

MATTAMY HOMES HALF MOON BAY SOUTH PHASE 7



ISSUED FOR FOURTH SUBMISSION SPA
JANUARY 19, 2026

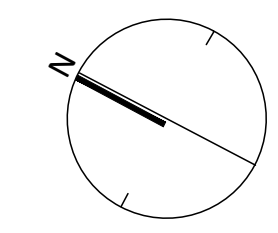
LIST OF DRAWINGS:

- L1.0 - LANDSCAPE PLAN
- L2.0 - DETAILS

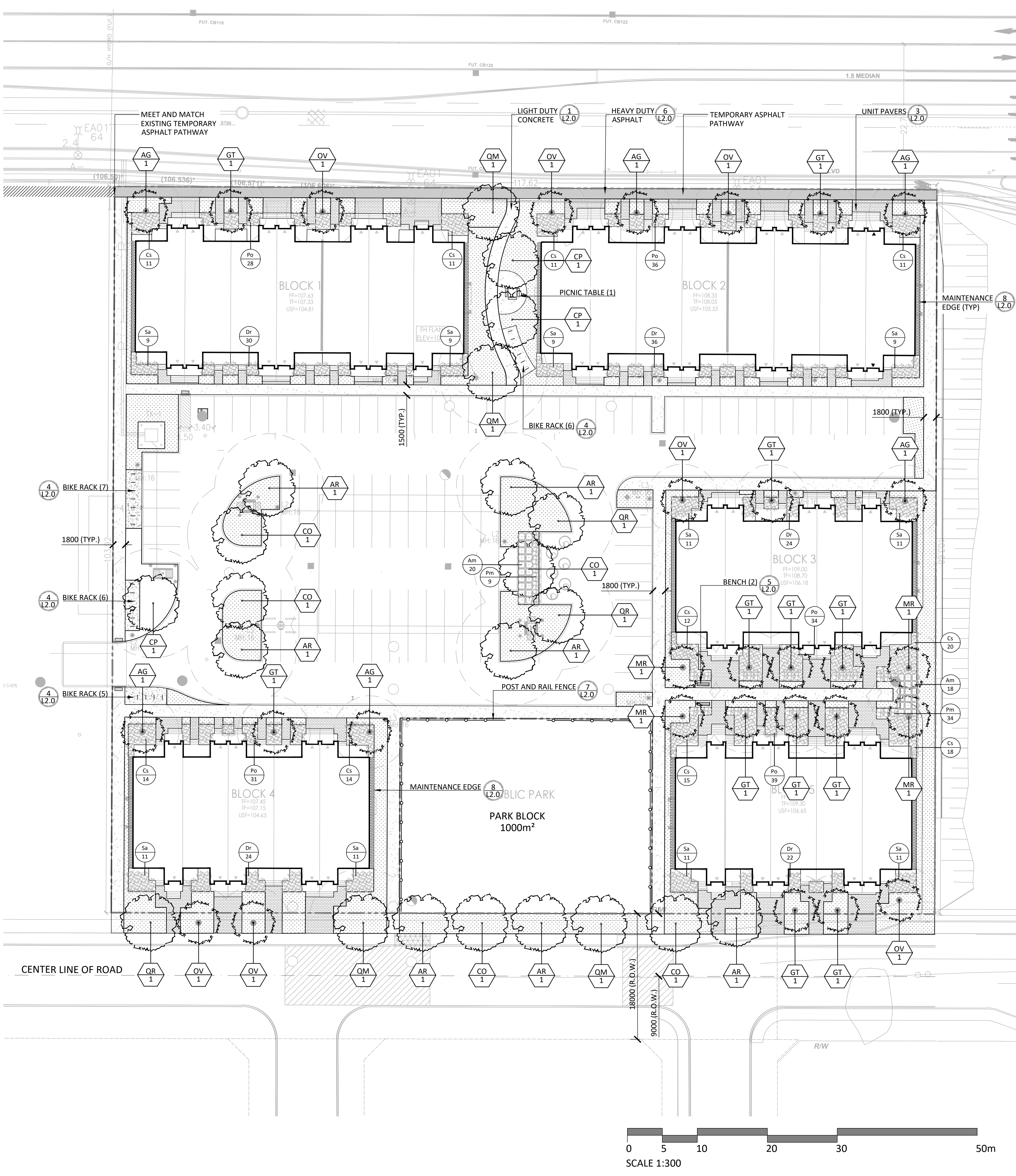
G. Wildman

GERALDINE WILDMAN
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By wildmange at 4:43 pm, Mar 13, 2026



KEYMAP
1:400



GENERAL NOTES:

1. ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
2. TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
3. CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CONTRACTOR.
4. ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
5. CONTRACTOR TO VERIFY LOCATION OF ALL SERVICES PRIOR TO ANY EXCAVATION.
6. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE AND ONLY AFTER APPROVAL OF THE LANDSCAPE ARCHITECT.

G. Wildman

GERALDINE WILDMAN
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By wildmange at 4:44 pm, Mar 13, 2026

NOTES:
 THE LANDSCAPE PLAN WAS PREPARED IN CONJUNCTION WITH THE GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP:
 • PG5690-1 REVISION 1 DATED JULY 15 2021

ALL EXISTING SITE INFORMATION AS PER SITE SURVEY PLAN DATED 12/7/2022 AND PREPARED BY J.D. BARNES LTD.

