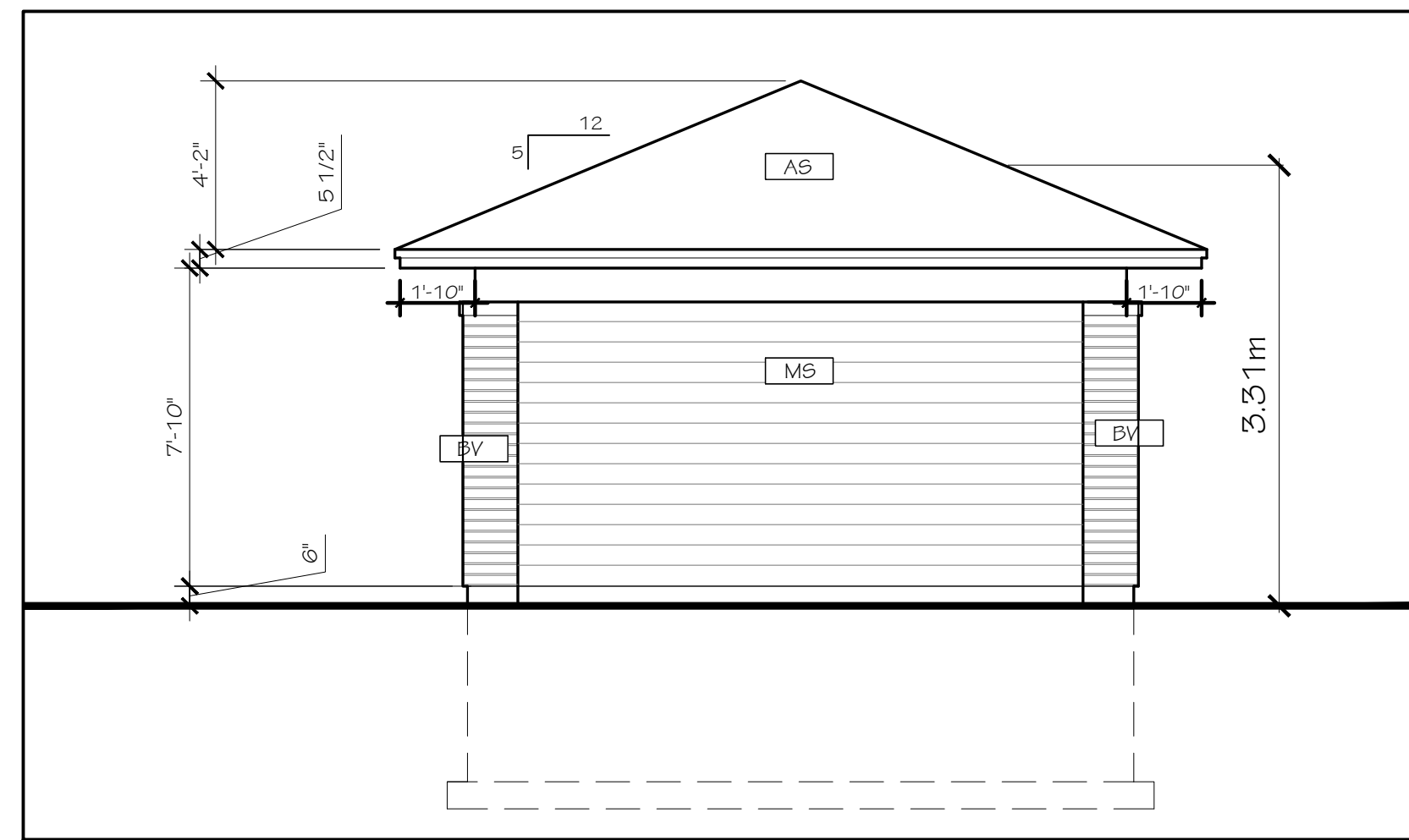
