

SITE STATISTICS AND DEVELOPMENT DATA

SITE AREA	21,761 m ² (2.18 ha)
PAVED AREA	6,550m ² (30%)
LANDSCAPED AREA	6,385m ² (29%)
TOTAL BUILDING COVERAGE	8,826m ² (41%)
TOTAL APPROXIMATE GROSS FLOOR AREA	TBD
TOTAL UNITS	111
NET DENSITY (UPH)	77 UPH
ZONE CATEGORY	R4UC(2311)

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA m ²	UNITS
BLOCK 1	REAR LANE TOWNS	TBD	5
BLOCK 2	REAR LANE TOWNS	TBD	6
BLOCK 3	REAR LANE TOWNS	TBD	6
BLOCK 4	REAR LANE TOWNS	TBD	6
BLOCK 5	REAR LANE TOWNS	TBD	4
BLOCK 6	BACK TO BACK TOWNS	TBD	8
BLOCK 7	BACK TO BACK TOWNS	TBD	8
BLOCK 8	BACK TO BACK TOWNS	TBD	8
BLOCK 9	REAR LANE TOWNS	TBD	4
BLOCK 10	BACK TO BACK TOWNS	TBD	12
BLOCK 11	BACK TO BACK TOWNS	TBD	12
BLOCK 12	BACK TO BACK TOWNS	TBD	12
BLOCK 13	REAR LANE TOWNS	TBD	5
BLOCK 14	REAR LANE TOWNS	TBD	5
BLOCK 15	REAR LANE TOWNS	TBD	5
BLOCK 16	REAR LANE TOWNS	TBD	5
TOTAL		TBD	111

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A(Table)	MIN. LOT AREA (m ²): PLANNED UNIT DEVELOPMENT	1,400m ²	21,760m ²
162A(Table)	MIN. LOT WIDTH (m): PLANNED UNIT DEVELOPMENT	No minimum	134m
Table 162A & 135(1)	MIN. FRONT YARD SETBACK (m): PLANNED UNIT DEVELOPMENT	4.5m	4.77m
Table 162A & 2311	MIN. REAR YARD SETBACK (m): PLANNED UNIT DEVELOPMENT (LOT LINE ABUTS A PARK)	5.0m	5.23m
162A(Table)	MIN. CORNER SIDE YARD SETBACK (m): PLANNED UNIT DEVELOPMENT	4.5m	4.83m
162A(Table)	MAX. BUILDING HEIGHT (m): TOWNHOUSE	10m	11.42m
2311	MAX. FRONT, REAR AND SIDE YARD SETBACKS (m):	6m	5.95m
101(3) & 101(1)	MIN. RESIDENT PARKING (TOWNHOUSE) - (111 UNITS @ 0.75 SPACES)	83	222
102(Table)	MIN. VISITOR PARKING (REAR LANE TH) - (51 UNITS @ 0.1 SPACES AFTER THE FIRST 12 UNITS)	4	8
131(Table)(1)	MIN. WIDTH OF PRIVATE WAY/ PARKING AISLE (m)	6.0m	6.7m
131(Table)(2)	MIN. SETBACK FOR ANY WALL OF A RESIDENTIAL USE BUILDING TO A PRIVATE WAY (m)	1.8m	1.05m
131(Table)(3)	MIN. SETBACK FOR ANY GARAGE OR CARPORT ENTRANCE FROM A PRIVATE WAY (m)	5.2m	1.05m
2311	MIN. SEPARATION DISTANCE BETWEEN BUILDINGS WITHIN A PLANNED UNIT DEVELOPMENT (m)	3m	3.1m
131(Table)(5)(b)	REQUIRED VISITOR PARKING MAY BE PROVIDED AS PARALLEL PARKING ON A PRIVATE WAY, PROVIDED THE PRIVATE WAY HAS A MINIMUM WIDTH OF 8.5m:	8.5m	9.3m
139(1)(Table)	MIN. AGGREGATED SOFT LANDSCAPED AREA % WHERE THE FRONT/ SIDE YARD SETBACK IS MORE THAN 3m	40%	≥40%
139(4)(c)	MAX. WIDTH OF A WALKWAY IN THE CASE OF ANY OTHER RESIDENTIAL USE BUILDING (m)	1.2m	1.0m