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	TYPE	NATIVE	OWNER
LARGE DECIDUOUS TREES							
AR	ACER RUBRUM	RED MAPLES	7	50mm CAL	B&B	Y	PRIVATE/PUBLIC
CO	CELTIS OCCIDENTALIS	HACKBERRY	5	50mm CAL	B&B	Y	PRIVATE/PUBLIC
CP	CATALPA SPECIOSA	NORTHERN CATALPA	3	50mm CAL	B&B	Y	PRIVATE
QM	QUERCUS MACROCARPA	BURR OAK	4	50mm CAL	B&B	Y	PRIVATE/PUBLIC
QR	QUERCUS RUBRA	RED OAK	3	50mm CAL	B&B	Y	PRIVATE
MEDIUM DECIDUOUS TREES							
AG	AESULUS GLABRA	OHIO BUCKEYE	6	50mm CAL	B&B	N	PRIVATE/PUBLIC
GT	GLEDTISIA TRIACANTHOS 'INERMIS'	HONEY LOCUST	12	50mm CAL	B&B	Y	PRIVATE/PUBLIC
MR	MORUS RUBRA	RED MULBERRY	4	50mm CAL	B&B	Y	PRIVATE
OV	OSTRYA VIRGINIANA	IRONWOOD	7	50mm CAL	B&B	Y	PRIVATE/PUBLIC
DECIDUOUS SHRUBS							
Am	ARONIA MELANOCARPA	BLACK CHOKEBERRY	38	3 GAL.	POT	Y	PRIVATE
Cs	CORNUS SANQUINEA 'ARCTIC SUN'	YELLOW DOGWOOD	137	3 GAL.	POT	Y	PRIVATE
Dr	DIERVILLA LONICERA	BUSH HONEYSUCKLE	136	3 GAL.	POT	Y	PRIVATE
Po	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	168	3 GAL.	POT	N	PRIVATE
Sa	SYMPHORICARPOS ALBUS	SNOWBERRY	102	3 GAL.	POT	Y	PRIVATE
Pm	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	43	3 GAL.	POT	N	PRIVATE

SOIL VOLUME PROJECTIONS (NTS)	SINGLE	MULTIPLE	CLAY SOILS	TREE SOIL VOLUMES*			
				TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (m³/TREE)	SOIL VOLUME FOR MARINE CLAY AREAS (SINGLE TREE)
SMALL				ORNAMENTAL	15	9	
MEDIUM/CONIFER				COLUMNAR	15	9	
LARGE				SMALL	20	12	25
				MEDIUM	25	15	30
				LARGE	30	18	
				CONIFER	25	15	

*SOIL VOLUME CALCULATION BASED ON 1.0m DEPTH

CANOPY PROJECTIONS (NTS)	PROPOSED TREE CANOPY PROJECTIONS			SITE CANOPY COVER
	TREE TYPE/SIZE	CROWN AREA PER TREE STANDARD RANGE (m²)	CROWN AREA PER TREE USED FOR CALC. (m²)	
LARGE		135-250*	192	CANOPY (w. OVERLAP): 3753.41m²
MEDIUM		35-135*	85	
SMALL		5-35*	20	
CONIFER		45-96*	70	

RANGE OF CROWN AREAS IS IN ACCORDANCE WITH PROPOSED TREES SPECIES

*CROWN AREAS ARE ACCORDING TO THE AVERAGE MATURE CANOPY SIZE OF THE RESPECTIVE SPECIES. CANOPY SIZING HAS BEEN DETERMINED IN REFERENCE TO VARIOUS ARBORICULTURAL AND BOTANICAL SOURCES, SUCH AS: ONTARIO MINISTRY OF NATURAL RESOURCES & FORESTRY (OMNRF); US FOREST SERVICE; FARRAR, J.L. TREES IN CANADA. UNIVERSITY OF GUELPH ARBORETUM, VARIOUS PUBLICATIONS

SITE: 11,211.49m²
 TOTAL PERCENT COVER: 33.49%

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LEGEND

PROPERTY LINE
 CANOPY PROJECTION

PLANTING

LARGE DECIDUOUS TREE
 MEDIUM DECIDUOUS TREE
 DECIDUOUS SHRUB
 CONIFEROUS SHRUB
 SODDING

PAVING

HEAVY DUTY ASPHALT PAVING
 CIP CONCRETE PAVING
 UNIT PAVING

PLANTING KEY

TREE SPECIES QUANTITY
 SHRUB SPECIES QUANTITY

DETAIL KEY

DETAIL NO.
 SHEET NO.

Revision	Description	Date
9	Issued for 4th Submission SPA	Jan. 19/25
8	Issued for Coordination	Dec. 19/25
7	Revised for SPA	Nov. 12/25
6	Revised for SPA	Oct. 16/25
5	Issued for SPA	Sept. 12/25
4	Issued for Coordination	Aug. 13/25
3	Issued for SPA	May 9/25
2	Issued for Coordination	May 7/25
1	Issued for Coordination	Apr. 30/25

OWNERSHIP
 MULTIFAMILY HOMES
 50 Hines Rd., Suite 100, Ottawa ON K2K 2M5
 ON, K2H1P5

ARCHITECT
 PATERSON GROUP
 277 Lakeshore Rd., #206, Oakville ON L6J 1H9

CIVIL
 STANTEC
 300-1331 Clyde Ave., Ottawa ON K2C 2G4

LANDSCAPE ARCHITECT
 NAK DESIGN STRATEGIES
 1285 Wellington St., Ottawa ON K1Y 3A8

ELECTRICAL
 IRL
 5430 Canotek Rd., Ottawa ON K1J 9G2

TRANSPORTATION
 NOVATEL
 240 Michael Cowland Dr., Suite 200, Ottawa, ON, K2H1P5

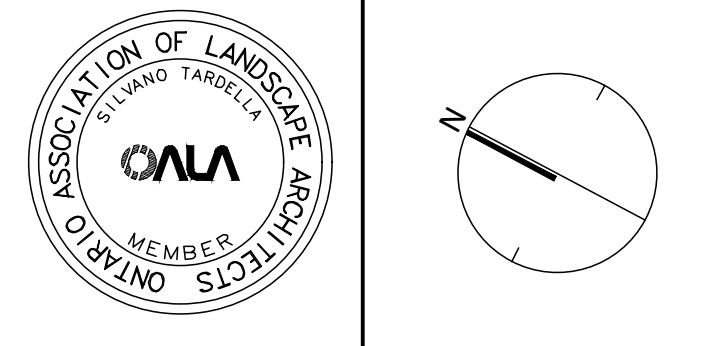
NOISE
 GRADIENT WIND
 127 Walkers Rd., Carp ON K0A 1L0

SURVEY
 J.D. Barnes
 42 Beaver Dr., Unit 103, Kanata ON K2K 2A9

GEOTECH
 PATERSON GROUP
 9 Auriga Drive, Ottawa ON K2E 779

PLANNING
 POTEM
 420 O'Connor St., Ottawa, ON K2P 1B7

PROPERTY INFORMATION
 Plan of Subdivision of Block 403, and Part of Lot 8, Concession 3 (Bideau Front), Geographic Township of Nepean, City of Ottawa, Registered Plan 4M-1729

