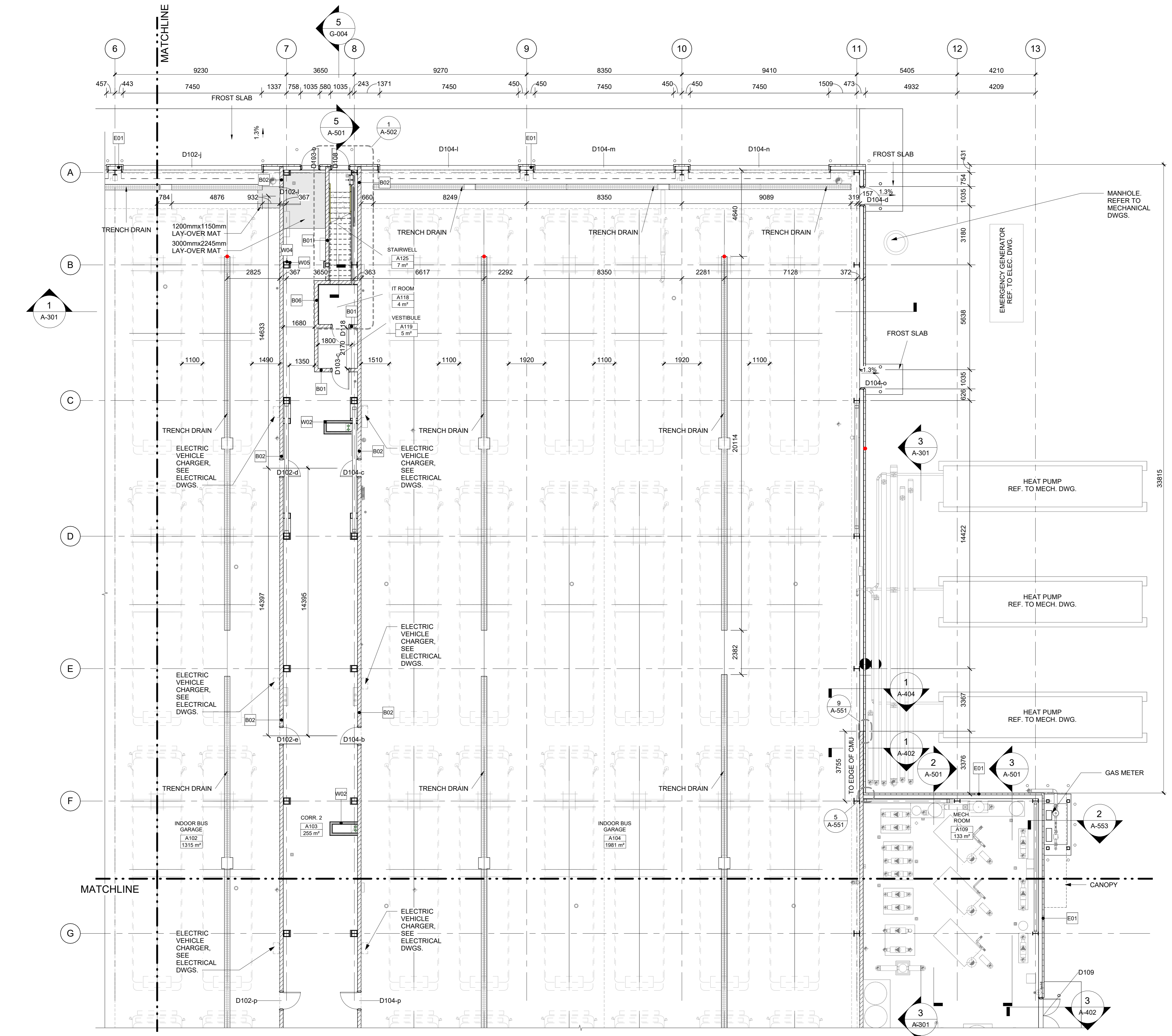
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OMF1	A-101b

CITY PROJECT NO. / NUMÉRO DE PROJET	CONS. PROJECT NO. / NUMÉRO DE PROJET
	60716350

File Number D07-12-25-0095  
Plan Number 19357

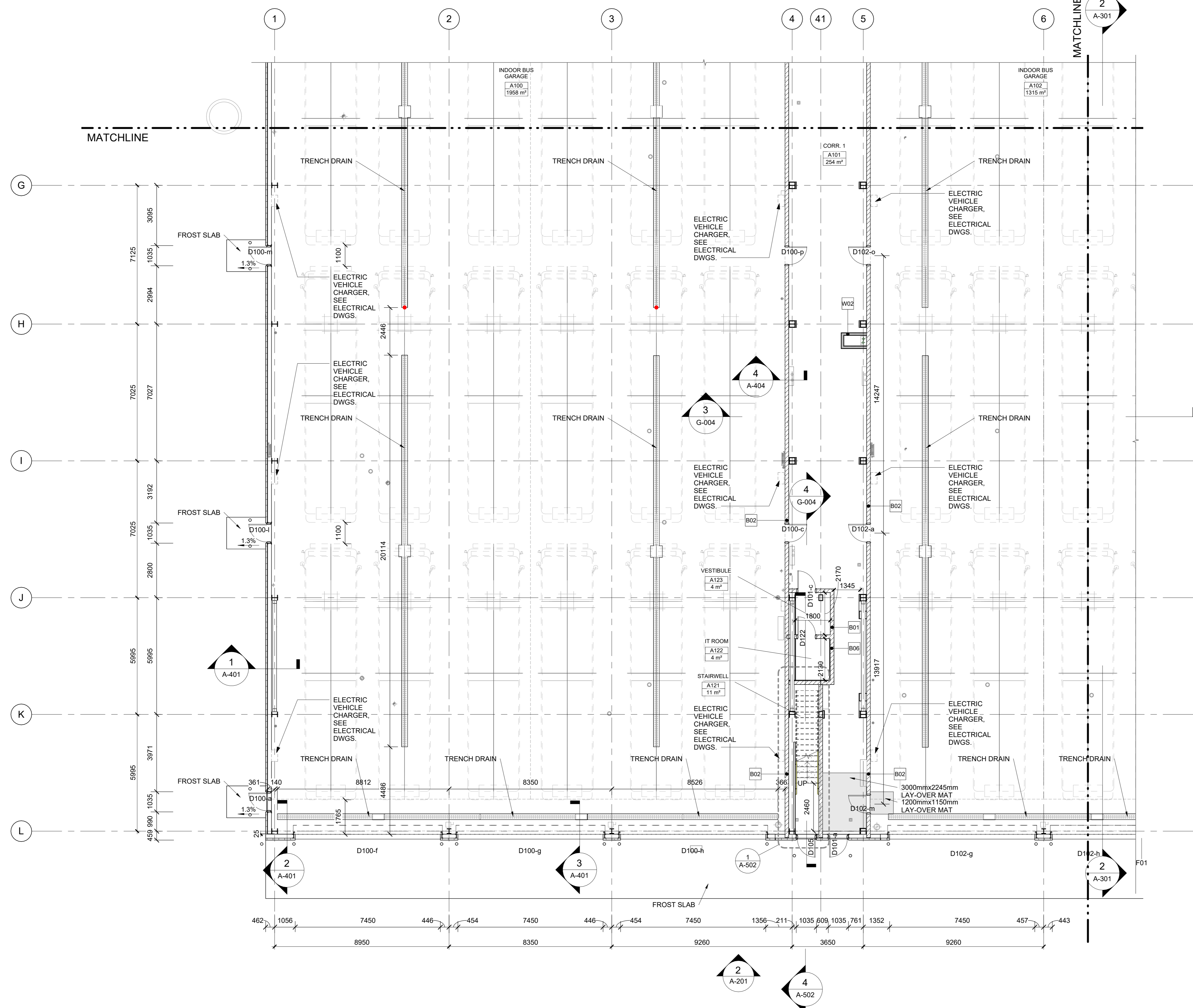
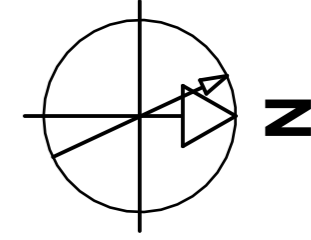