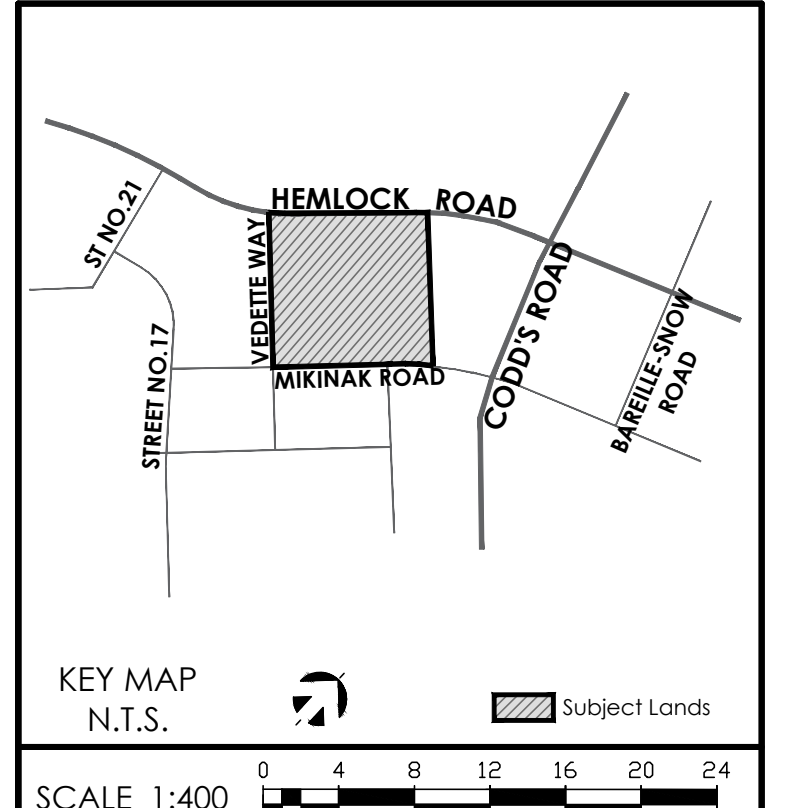
ADDITIONAL PROVISIONS

65(Table)	PERMITTED PROJECTIONS INTO REQUIRED YARDS: FIRE ESCAPES, OPEN STAIRWAYS, STOOP, WHERE AT OR BELOW THE FIRST FLOOR LEVEL (m): INTERIOR SIDE YARD OR REAR YARD (m) FRONT YARD OR CORNER SIDE YARD (m)	No Limit >0.6m to lot line	1.47m 2.60m
65(Table)(6)	COVERED OR UNCOVERED BALCONY, PORCH, DECK, WHERE THE WALKING SURFACE IS NOT HIGHER THAN 0.6m ABOVE ADJACENT GRADE: INTERIOR SIDE YARD OR REAR YARD (m) FRONT YARD OR CORNER SIDE YARD (m)	No Limit 2.25m (Max) >1.0m to lot line	0.86m 1.26m 3.24m
65(Table)(6)(b)(v)	WHERE A DECK OR BALCONY OCCURS ABOVE THE 1ST FLOOR & IS WITHIN 1.5M OF AN EXTERIOR SIDE WALL OR INTERIOR SIDE LOT LINE OF A RESIDENTIAL ZONED LOT	Where a deck or balcony occurs above the first floor and is within 1.5 meters of an exterior side wall or interior side lot line of a residential-zoned lot, a 1.5 meter high opaque screen is to be provided facing the interior side lot line.	City advised this doesn't apply, it's understood a minor variance will be pursued in an abundance of caution for when the land is parcelized.
106(2)(a)	MIN. PARALLEL PARKING SPACE SIZE (m)	2.6m x 6.7 m	2.6m x 6.7 m

Andrew McCreight

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 1:03 pm, Mar 02, 2026



LEGEND

	REAR LANE TOWNS		ENTRANCE
	BACK TO BACK TOWNS		ASPHALT DRIVEWAY
	CROSSWALK		VISITOR PARKING
	CURB (0.2m)		EXISTING STREET TREE
	CONCRETE WALKWAY		MEDIUM DECIDUOUS TREE
	PAVERS		SMALL DECIDUOUS TREE
	DEPRESSED CURB		CONIFEROUS TREE
	MOUNTABLE CURB		DECIDUOUS SHRUB
	PORCH		TRANSFORMER
	PROJECTION (STAIRS)		RISERS
	S.S. SNOW STORAGE AREA		#R(L) LANDSCAPE STEPS
	LANDSCAPED AREA		LIGHT POLE
	L/A BLOCK BOUNDARY		CONCRETE/ASPHALT PAD
	TACTILE WALKING SURFACE INDICATOR		FIRE HYDRANT
	MINI SUBS (HYDRO)		
	SWITCHBOARD		
	HYDRO CABINET		

DATE	REVISION	BY
24/12/25	Site Plan Revisions	AS
10/11/25	2nd Submission	AS
30/09/25	Updated building footprint & new porch paving	JH
10/09/25	addition of the side porches for the corner lots	JH
20/06/25	Site Plan Revisions	AS
06/05/25	Site Plan Revisions	WS
25/02/25	Draft site plan	AS

DATE: 03/11/25 REVISION: BY

GENERAL NOTES

- DO NOT SCALE DRAWINGS FOR PRINT.
- THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIA URBAN PLANNING. COPYRIGHT RESERVED.
- WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
- REFERENCES CITY OF OTTAWA I.W.S.I. DETAIL SC7.3
- SURVEY BOUNDARY PREPARED BY J.D. BARNES LTD, 62 STEACIE DRIVE, SUITE 103, KANATA, ONTARIO, K2K 2A9. TEL: (613) 731-7244 FAX: (613) 254-8659

PROJECT TEAM

SITE PLAN DESIGN: KORSIA	LANDSCAPE ARCHITECTURE: NAK	TRANSPORTATION: NOVATECH
PLANNING: Stantec	CIVIL ENGINEER: Stantec	NOISE: GRADIENT WIND
ARCHITECTURE: Stantec	MECHANICAL/ELECTRICAL: Stantec	GEOTECHNICAL & STRUCTURAL: Stantec

mattamy HOMES

50 Hines Road, Suite 100, Ottawa, ON Canada K2K 2M5

Wateridge

Block 105
615 MIKINAK ROAD
PART OF LOT 24 CONCESSION 1 (OTTAWA FRONT)
REGISTERED PLAN 4M-1559
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA

SITE PLAN		
DATE: January 6, 2026	DRAWN BY: SM	DRAWING NO.:
FILE NO.: # D07-12-25-0043	CHECKED BY: CR(RPP)	
JOB NO.: WATERIDGE PHASE 3A		A