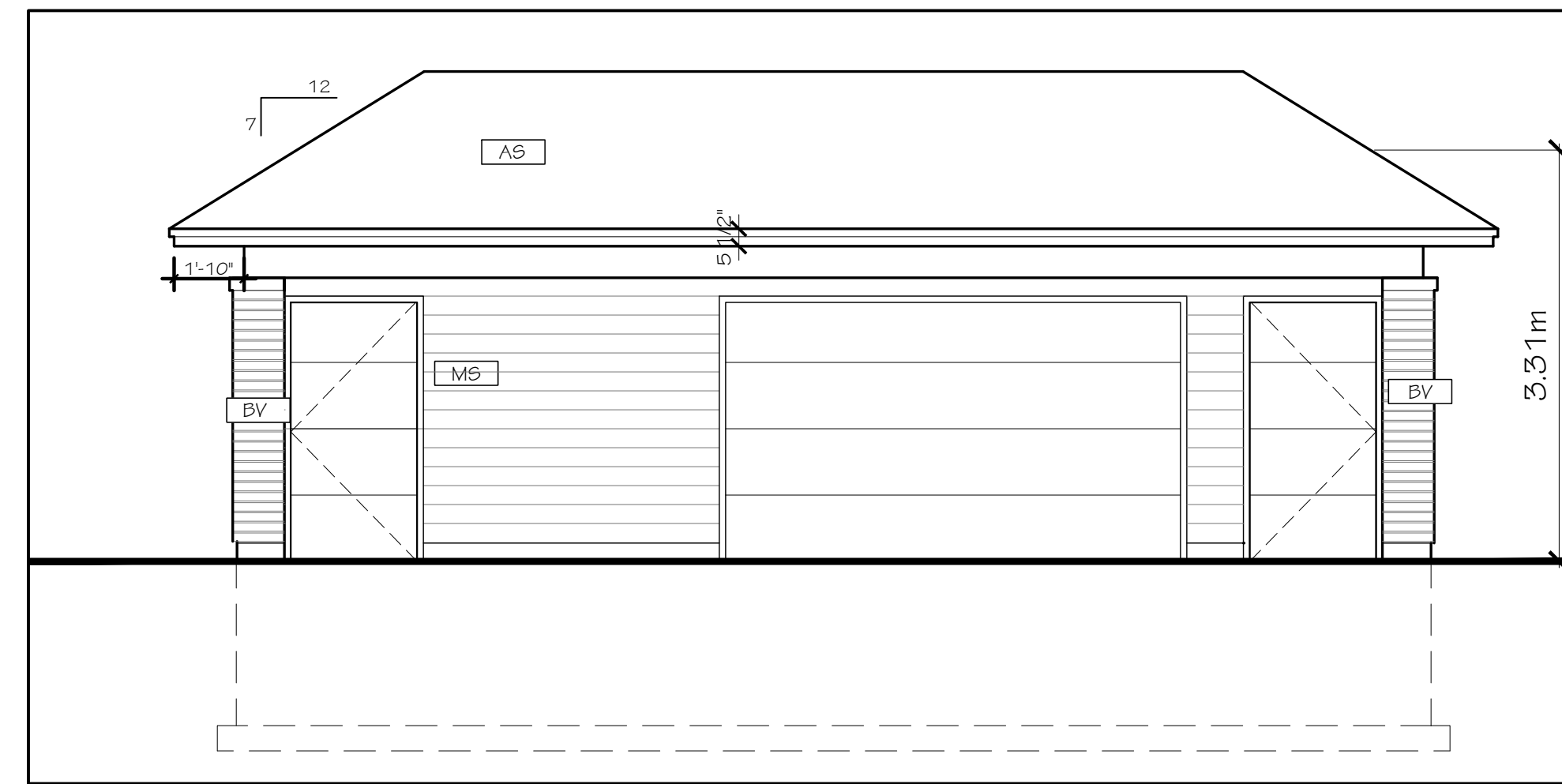