KEY PLAN



1 | NEW BUILDING - GROUND FLOOR PLAN b

A-101b REF: A-101 SCALE: 1:100



NOTE:  
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7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15
6	ISSUED FOR SPC	2025/06/18
4	ISSUED FOR 96% CONTRACT DOCUMENTATION	2025/04/15 H.Q.

NUMBER	DATE (Y/M/D) (AMM)	INITIALS

DESIGNED BY / CONÇU PAR  
H.Q.R. N.D.

DRAWN BY / DESINÉ PAR  
H.Q.R. As indicated

DETAIL NUMBER  
**1** DRAWING TITLE  
SCALE  
SHEET NUMBER

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN  
**NEW BUILDING\_PARTIAL GROUND FLOOR PLAN**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ  
BUILDING NUMBER / NUMÉRO DU BÂTIMENT  
**OMF1**

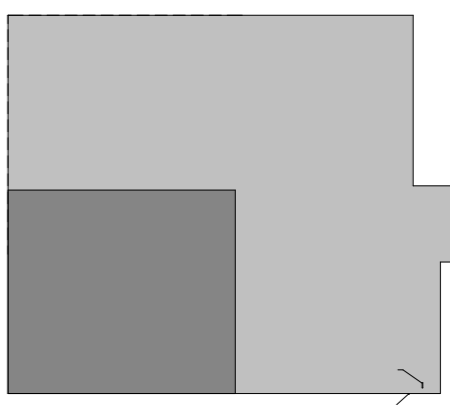
CITY PROJECT NO. / NUMÉRO DE PROJET  
CONS. PROJECT NO. / NUMÉRO DE PROJET  
**60716350**

SHEET NO. / FEUILLE NO.  
**A-101c**

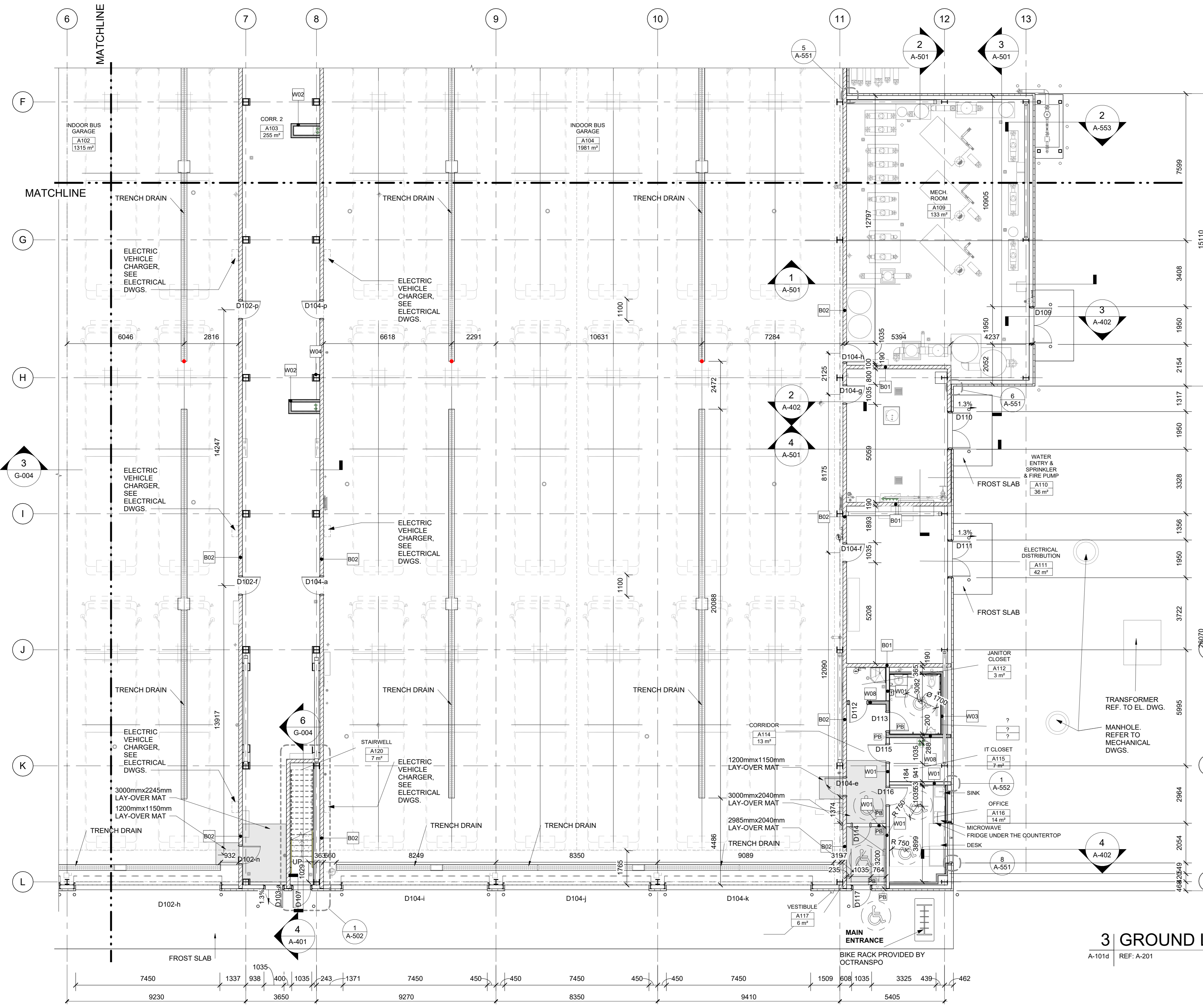
**1 NEW BUILDING - GROUND FLOOR PLAN c**

