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Legend

- 99.99 ORIGINAL GROUND ELEVATION
- 99.99 PROPOSED ELEVATION
- 99.99 PROPOSED LOT CORNER ELEVATION
- 99.99 EXISTING ELEVATION AT LOT CORNER
- 2.0% FLOW DIRECTION AND GRADE
- FFE=97.00 FINISHED FIRST FLOOR ELEVATION
- TF=97.00 TOP OF FOUNDATION ELEVATION
- BF=97.00 BASEMENT FLOOR ELEVATION
- USF=97.00 (\*\*)UNDERSIDE OF FOOTING ELEVATION - ENTIRE BLOCK
- MUF=97.00 (\*\*)MITIGATED UNDERSIDE OF FOOTING ELEVATION
- FOOTING SEGMENT SUBJECT TO TREE PROTECTION MITIGATION. REFER TO GEOTECHNICAL REPORT PG7335-1, MEMO 01
- 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- DIRECTION OF OVERLAND FLOW
- PROPOSED VALVE CHAMBER
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED DEPRESSED CURB LOCATION
- PROPOSED BARRIER CURB
- HEAVY DUTY ASPHALT
- OVERLAND SPILL LOCATION
- TWSI LOCATION AS PER CITY STD
- EXISTING LOT SIDE OVERLAND FLOW ROUTE
- EXISTING ROADSIDE OVERLAND FLOW ROUTE
- EXISTING MOUNTAINABLE BARRIER CURB TRANSITIONS

Notes

1. TOPOGRAPHIC SURVEY SUPPLIED BY J.D. BARNES LTD. DATED APRIL 24, 2025.
2. SITE PLAN PREPARED BY KORSAK URBAN PLANNING, DATED 2025-09-30. TITLED: SITE PLAN, DRAWING No. A.
3. REFER TO GEOTECHNICAL REPORT PG7335-1, MEMO 01 DATED OCTOBER 30, 2025 FOR TREE PROTECTION RECOMMENDATIONS AND MITIGATION RELATED TO PROPOSED BUILDING FOUNDATIONS.
4. MIF MITIGATED UNDERSIDE OF FOOTING: REPRESENTS THE MAXIMUM ALLOWABLE USF ELEVATION FOR FOUNDATIONS WITHIN 10m OF PROPOSED TREES. USE MIF ELEVATIONS TO SET SANITARY, STORM, AND WATER SERVICES INVERTS AT THESE LOCATIONS. FOR ALL OTHER AREAS, USE THE STANDARD USF ELEVATIONS SHOWN ON THE DRAWINGS.
5. ACCESS LANES AND LOCAL ROADSWAYS: 40mm HCL OR SUPERPAVE 12.5 ASPHALTIC CONCRETE 50mm HCL OR SUPERPAVE 9.5 ASPHALTIC CONCRETE 100mm OPSS GRANULAR A BASE 400mm OPSS GRANULAR B TYPE I OR II
6. CAR ONLY PARKING AREAS: 50mm HCL OR SUPERPAVE 12.5 ASPHALTIC CONCRETE 150 OPSS GRANULAR A BASE 300 OPSS GRANULAR B TYPE I OR II
7. GRADING RELATIONS:
  - BIG TOWNS: FFE - USF = 0.30m
  - SMALL TOWNS: FFE - USF = 0.20m
  - SEASIDE TOWNS: FFE - USF = 0.20m
  - RESIDENTIAL: FFE - USF = 0.20m

Revision	By	Appd.	YY.MM.DD	
5	ISSUED FOR THIRD SUBMISSION SPA	ZW	PM	26.01.20
4	REVISED W3 CHAMBER	JP	PM	25.11.25
3	ISSUED FOR CITY REVIEW	JP	PM	25.11.03
2	ISSUED FOR CITY REVIEW	JP	PM	25.07.04
1	ISSUED FOR CITY REVIEW	JP	PM	25.04.04