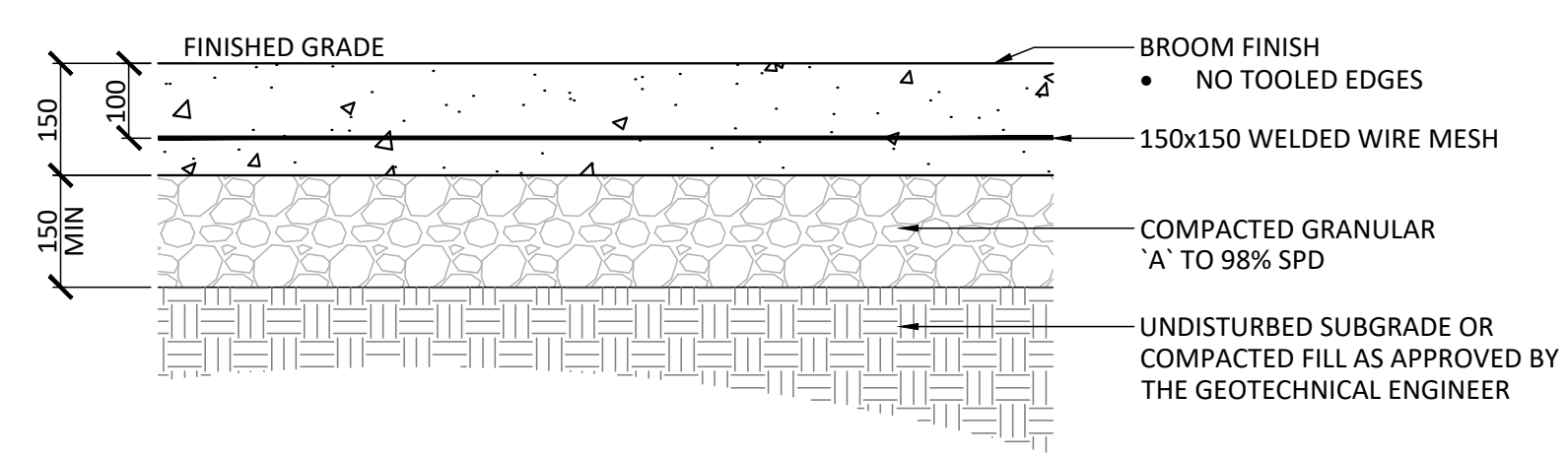


NAK design strategies

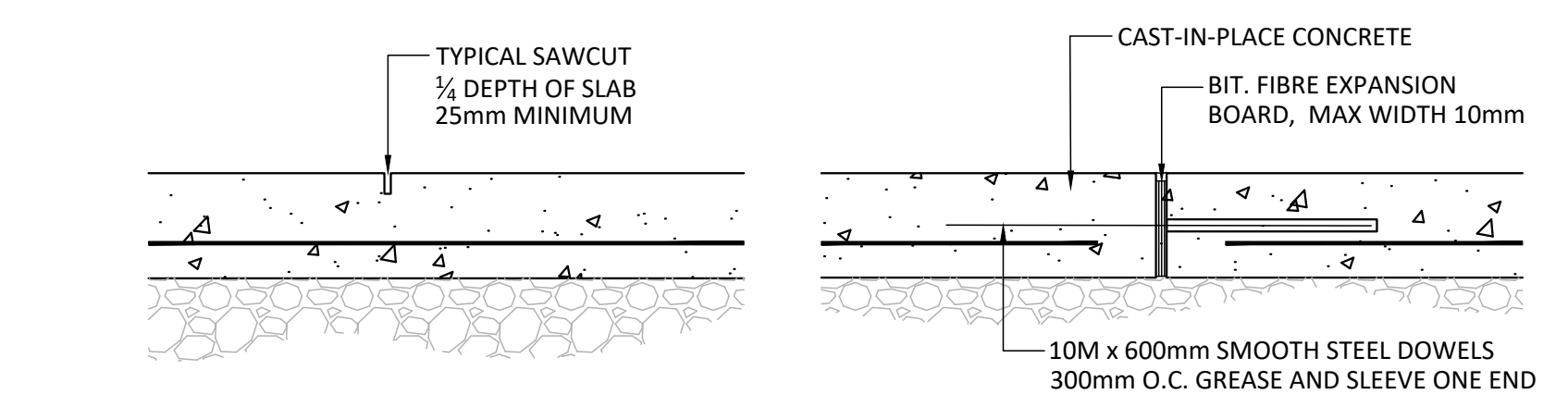
1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
 T 613.237.2345
 Project