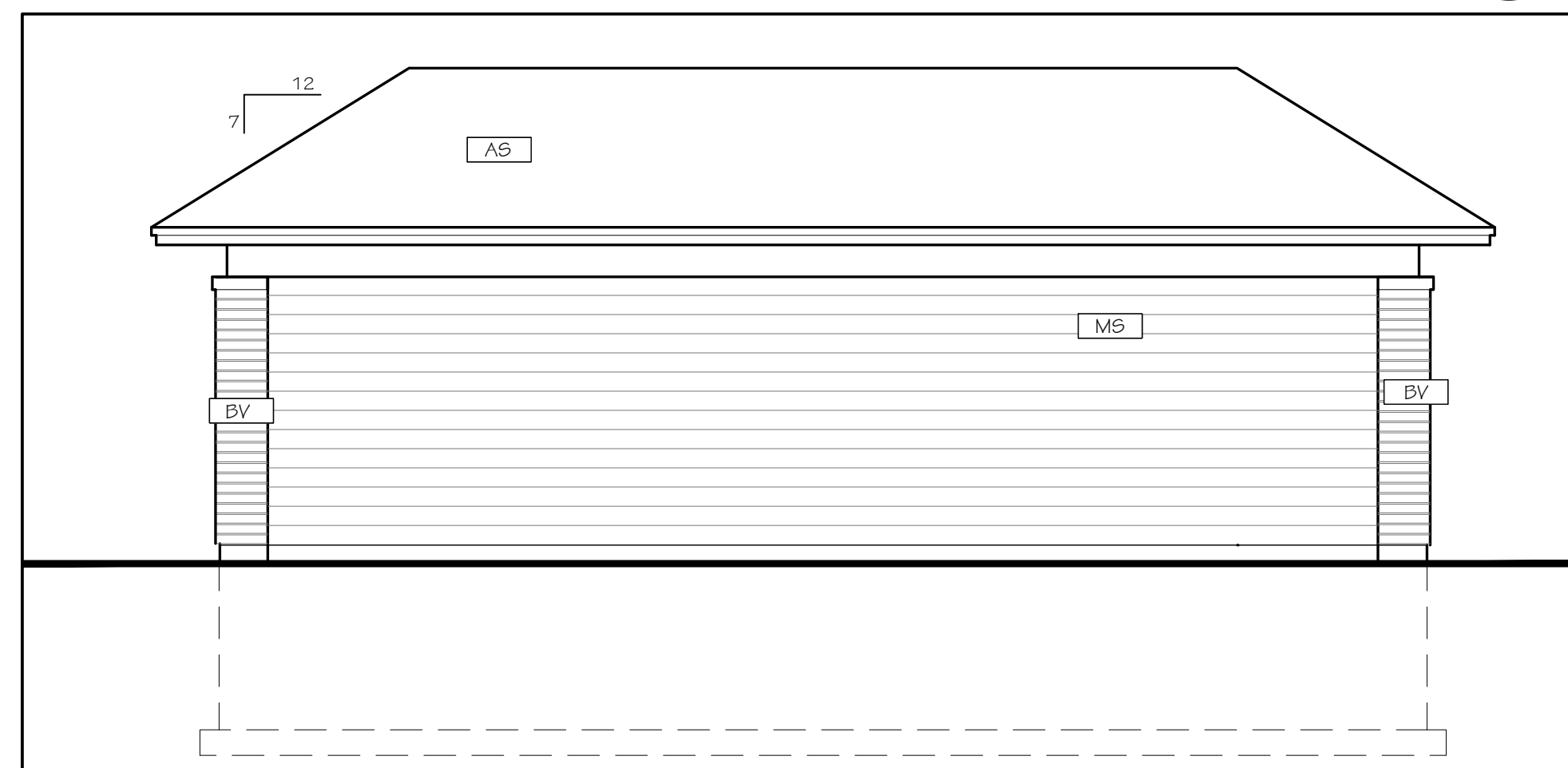
5 BUILDING SECTION  
A02 1/2" = 1'-0"