A-101c REF: A-402 SCALE: 1 : 100

File Number D07-12-25-0095  
Plan Number 19357

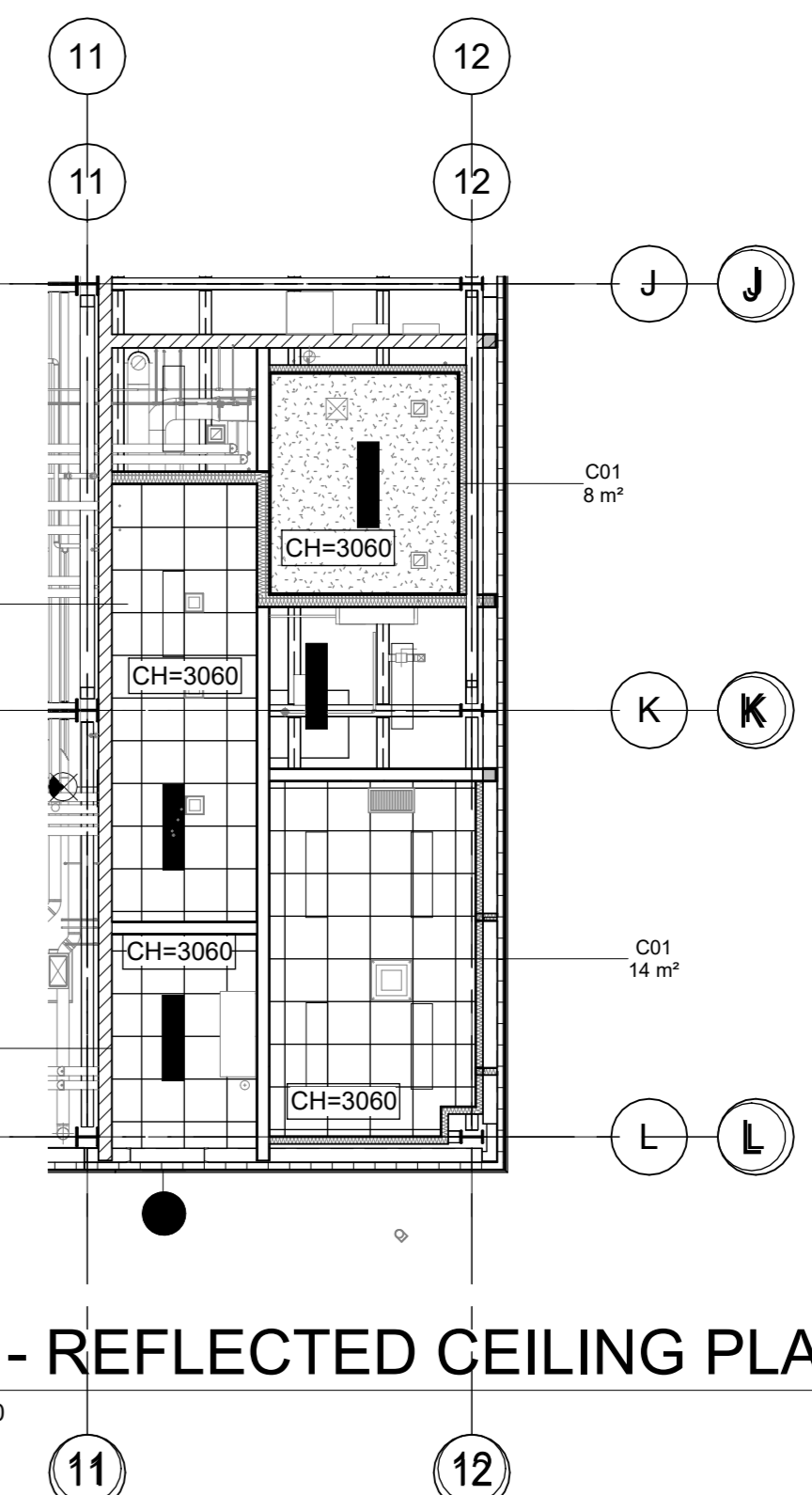


KEY PLAN



**RCP FINISH LEGEND**

	600x600MM ACOUSTIC CEILING TILE IN T-BAR SYSTEM
	GB - 1: SUSPENDED CEILING ONE LAYER OF 16MM TYPE X GYPSUM BOARD ON MISC. METAL FRAMING



**1 | NEW BUILDING - GROUND FLOOR PLAN d**

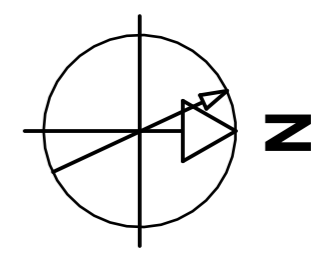
A-101d | REF: A-101 | SCALE: 1 : 100

**3 | GROUND LEVEL - REFLECTED CEILING PLAN**

A-101d | REF: A-201 | SCALE: 1 : 100

File Number D07-12-25-0095  
Plan Number 19357

**KEY PLAN**



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6	ISSUED FOR SPC	2025/06/18
4	ISSUED FOR 96% CONTRACT DOCUMENTATION	2025/04/15 H.Q.

DESIGNED BY / CONQUIR PAR	CHECKED BY / VERIFIE PAR
H.Q.R.	N.D.

DRAWN BY / DESINE PAR	SCALE / ECHELLE
H.Q.R.	As indicated

DETAIL NUMBER	DRAWING TITLE
1	1
SHEET NUMBER	

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
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CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL
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PROJECT / LOCATION / PROJET / ENDROIT

**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

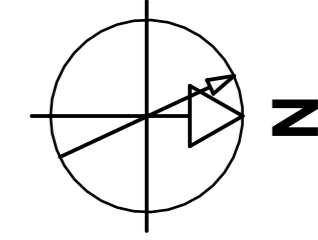
DRAWING / DESSIN  
**NEW BUILDING\_PARTIAL GROUND FLOOR PLAN**

BUSINESS ENTITY / NUMERO DE L'ENTITE  
BUILDRING NUMBER / NUMERO DU BATIMENT

OMF1

CITY PROJECT NO. / NUMERO DE PROJET  
CONS. PROJECT NO. / NUMERO DE PROJET  
**60716350**

SHEET NO. / FEUILLE NO.  
**A-101d**



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NUMBER	DATE (Y/M/D) (AMM)	INITIALS
DESIGNED BY / CONQUÉRIR	CHECKED BY / VÉRIFIER PAR	
H.Q.R.	N.D.	