HALF MOON BAY SOUTH PHASE 7
 4159 Obsidian Street, Ottawa ON K2J 6X6

CITY FILE # D02-02-25-0031
 CITY FILE # D07-12-25-0068



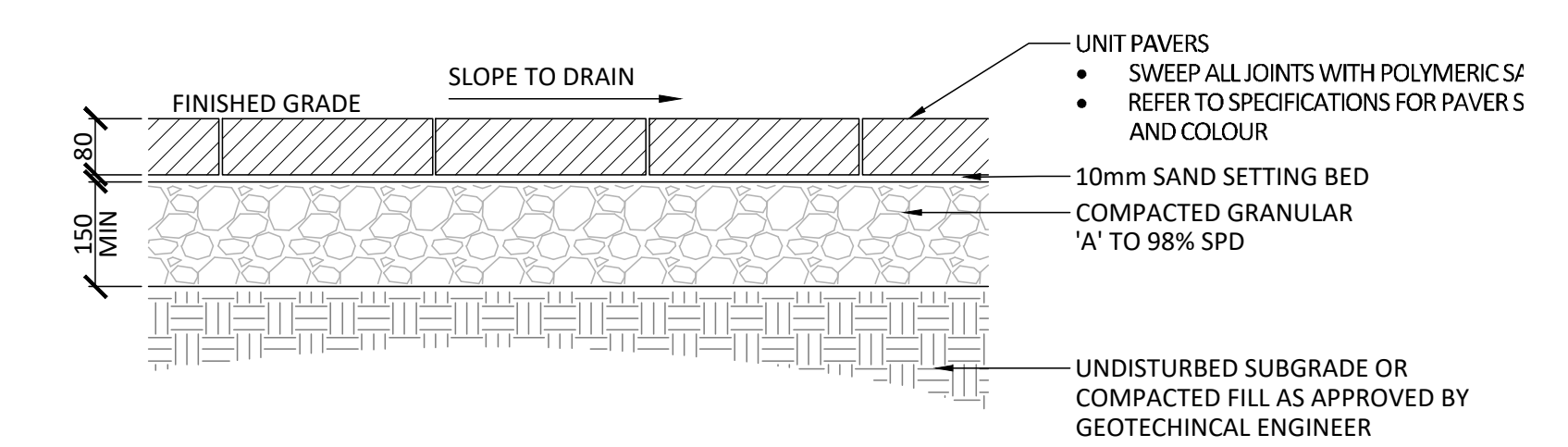
1 LIGHT DUTY CONCRETE
1:10



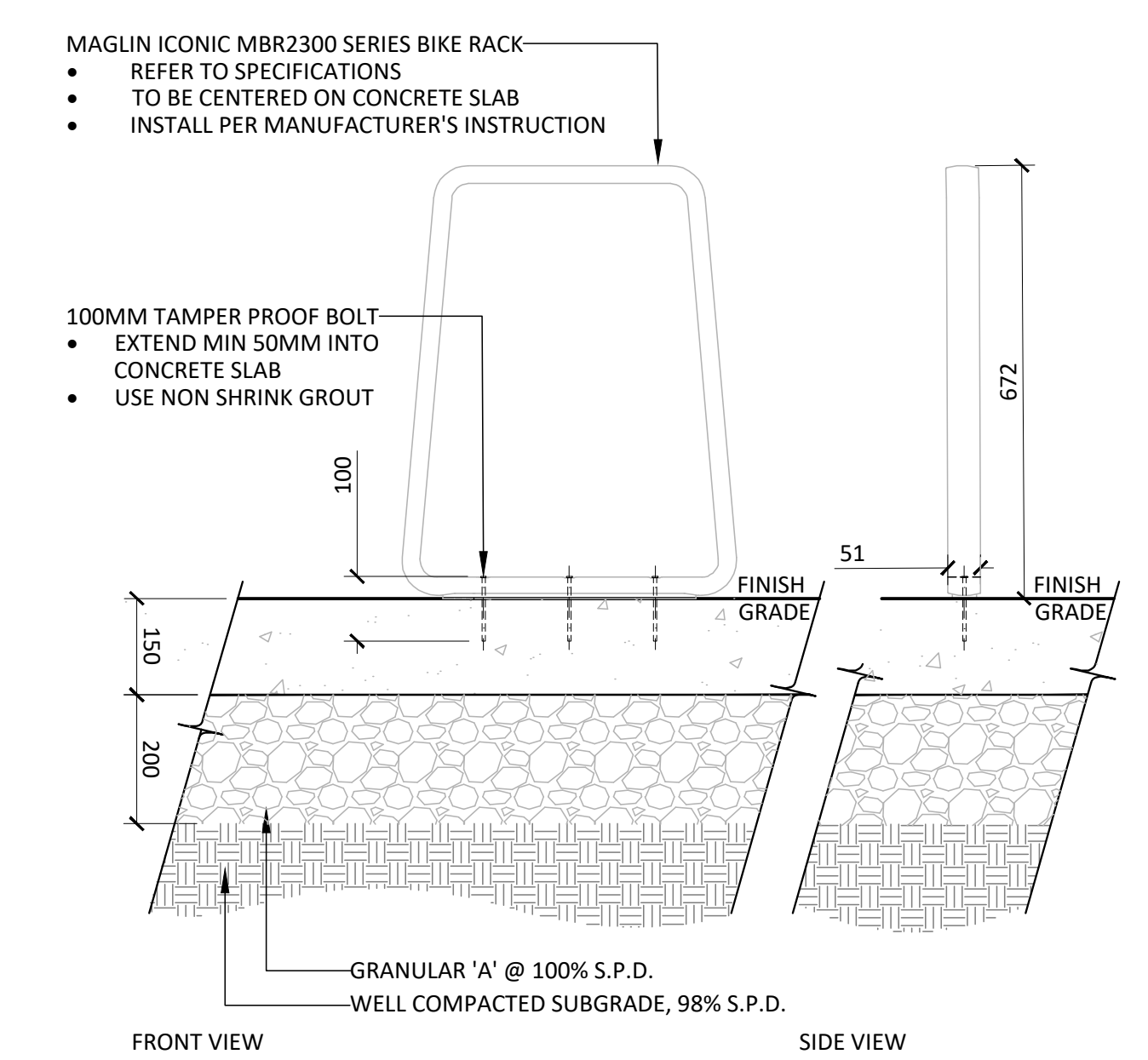
CONTROL JOINT (CJ)
NOTES:
1. REFER TO DRAWINGS FOR JOINT LAYOUT
2. SAWCUT WITHIN 48 HOURS OF POUR