File Name:	160402127-08	JP	PM	JP	25.03.24
Revision		By	Appd.	YY.MM.DD	

Permit-Seal

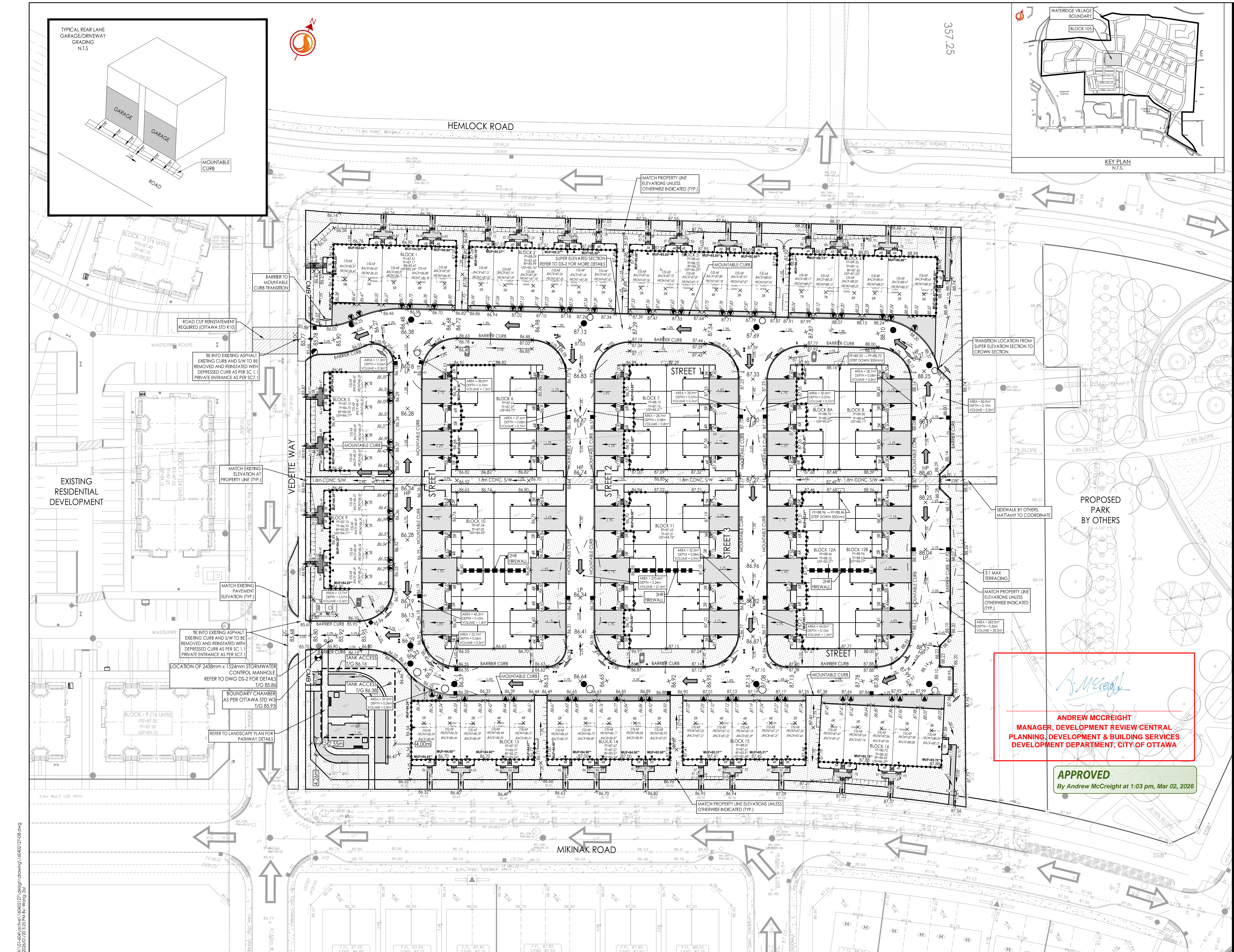
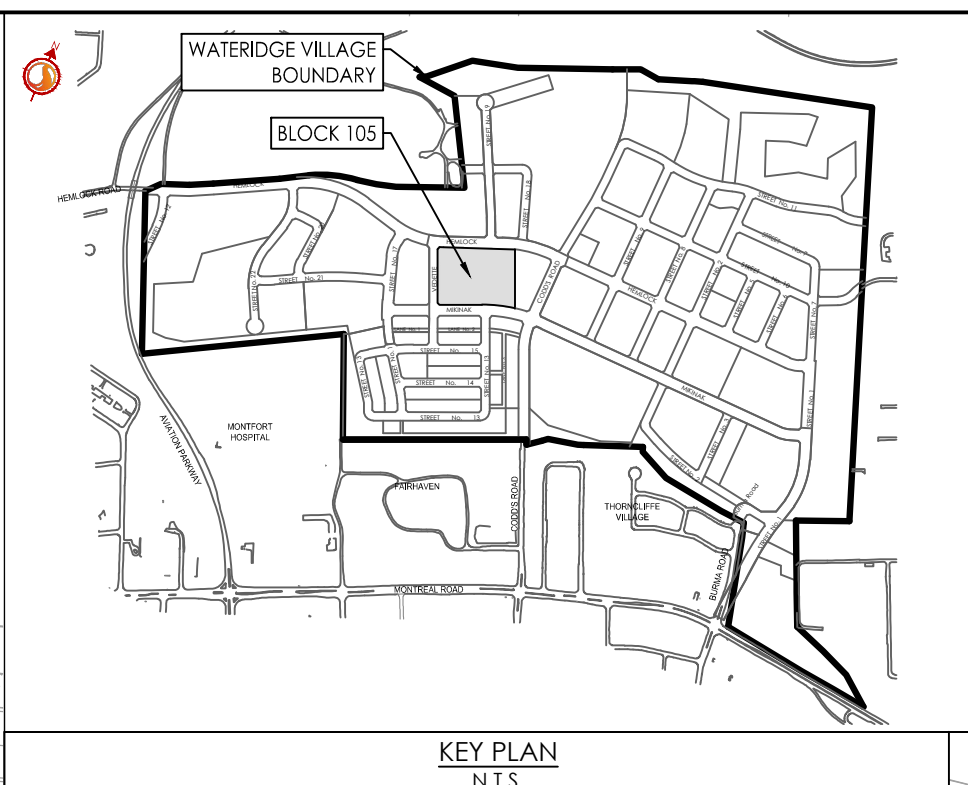
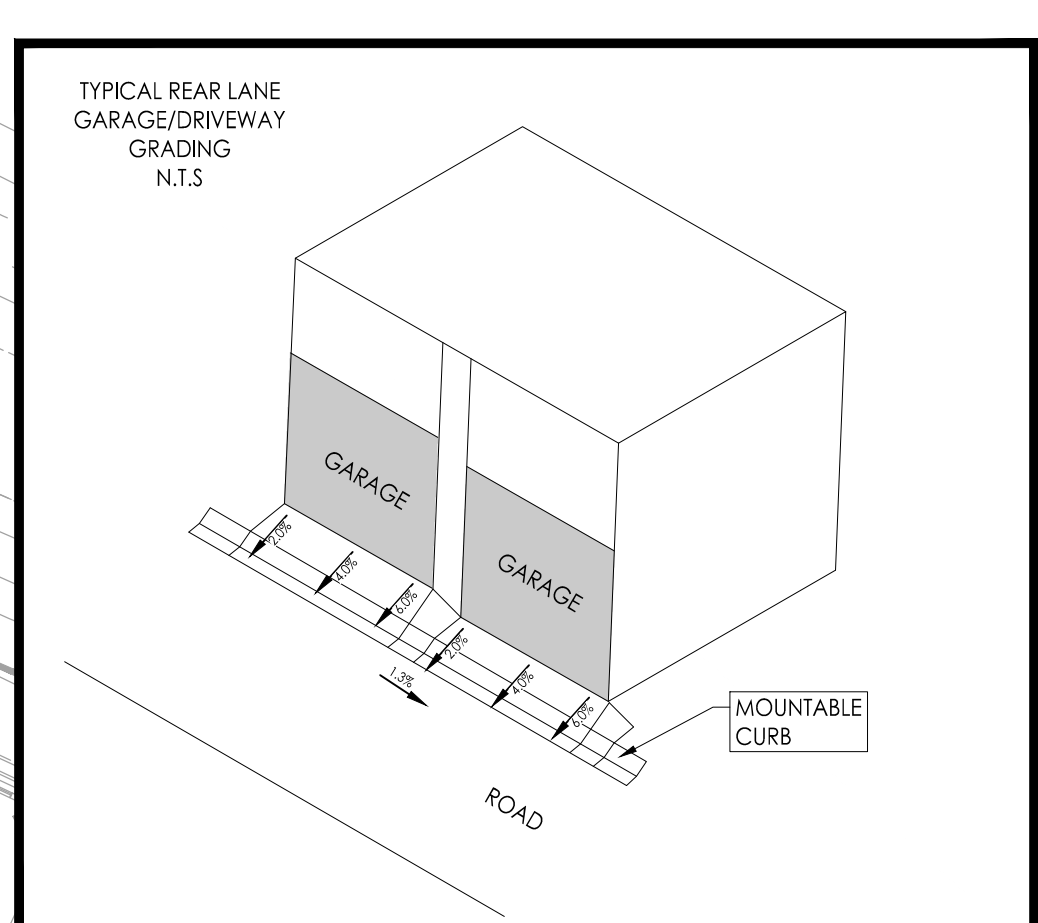
Client/Project  
MATTAMY HOMES

WATERIDGE VILLAGE  
BLOCK 105  
OTTAWA, ON, CANADA

Title  
GRADING PLAN

Project No.	Scale	Sheet	Revision
160402127	1:400	4	4

Drawing No. GP-1 4 of 11 4  
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Scale 0 4 12 20m  
Sheet 4  
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Scale 0 4 12 20m  
Sheet 4  
Revision 4



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**APPROVED**  
By Andrew McCreight at 1:03 pm, Mar 02, 2026

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 ORIGINAL SHEET - ARCH D

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