DRAWN BY / DESINER PAR	SCALE / ÉCHELLE
H.Q.R.	1 : 200

DETAIL NUMBER	DRAWING TITLE
1	A1.1
SHEET NUMBER	

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ARCHITECT / ARCHITECTE CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN

**NEW BUILDING\_ SERVICE FLOOR PLAN**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ BUILDING NUMBER / NUMÉRO DU BÂTIMENT

OMF1

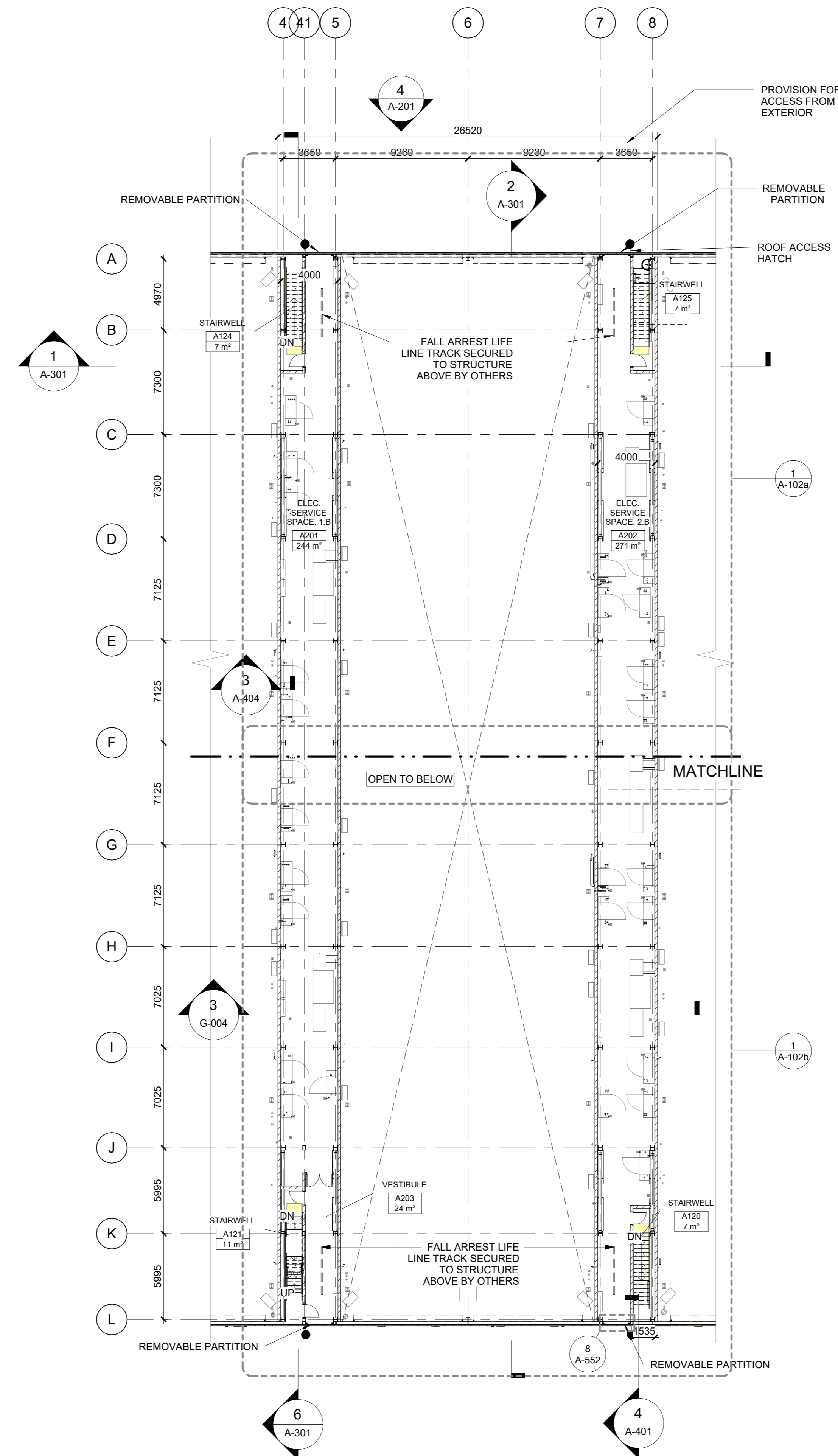
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CONS. PROJECT NO. / NUMÉRO DE PROJET

60716350

SHEET NO. / FEUILLE NO.

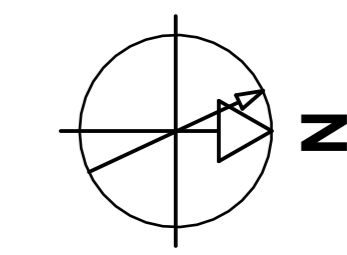
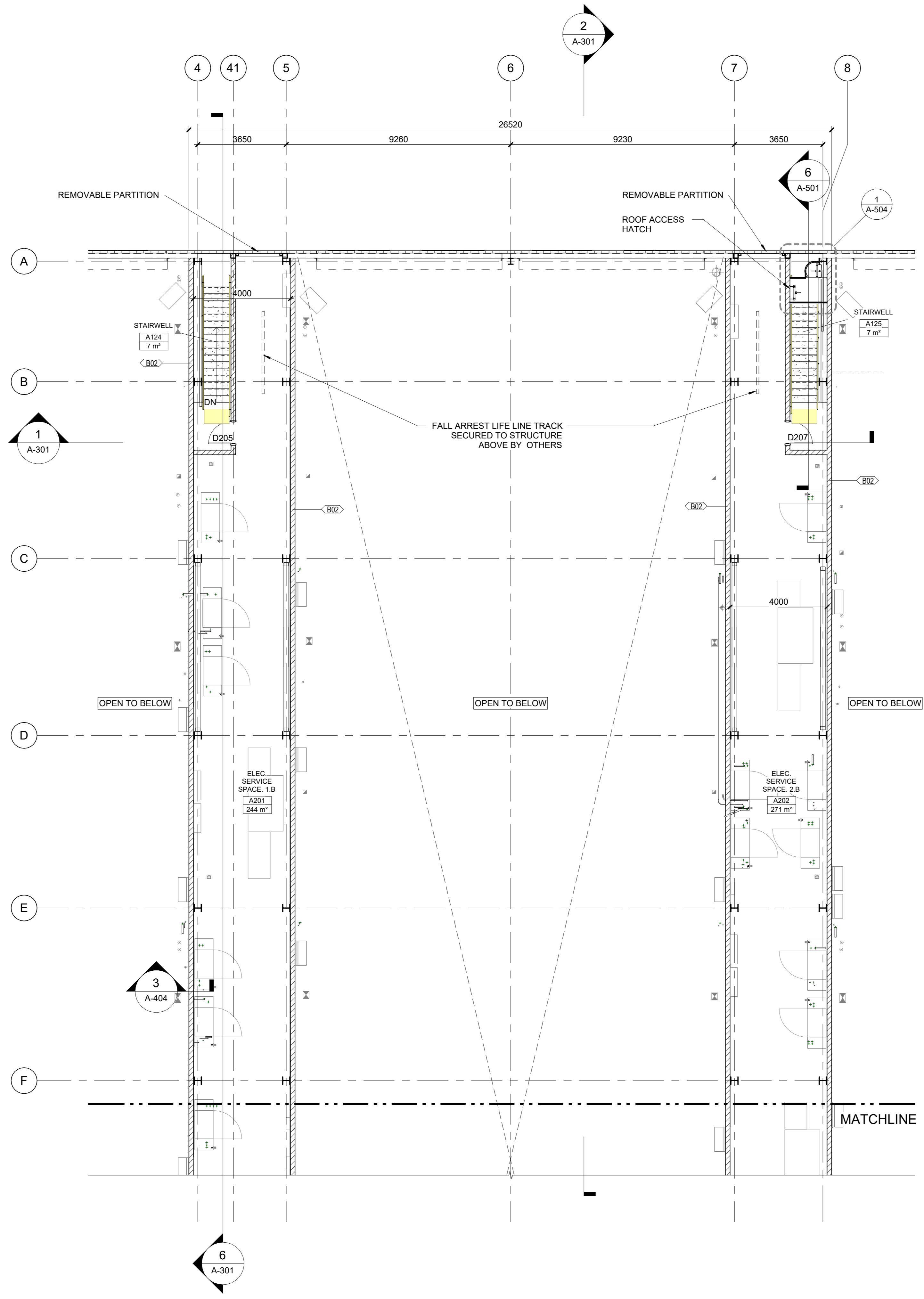
**A-102**



**1 | NEW BUILDING - ELECTRICAL SERVICE SPACE PLAN**

A-102 REF: A-301 SCALE: 1 : 200

File Number D07-12-25-0095  
Plan Number 19357



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Avec la seule exception des bornes marquées spécifiquement décrites pour ce projet, aucune élévation indiquée ou supposée sur ce plan n'est à être utilisée comme référence d'élévation pour aucun but.