EXPANSION JOINT (EJ)
NOTES:
1. REFER TO DRAWINGS FOR JOINT LAYOUT
2. NO CAULKED JOINTS

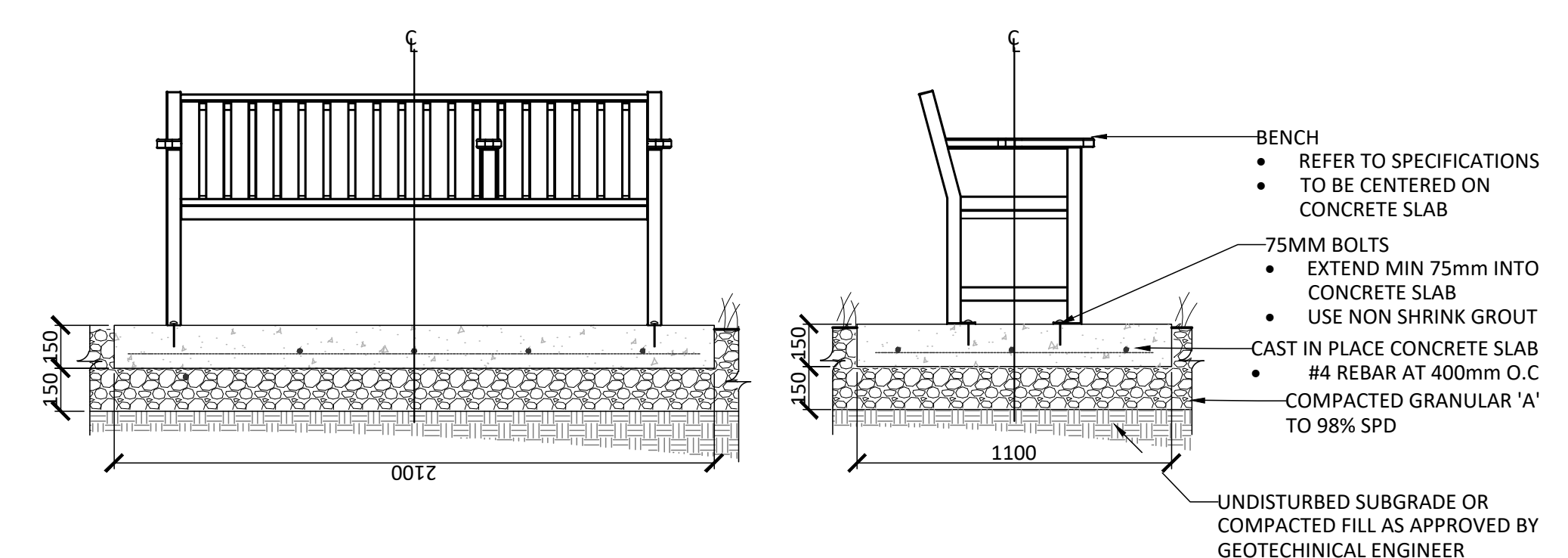
2 LIGHT DUTY CONCRETE - JOINTING
1:10



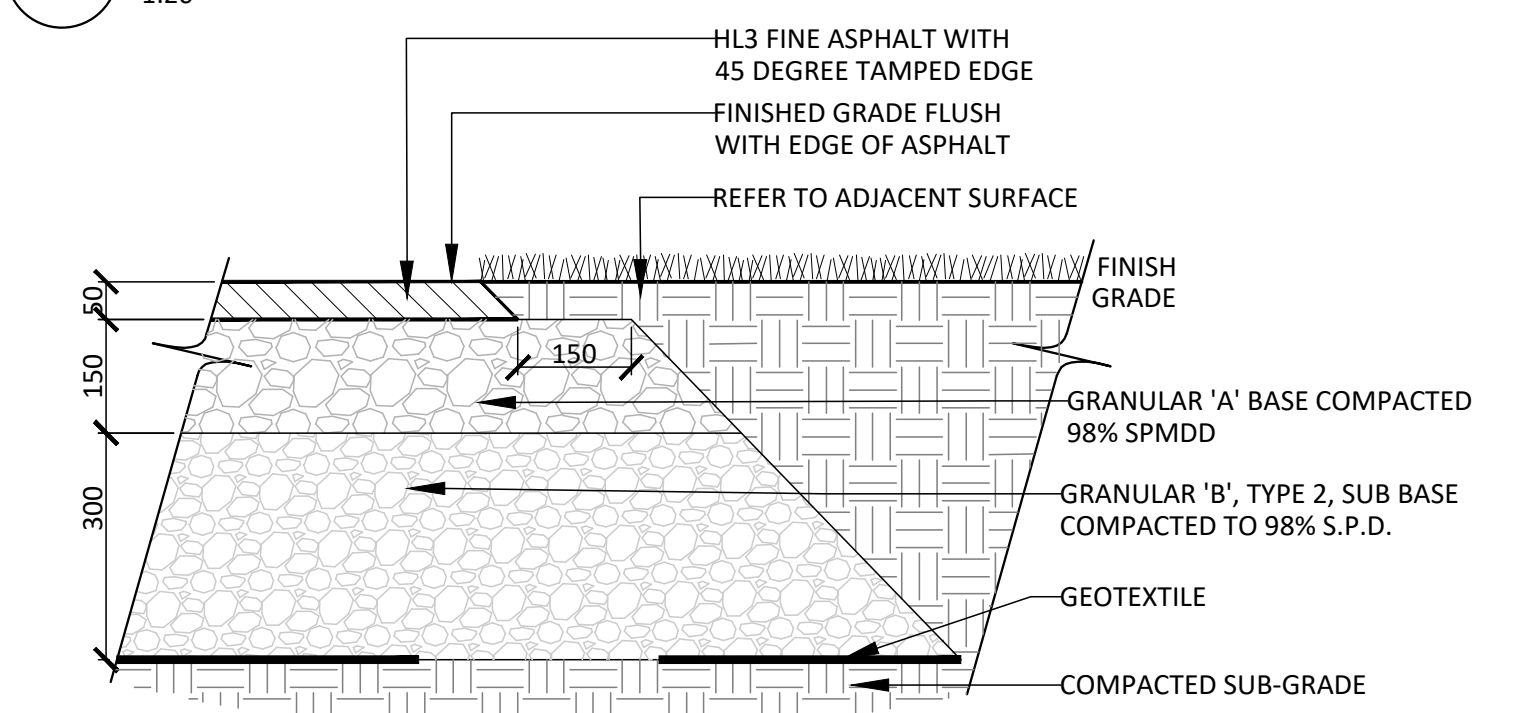
3 UNIT PAVERS
1:10



4 BIKE RACK ON CONCRETE PAD
1:10

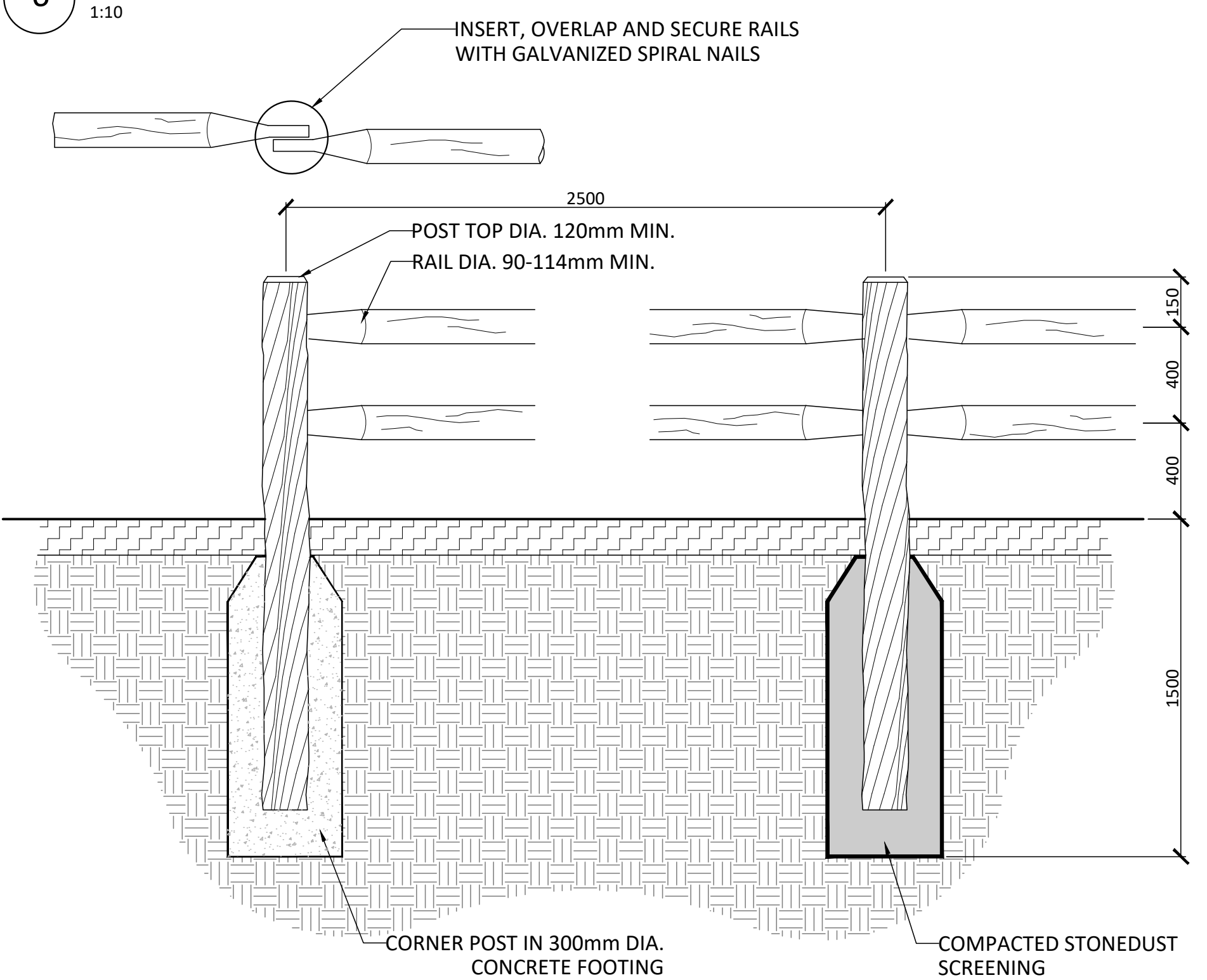


5 BENCH ON CONCRETE PAD
1:20



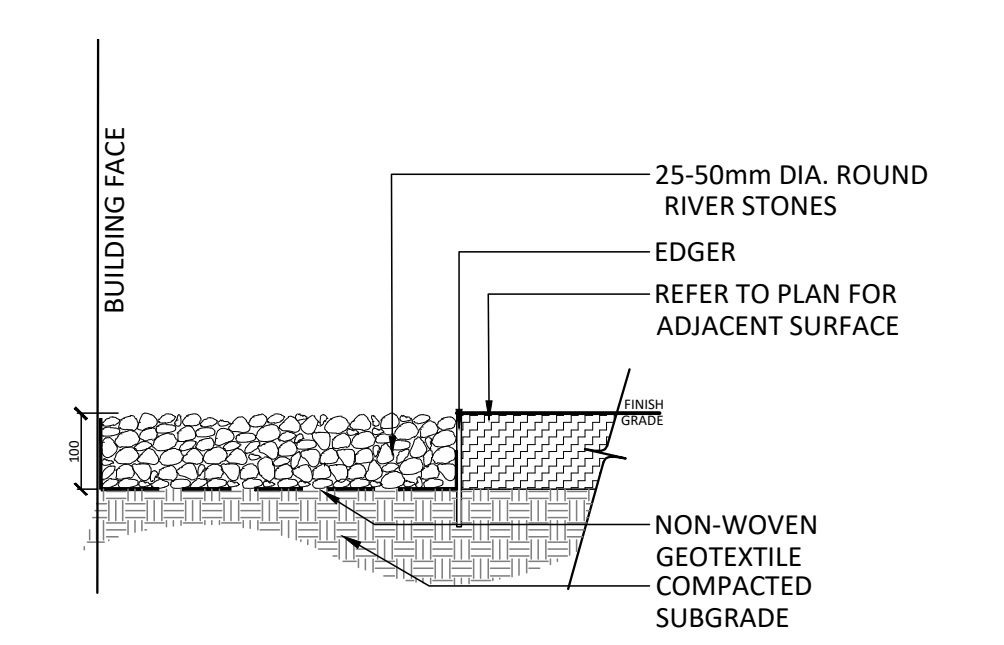
NOTES:
1. EXCAVATE TO 500mm MINIMUM DEPTH OR DEEPER, AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE SUBGRADE MATERIAL SUCH AS TOPSOIL, ALL SOFT SPOTS AND/OR ORGANIC MATTER AND REPLACEMENT WITH CLEAN SUBSOIL FILL. SUBGRADE SHALL BE CONSOLIDATED TO A 98% S.P.D. REMOVE EXCAVATED MATERIAL OFF SITE UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
2. GRANULAR 'A' - 100% STANDARD PROCTOR DENSITY MIN., GRANULAR B, TYPE 2, SUB BASE GRANULARS TO OPSS STANDARDS.
3. 50mm TOP SURFACE LAYER (AFTER COMPACTION) OF HOT MIX HL3 FINE IN ACCORDANCE WITH O.P.S.S. STANDARDS.
4. ASPHALT EDGE TO BE 45 DEGREES WELL TAMPED TO FORM UNIFORMLY SMOOTH, CLEAN EDGES WITHOUT LATERAL DEVIATIONS. SOD TO FEATHER IN WITH EXISTING SOD AND GRADES AT A MAXIMUM SLOPE OF 4:1.
5. SLOPE TO BE A MINIMUM OF 2% ON CROWNED OR CROSS SLOPED PATHS AS DIRECTED ON SITE OR AS SHOWN IN DRAWINGS.
6. ALL DISTURBED AREAS ALONG ASPHALT WALKWAYS SHALL BE SODDED OVER 150mm TOPSOIL FOR A MINIMUM DISTANCE OF 900mm.