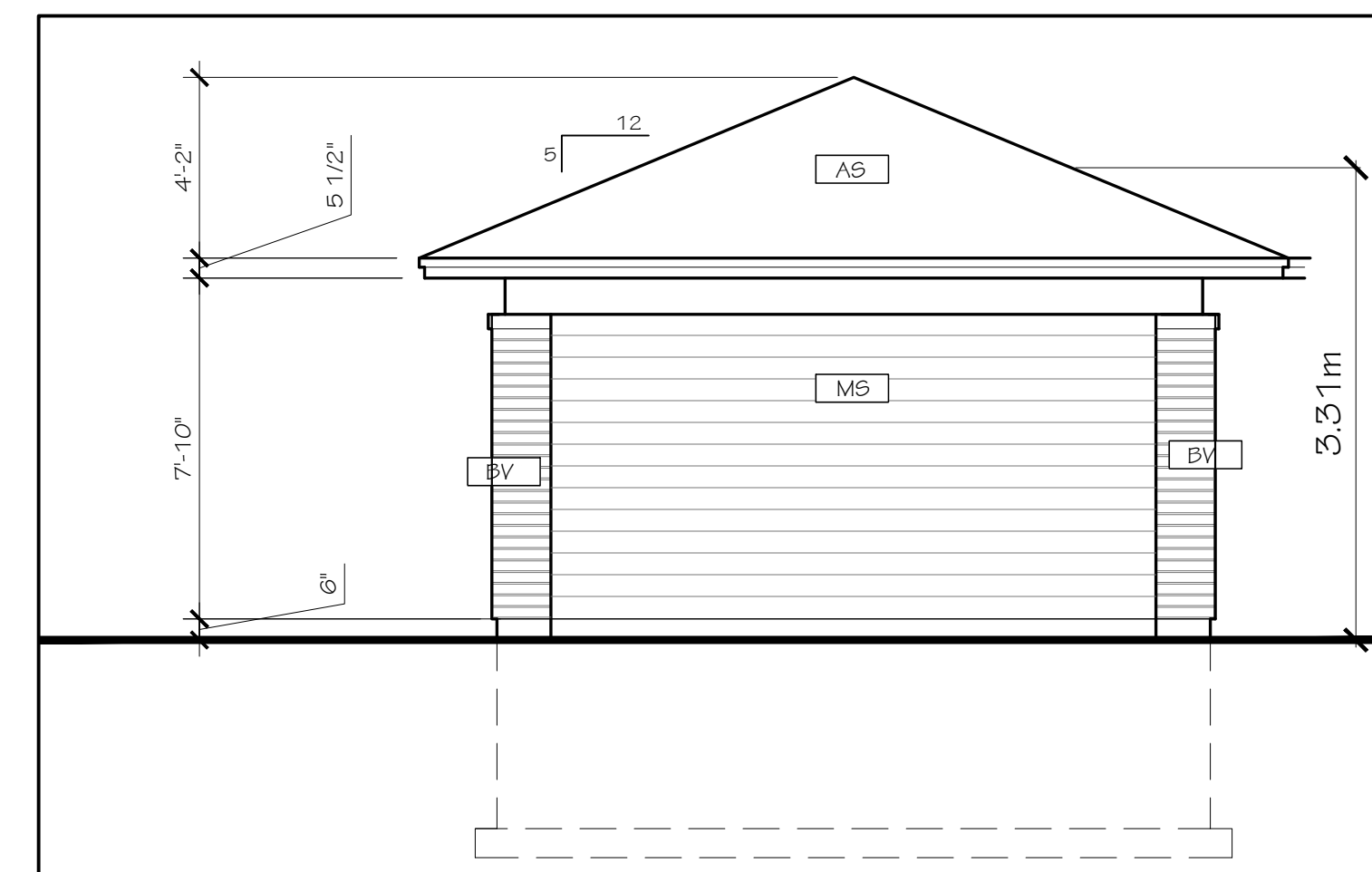
2 SOUTH-EAST ELEVATION  
A02 1/4" = 1'-0"