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4	ISSUED FOR 86% CONTRACT DOCUMENTATION	2025/04/15	H.Q.

NUMBER / NUMERO	MILESTONE/FAIT SAILLANT	DATE: (Y/M/D) (AMM)	INITIALES

DESIGNED BY / CONÇU PAR H.Q.R.	CHECKED BY / VÉRIFIÉ PAR N.D.
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DRAWN BY / DÉSSINÉ PAR H.Q.R.	SCALE / ÉCHELLE As indicated
----------------------------------	---------------------------------

DETAIL NUMBER <b>1</b>	DRAWING TITLE
SHEET NUMBER	

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

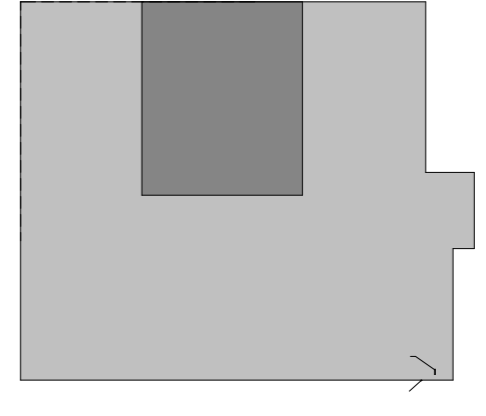
DRAWING / DESSIN  
**NEW BUILDING\_PARTIAL SERVICE FLOOR PLAN**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ / BUILDING NUMBER / NUMÉRO DU BÂTIMENT <b>OMF1</b>	SHEET NO. / FEUILLE NO. <b>A-102a</b>
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CITY PROJECT NO. / NUMÉRO DE PROJET <b>60716350</b>	CONS. PROJECT NO. / NUMÉRO DE PROJET <b>60716350</b>
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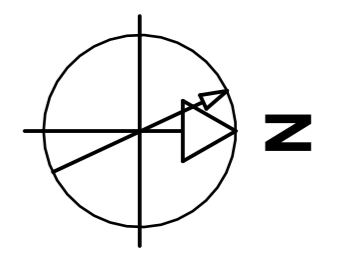
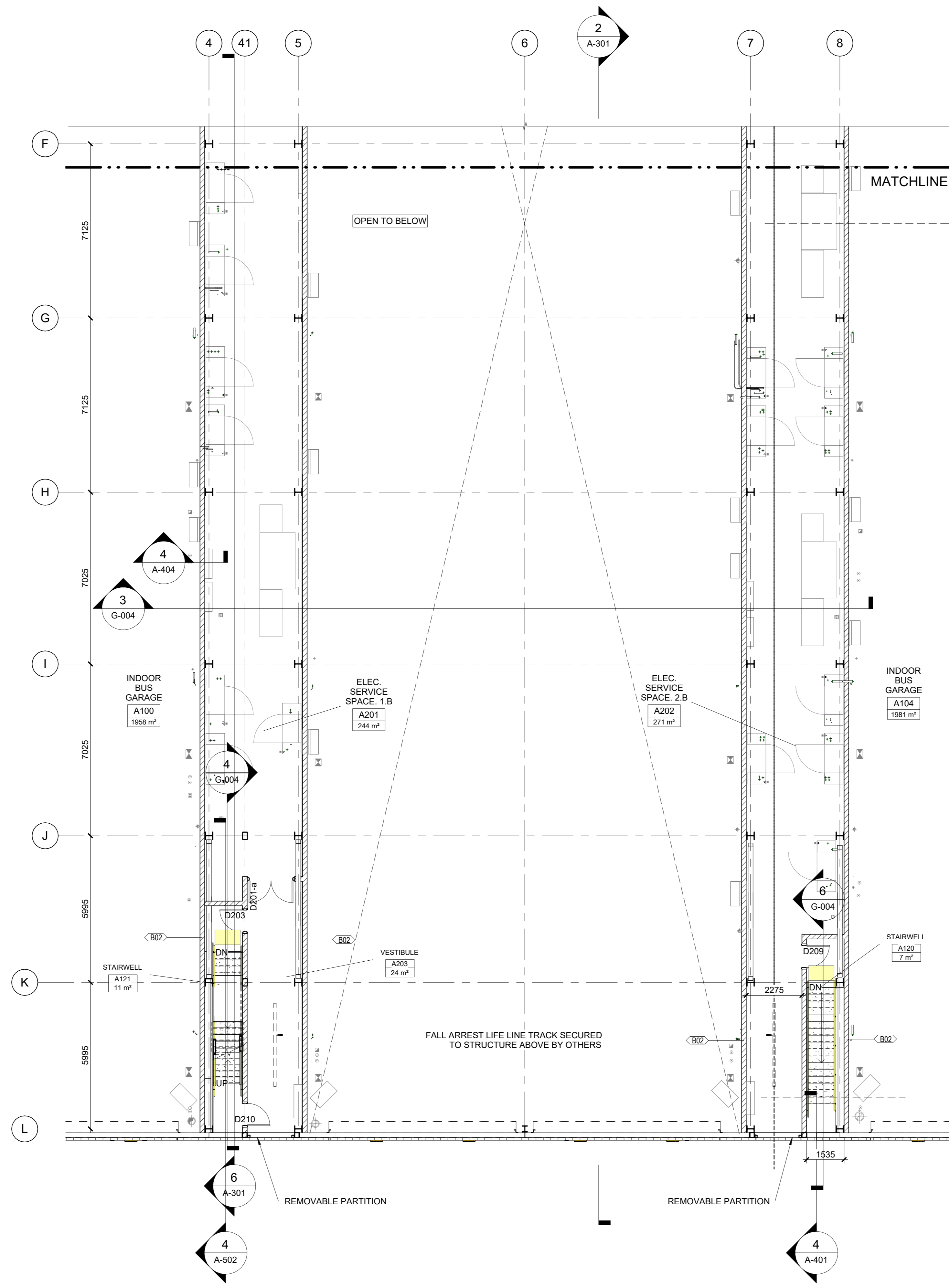
**1 | NEW BUILDING - ELECTRICAL SERVICE SPACE PLAN a**

A-102a REF: A-102 SCALE: 1 : 100



KEY PLAN

File Number D07-12-25-0095  
Plan Number 19357



NOTE:  
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9	ISSUED FOR 100% CONTRACT DOCUMENTATION/PRE-TENDER	2025/11/14	
8	ISSUED FOR BUILDING PERMIT	2025/08/19	
7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15	
6	ISSUED FOR SPC	2025/06/18	
4	ISSUED FOR 86% CONTRACT DOCUMENTATION	2025/04/15	H.Q.