6 HEAVY DUTY ASPHALT
1:10



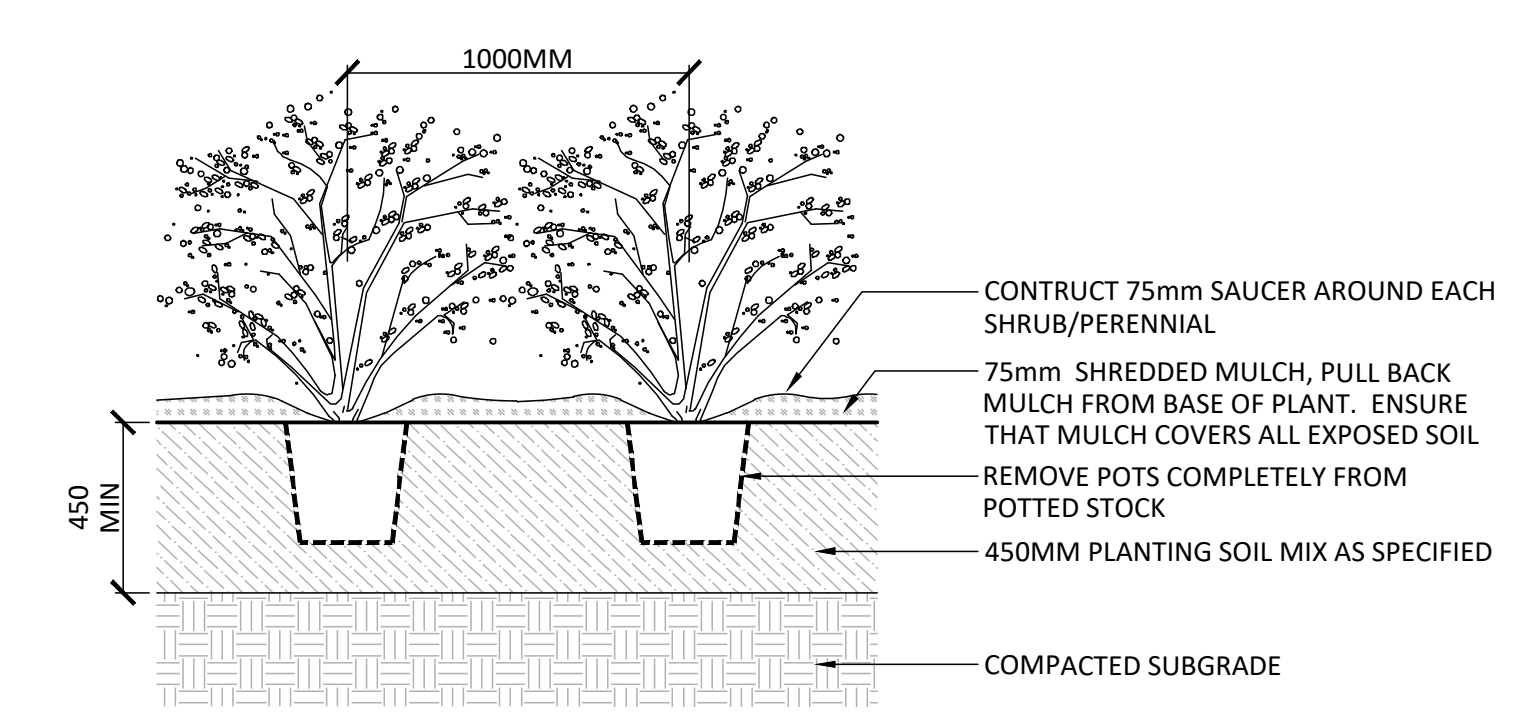
NOTES:
1. POST AND RAILS TO BE WELL PEELED CEDAR, WITH NO PEELER MARKS
2. CORNER AND END POSTS TO HAVE MINIMUM 25 x 100mm OBLONG HOLES FOR RAILS
LINE POSTS TO HAVE MINIMUM 64 x 100mm OBLONG HOLES FOR RAILS.
3. SOURCE OF WOOD FENCING TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
4. CONCRETE FOOTING SHALL BE CSA 30MPa CLASS F-1