4 SOUTH-WEST ELEVATION  
A02 1/4" = 1'-0"



1 NORTH-EAST ELEVATION  
A02 1/4" = 1'-0"

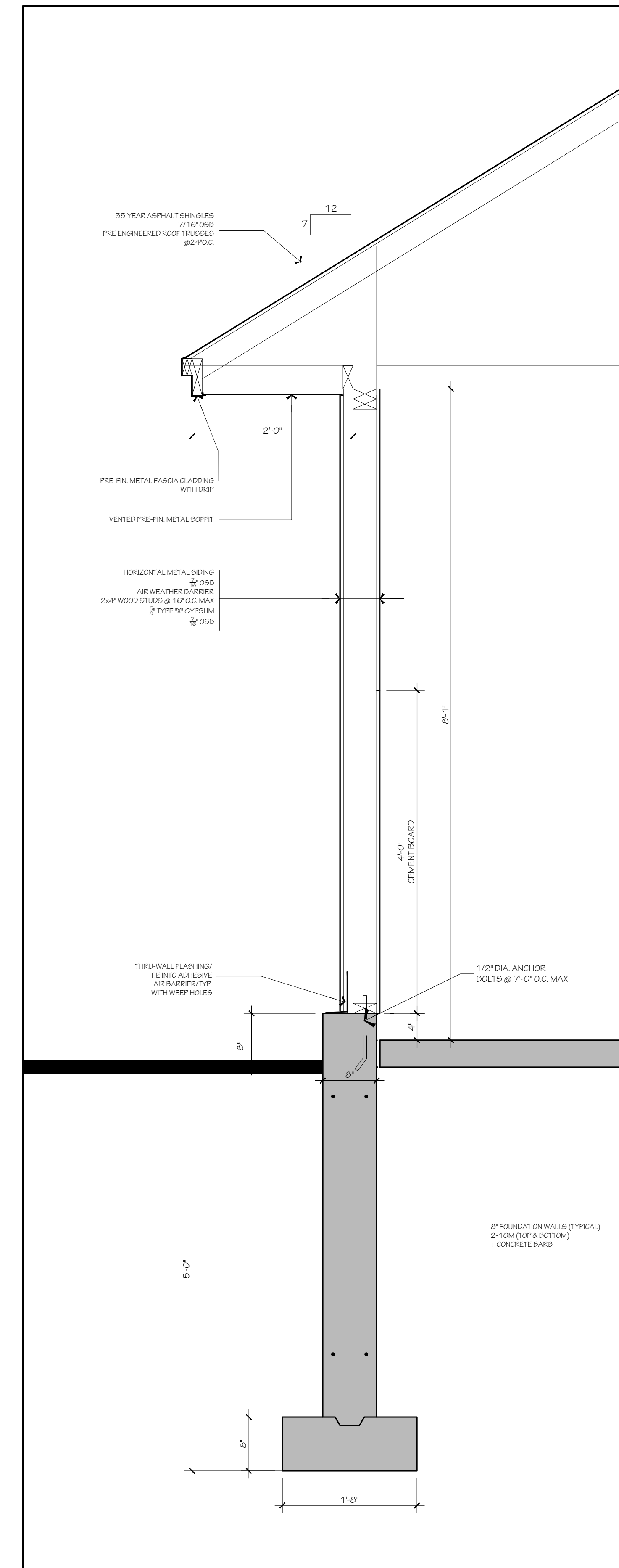


3 NORTH-WEST ELEVATION  
A02 1/4" = 1'-0"

*SM*

**SEAN MOORE MCIP, RPP**  
MANAGER, DEVELOPMENT REVIEW - WEST  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Sean Moore at 8:24 pm, Jan 21, 2026



6 WALL SECTION  
A02 1" = 1'-0"

- TYPICAL PLAN NOTES:
- ALL CLOSETS TO RECEIVE 1 ROD AND 1 SHELF, UNLESS OTHERWISE NOTED.
  - TRUSS AND FLOOR SYSTEM MANUFACTURERS TO SUBMIT SHOP DWG'S PRIOR TO FABRICATION.
  - INSTALL GALVANIZED METAL PAN & DRAIN AT ALL CLOTHES WASHING MACHINE LOCATIONS.
  - LOCATE ALL PLUMBING STACKS AND VENTS ON REAR ROOF.
  - SUPPLY AND INSTALL SMOKE AND CARBON MONOXIDE DETECTORS AS PER 2012 O.B.C. REQUIREMENTS. CONFIRM FINAL LOCATIONS WITH ARCHITECT ON SITE.
  - ADD INSULATION DEPRESSORS AT EACH TRUSS SPACE WHERE NECESSARY TO MAINTAIN MINIMUM 2" AIR SPACE ABOVE INSULATION.
  - PROVIDE & INSTALL CONTINUOUS FLASHING THROUGH WALL FLASHING AT MASONRY BEARING LEDGE (FOR PERIMETER OF BUILDING). RUN FLASHING UP WALL 12" MINIMUM BEHIND TYVEK & TAPE JOINT.
  - FINAL ROOF/GIRDER TRUSS LAYOUT BY SUPPLIER MAY REQUIRE MODIFICATIONS TO FRAMING INDICATED.
  - PROVIDE 2" DEEP SAW CUT AT ALL CONCRETE SLABS TO MAX. AREA OF 300 sq. ft.
  - PROVIDE MINIMUM 2" CLEARANCE ON BOTH SIDES OF DOOR OPENINGS FOR CASING TRIM.

4	2025-11-10	RESUBMIT FOR SPA
3	2025-08-11	RESUBMIT FOR SPA
2	2025-05-09	RESUBMIT FOR SPA
1	2025-03-21	ISSUED FOR SPA

no. date revision

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.

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PROJECT/LOCATION:  
COPPERWOOD FLATS  
LOW-RISE STACKED DWELLINGS  
1101 SPOOR STREET

DRAWING TITLE:  
ELEVATIONS  
AND SECTIONS  
WASTE STORAGE AND HYDRO

DRAWN BY: KG DATE: 09-30-2024 SCALE: 1/4" = 1'-0"

PROJECT: 2202.01 DRAWING NO.: A02

REVISION NO.:

File No: D07-12-25-0039