NUMBER / NUMERO	DATE: (Y/M/D) / (A/M/J)	INITIALS / INITIALES
DESIGNED BY / CONÇU PAR		CHECKED BY / VÉRIFIÉ PAR
H.Q.R.		N.D.
DRAWN BY / DÉSSINÉ PAR		SCALE / ÉCHELLE
H.Q.R.		As indicated

DETAIL NUMBER	SCALE	SHEET NUMBER
1	A1.1	

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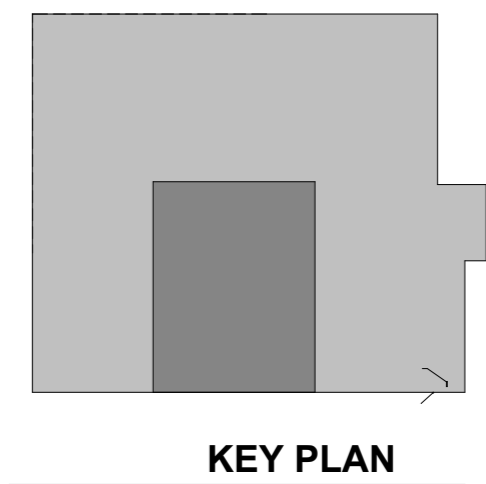
ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT	<b>OCT ZEB-New Garage</b>
1500 St. Laurent Blvd Ottawa, ON K1G 0Z8	
OTTAWA, ONTARIO	
DRAWING / DESSIN	<b>NEW BUILDING_PARTIAL SERVICE FLOOR PLAN</b>

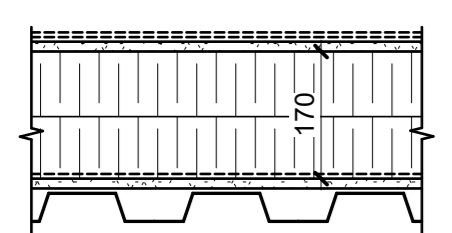
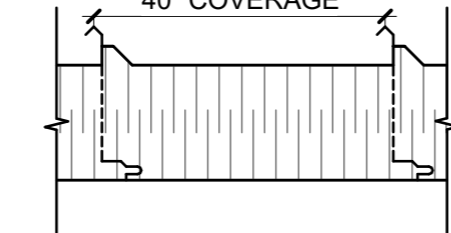
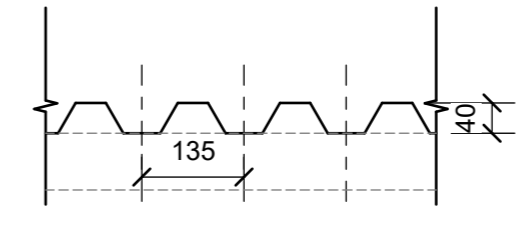
BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ	SHEET NO. / FEUILLE NO.
OMF1	
CITY PROJECT NO. / NUMÉRO DE PROJET	CONS. PROJECT NO. / NUMÉRO DE PROJET
	<b>60716350</b>

File Number D07-12-25-0095 Plan Number 19357	<b>A-102b</b>
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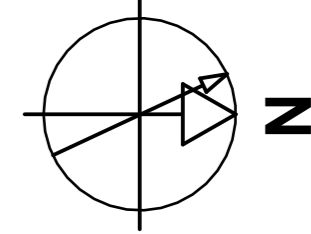
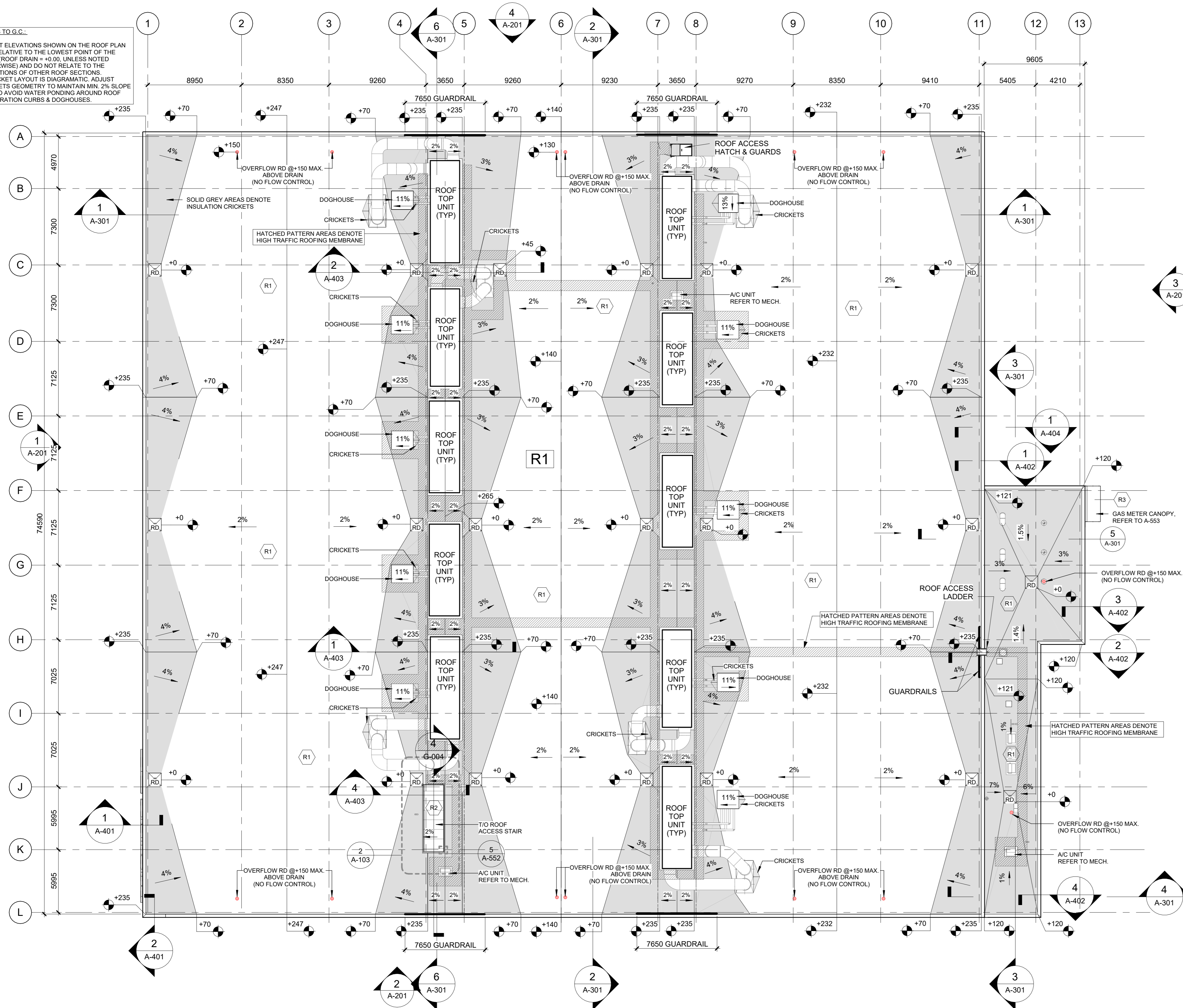
**1 | NEW BUILDING - ELECTRICAL SERVICE SPACE PLAN b**  
A-102b REF: A-102 SCALE: 1 : 100