7 TWO - RAIL POST AND RAIL FENCE
1:20

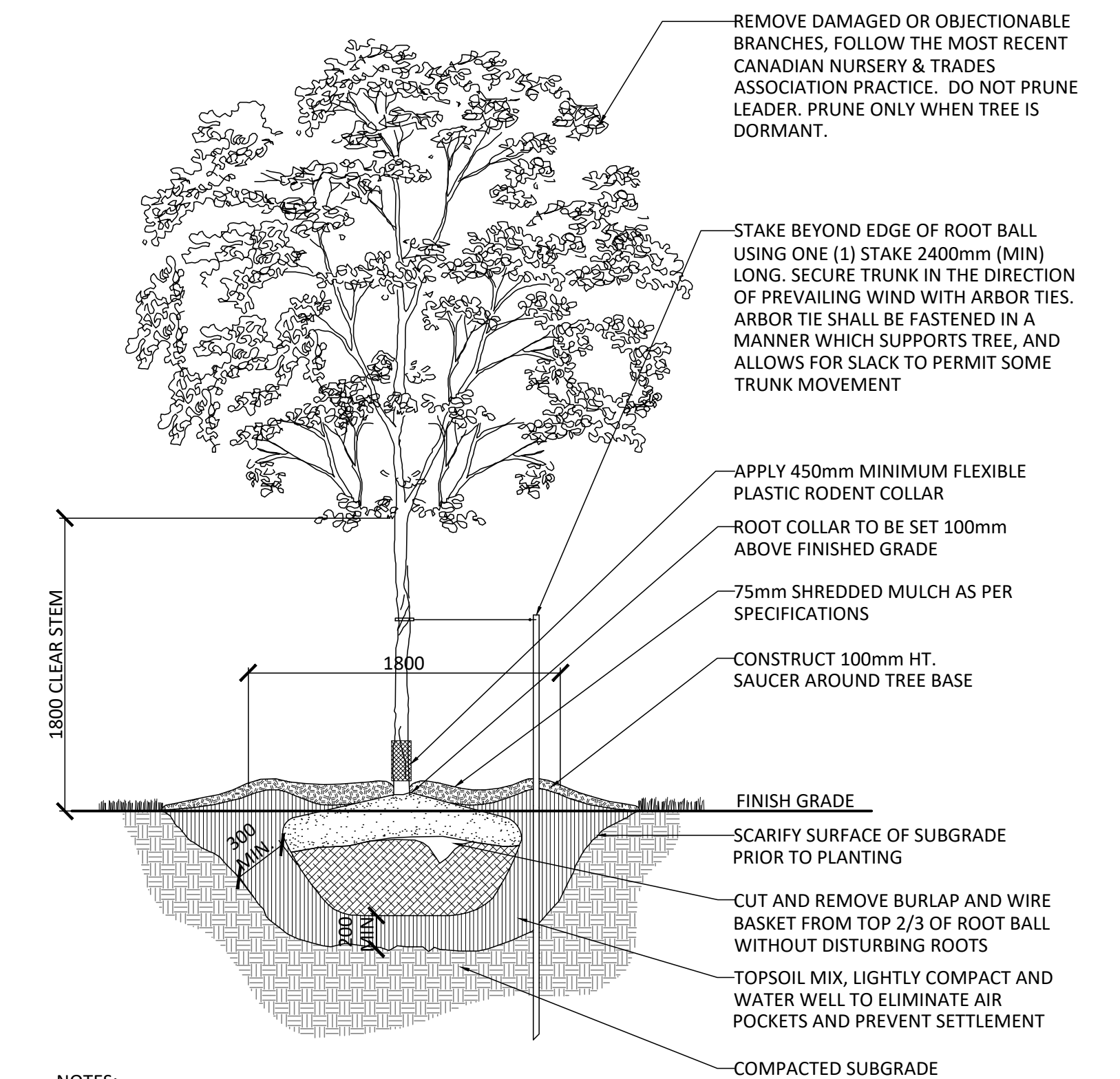


NOTES:
1. APPROVED NON-WOVEN CLASS 1 GEOTEXTILE AS PER MS-22-15 WHEN WARRANTED BY SOIL CONDITION, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
2. RETAIN RIVERSTONES WITH RIGID EDGE RESTRAINTS AS PER SPECIFICATIONS.

8 MAINTENANCE EDGE
1:10



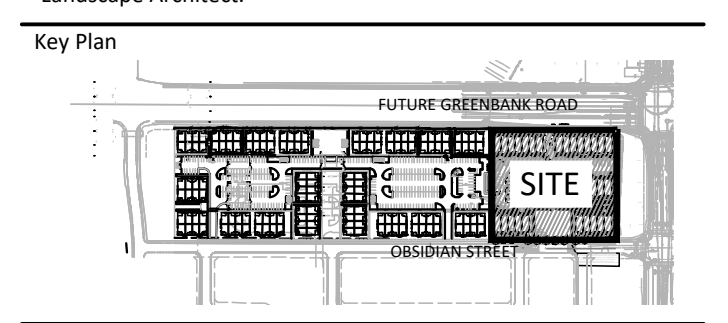
9 CONTINUOUS SHRUB PLANTING
1:20



NOTES:
1. REMOVE STAKE AFTER ONE YEAR OR UNTIL TAKEOVER, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
2. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION
3. REMOVE TREE WRAP AFTER PLANTING
4. CALIPER TO BE MEASURED AT THE BASE OF TREE AT ROOT BALL.

10 DECIDUOUS TREE PLANTING
1:30

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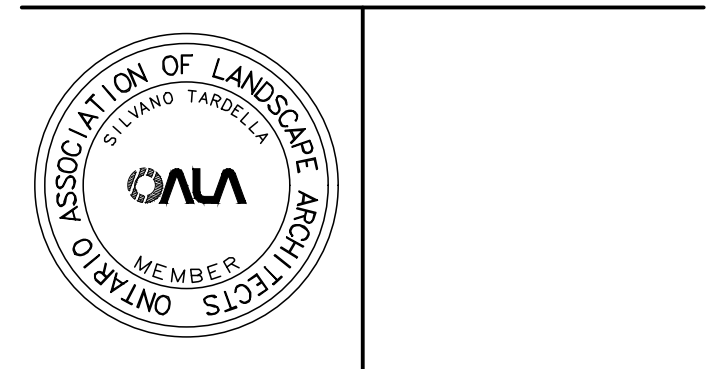


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OWNERSHIP		TRANSPORTATION	
MULTIFAMILY HOMES	50 Hines Rd., Suite 100, Ottawa ON K2K 2M5 ON K2M1P5	NOVATECH	240 Michael Cowland Dr., Suite 200, Ottawa, ON K2M1P5
ARCHITECT	FORSKA	NOISE	GRADIENT WIND
277 Lakeshore Rd., E#206, Oakville ON L6J 1H9	127 Walgreen Rd., Carp ON K0A 1L0	CIVIL	STANTEC
300-1331 Clyde Ave., Ottawa ON K2C 2G4	42 Baskin Dr., Carp ON K0A 1L0	LANDSCAPE ARCHITECT	NAK DESIGN STRATEGIES
1285 Wellington St., Ottawa ON K1Y 3A8	9 Auriga Drive, Ottawa ON K2E 7T9	ELECTRICAL	URS
5430 Canotek Rd., Ottawa ON K1J 9G2	420 O'Connor St., Ottawa, ON K2P 1B7	PLANNING	POTEM

PROPERTY INFORMATION
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NAK
design strategies
1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
NAKDESIGNSTRATEGIES.COM

HALF MOON BAY SOUTH
PHASE 7
4159 Obsidian Street, Ottawa ON K2J 6X6

Date	2025-03-13	Sheet	
Scale	1:300		
Drawn	JE		L2.0
Checked	SC		
Job No.	25-033		

CITY FILE N° 002-02-25-0031
CITY FILE N° 007-12-25-0068