KEY PLAN

TYPE	CONVENTIONAL ROOF ASSEMBLY	R-VALUE	COMMENTS	TYPE	INSULATED METAL ROOF PANEL	R-VALUE	COMMENTS	TYPE	CORRUGATED METAL ROOF PANEL	R-VALUE	COMMENTS
R1		R35	(2) PLY SBS MODIFIED BITUMEN ROOFING MEMBRANE - 6mm INSULATION PROTECTION BOARD - SLOPED POLYISOCYANURATE INSULATION CRICKETS TO ROOF DRAIN - (2) LAYERS OF 84mm POLYISOCYANURATE (168 mm TOTAL) STAGGERED ROOF INSULATION (R35 MIN.) - AIR/VAPOUR BARRIER MEMBRANE - 13 mm DECK SHEATHING BOARD - STEEL DECK ON STRUCTURAL FRAMING, SEE STRUCTURAL	R2		R35	INSULATED ROOF PANEL WITH STANDING SEAM: - EXTERIOR METAL LAYER (TRAPEZOIDAL RIBS) - 152mm POLYISOCYANURATE CORE - INTERIOR METAL LAYER (SMOOTH FINISH)	R3		N/A	APPLICABLE AT GAS METER CANOPY

NOTES TO G.C.  
 1. SPOT ELEVATIONS SHOWN ON THE ROOF PLAN ARE RELATIVE TO THE LOWEST POINT OF THE ROOF (ROOF DRAIN = +0.00, UNLESS NOTED OTHERWISE) AND DO NOT RELATE TO THE ELEVATIONS OF OTHER ROOF SECTIONS.  
 2. CRICKET LAYOUT IS DIAGRAMATIC. ADJUST CRICKETS GEOMETRY TO MAINTAIN MIN. 2% SLOPE AND TO AVOID WATER PONDING AROUND ROOF PENETRATION CURBS & DOGHOUSES.



**1 ROOF PLAN**  
 A-103 REF: A-301 SCALE: 1:200

**2 ENLARGED PLAN OF ROOF ACCESS STAIR**  
 A-103 REF: A-103 SCALE: 1:50

File Number D07-12-25-0095  
 Plan Number 19357

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7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15
6	ISSUED FOR SPC	2025/06/18
4	ISSUED FOR 96% CONTRACT DOCUMENTATION	2025/04/15

DESIGNED BY / CONQUIR PAR	CHECKED BY / VERIFIE PAR
H.Q.R.	N.D.
DRAWN BY / DESINE PAR	SCALE / ECHELLE
M.G.	As indicated
DETAIL NUMBER	
<b>1</b>	<b>DRAWING TITLE</b>
A1.1	SCALE
	SHEET NUMBER

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

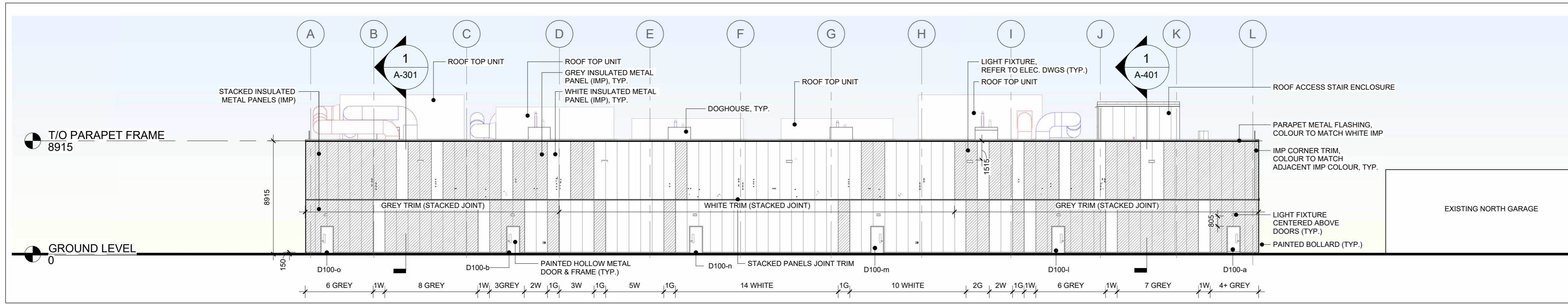
PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
 Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

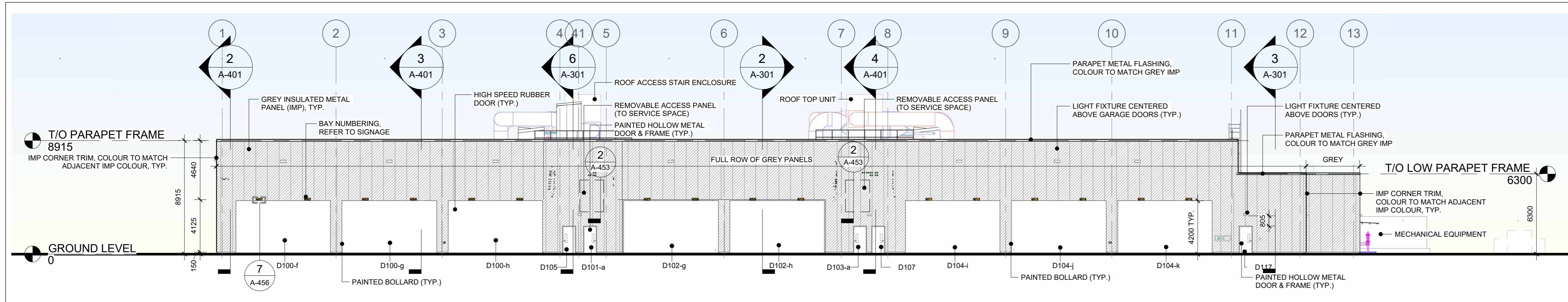
DRAWING / DESSIN  
**NEW BUILDING ROOF PLAN**

BUSINESS ENTITY / NUMERO DE L'ENTITE	SHEET NO. / FEUILLE NO.
OMF1	<b>A-103</b>
CITY PROJECT NO. / NUMERO DE PROJET	CONS. PROJECT NO. / NUMERO DE PROJET
	<b>60716350</b>



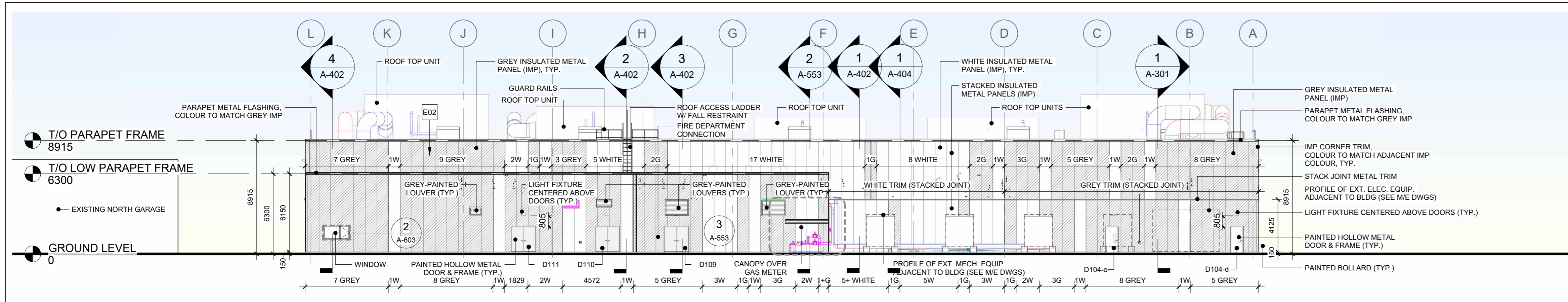
### 1 SOUTH ELEVATION

A-201 REF: A-101 SCALE: 1 : 200



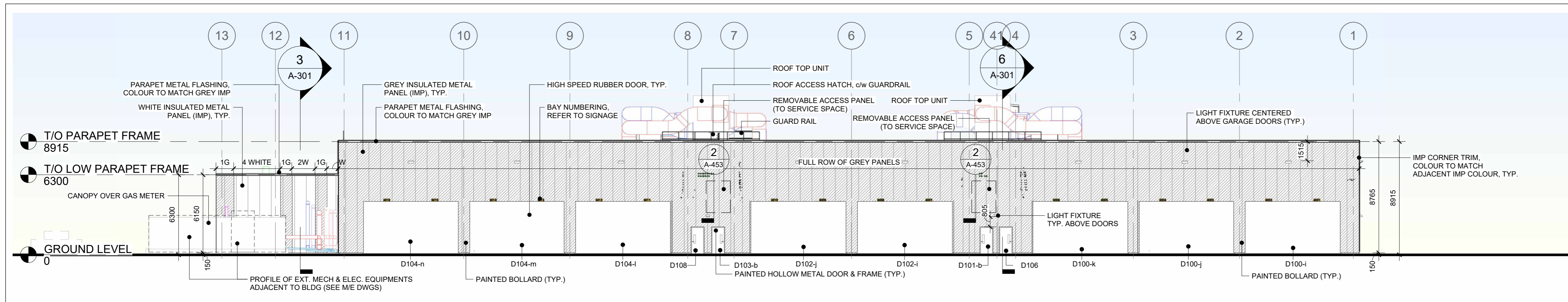
### 2 EAST ELEVATION

A-201 REF: A-101 SCALE: 1 : 200



### 3 NORTH ELEVATION

A-201 REF: A-101 SCALE: 1 : 200



### 4 WEST ELEVATION

A-201 REF: A-101 SCALE: 1 : 200

**LEGEND:**

- [Pattern] WHITE INSULATED METAL PANEL (COLOUR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR CHART)
- [Pattern] GREY INSULATED METAL PANEL (COLOUR TO BE SELECTED FROM MANUFACTURER'S STANDARD COLOUR CHART)
- [Pattern] LOUVER: GREY COLOUR (RAL COLOUR REFERENCE TO MATCH GREY OF INSULATED METAL PANEL, U.N.O.)



SERVICES D'INFRASTRUCTURE  
 CLIENT - Département  
**Infrastructure and Water Services Department**  
 Design & Construction



**PRIME:**  
 AECOM Canada Architects Ltd.  
 1150 Morrison Drive, Suite 302  
 Ottawa, Ontario, K2H 8S8



**SUBCONSULTANT:**  
 GRC ARCHITECTS INC.  
 47 Clarence Street, Suite 401  
 Ottawa, Ontario, K1N 9K1

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7	ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15	
6	ISSUED FOR SPC DOCUMENTATION	2025/06/18	
4	ISSUED FOR 96% CONTRACT DOCUMENTATION	2025/04/15	S.N.

NUMBER	MILESTONE/ACT SAILLANT	DATE: (Y/M/D) (AMM)	INITIALES
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DESIGNED BY / CONQUIR	CHECKED BY / VERIFIE PAR
H.Q.R.	N.D.
DRAWN BY / DESINE PAR	SCALE / ECHELLE
S.N.	As indicated

DETAIL NUMBER  
**1**  
 SCALE  
**A1.1**  
 SHEET NUMBER

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**

1500 St. Laurent Blvd  
 Ottawa, ON K1G 0Z8

OTTAWA, ONTARIO

DRAWING / DESSIN  
**BUILDING ELEVATIONS**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ  
**OMF1**

CITY PROJECT NO. / NUMÉRO DE PROJET	CONS. PROJECT NO. / NUMÉRO DE PROJET	SHEET NO. / FEUILLE NO.
		<b>A-201</b>

File Number D07-12-25-0095  
 Plan Number 19357





VIEW OF THE BUILDING APPROACHING SOUTH-EAST CORNER



VIEW OF THE BUILDING APPROACHING NORTH-WEST CORNER

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NUMBER / MILESTONE / FAIT SALLANT / NUMERO	DATE: (Y/M/D) / (A/M/J) / INITIALS
9 ISSUED FOR 100% CONTRACT DOCUMENTATION / PERMITS / TENDER	2025/11/14
8 ISSUED FOR BUILDING PERMIT DOCUMENTATION	2025/08/19
7 ISSUED FOR 99% CONTRACT DOCUMENTATION	2025/08/15
4 ISSUED FOR 66% CONTRACT DOCUMENTATION	2025/04/15
3 ISSUED FOR 100% DESIGN DEVELOPMENT / 33% CONTRACT DOCUMENTATION	2025/01/09

DESIGNED BY / CONÇU PAR H.Q.R.	CHECKED BY / VÉRIFIÉ PAR N.D.
DRAWN BY / DÉSSINÉ PAR M.G.	SCALE / ÉCHELLE

DETAIL NUMBER <b>1</b>	DRAWING TITLE
SHEET NUMBER <b>A1.1</b>	SCALE

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT  
**OCT ZEB-New Garage**  
1500 St. Laurent Blvd  
Ottawa, ON K1G 0Z8  
OTTAWA, ONTARIO

DRAWING / DESSIN  
**EXTERIOR 3D VIEWS**

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ / BUILDING NUMBER / NUMÉRO DU BÂTIMENT <b>OMF1</b>	SHEET NO. / FEUILLE NO. <b>A-900</b>
CITY PROJECT NO. / NUMÉRO DE PROJET	CONS. PROJECT NO. / NUMÉRO DE PROJET

File Number D07-12-25-0095  
Plan Number 19357