

KEY PLAN 1:2500

LEGEND

- REFER TO LANDSCAPE
- BARK CHIPS
- ASPHALT
- CONCRETE WALKWAY OR TERRACE
- INTERLOCK TERRACE
- RIVERSTONE
- PROPOSED CONSTRUCTION
- PROPERTY LINE
- SETBACK
- UNIT ENTRY
- VISITOR PARKING
- INTERLOCK OR STAMPED CONCRETE
- 1.5m CHAINLINK FENCE
- 1.07m TRANSLUCENT GUARD
- RECESSED CURB
- DEPRESSED CURB

SITE DATA - BLOCK 125

SITE STATISTICS (# OF UNITS, GROSS BUILDING AREA, GROSS FLOOR AREA)

BLOCK 1	12 UNITS	444m ² (GBA)	1313m ² (GFA)
BLOCK 2	12 UNITS	444m ² (GBA)	1313m ² (GFA)
BLOCK 3	12 UNITS	444m ² (GBA)	1313m ² (GFA)
TOTAL	36 UNITS	1,332m ² (GBA)	3939m ² (GFA)

LOT COVERAGE

TOTAL LOT AREA	5,503m ²
TOTAL GROSS BUILDING AREA	1,332m ²
TOTAL LOT COVERAGE	24.2%
TOTAL VEHICULAR SURFACE AREA	1,408m ²
TOTAL LOT COVERAGE	25.6%
TOTAL SOFT LANDSCAPE AREA	1,690m ²
TOTAL LOT COVERAGE	30.7%
TOTAL HARD LANDSCAPE AREA	1,073m ²
TOTAL LOT COVERAGE	19.5%

LANDSCAPING PROVISIONS FOR PARKING LOTS [SECTION 110, 1]

TOTAL PARKING LOT AREA	1,950m ²
TOTAL LANDSCAPED PARKING AREA	542m ²
TOTAL PARKING LOT COVERAGE	27.5%

SOLID WASTE STORAGE & DISPOSAL

REQUIRED	PROVIDED
GARBAGE STORAGE (0.231/UNIT) = 0.316yd (3x 3yd BINS)	GARBAGE STORAGE (5x 3yd BINS)
FIBRE STORAGE (0.082/UNIT) = 2.23yd (1x 3yd BIN)	FIBRE STORAGE (1x 3yd BIN)
G.M.P. STORAGE (0.0719/UNIT) = 0.65yd (1x 2yd BIN)	G.M.P. STORAGE (1x 3yd BIN)
GREEN WASTE STORAGE 1x240L CONTAINER	GREEN WASTE STORAGE 1x240L CONTAINER

AMENITY AREA [SECTION 137, TABLE 137, (6)]

REQUIRED	PROVIDED
PRIVATE AMENITY AREA: 36 UNIT TYPICAL x 6m ² = 216m ²	PRIVATE AMENITY AREA: 36 UNIT TYPICAL x 10.26m ² = 369.36m ²
COMMUNAL AMENITY AREA: (50% of 216m ²) = 108m ²	COMMUNAL AMENITY AREA: (COMMUNITY PARK) 113.5m ²
TOTAL AMENITY AREA: 324m ²	TOTAL PROVIDED: 482.86m ²

ZONING STATISTICS

ZONING: R4Z(2818)-H - RESIDENTIAL FOURTH DENSITY ZONE, SUBZONE Z
URBAN EXCEPTION 2818, HOLDING PROVISION

DWELLING TYPE: PUD - 36 STACKED FLATS	REQUIRED	PROPOSED
SETBACKS		
FRONT YARD	3m	5.9m
INTERIOR SIDE YARD	1.2m	0.3m
CORNER SIDE YARD	3m	5.3m
REAR YARD	6m	7.6m
MIN. LOT WIDTH	18m	45m
MIN. LOT AREA	1400m ²	5,503m ²
MAX. BUILDING HEIGHT	15m	11.45m
PLANNED UNIT DEVELOPMENT (SECTION 131)		
MIN. WIDTH OF PRIVATE WAY	6.0m MIN.	6.0m
MIN. SETBACK TO PRIVATE WAY	1.2m MIN.	4.5m
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m MIN.	7.4m
MAX. HEIGHT OF COMMUNAL GARBAGE BUILDING	4.5m MAX.	3.34m
MAX. AREA OF COMMUNAL GARBAGE BUILDING	200m ² MAX.	35m ²
ACCESSORY BUILDINGS (SECTION 55/SECTION 131)		
INTERIOR SIDE YARD SETBACK	1.2m MIN.	1.2m
MAX. ACCESSORY BUILDING AREA	200m ²	48m ²
MAX. ACCESSORY BUILDING HEIGHT	4.5m	3.34m
PERMITTED PROJECTIONS (SECTION 65)		
TABLE 65 (5)(a)(i)(c)	N/A MAX PROJECTION	1.5m
	0.6m MIN FROM LOT LINE	1.7m
	2.0m MAX PROJECTION	0.4m
	1.0m MIN FROM LOT LINE	5.8m

PARKING REQUIREMENTS - RESIDENTS

PARKING PROVISIONS - SECTION 101, Table 101 [Area D on Schedule 1A] + SECTION 102, Table 102 [Area D on Schedule 1A] + SECTION 111, Table 111A

BLOCK 125

REQUIRED	PROVIDED
36 RESIDENT PARKING SPACES (1 x 36)	36 RESIDENT PARKING SPACES
7 VISITOR PARKING SPACES (0.2 x 36)	7 VISITOR PARKING SPACES
43 PARKING SPACES TOTAL	43 PARKING SPACES TOTAL
0 BIKE PARKING	0 BIKE PARKING

SURVEY INFORMATION

PLAN OF SUBDIVISION OF PART OF LOTS 13 AND 14 CONCESSION 3
Geographic Township of March
CITY OF OTTAWA
Prepared by Annis, O'Sullivan, Vollebek Ltd. 2024
14 Concourse Gate Suite 500, Nepean, ON K2E 7S6 - (613) 727-0850
*SUBJECT SITE IS IDENTIFIED AS BLOCK 125, PLAN 4M1763; SUBJECT TO AN EASEMENT IN GROSS OVER PART 78, PLAN 4R36974 AS IN OC2830697; CITY OF OTTAWA

CONSULTANTS

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NO.	DATE	REVISION
19	2025-12-04	RE-ISSUED FOR SPA
18	2025-11-10	RE-ISSUED FOR SPA
17	2025-10-08	RE-ISSUED FOR SPA
16	2025-09-11	RE-ISSUED FOR SPA
15	2025-08-05	ISSUED FOR COORDINATION
14	2025-05-09	RE-ISSUED FOR SPA
13	2025-03-21	ISSUED FOR SPA
12	2025-03-14	ISSUED FOR COORDINATION
11	2025-03-08	ISSUED FOR COORDINATION
10	2025-01-29	ISSUED FOR REVIEW
9	2025-01-23	ISSUED FOR COORDINATION
8	2025-01-16	ISSUED FOR COORDINATION
7	2024-11-27	ISSUED FOR REVIEW
6	2024-11-22	ISSUED FOR REVIEW

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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project title
**COPPERWOOD FLATS
LOW-RISE STACKED DWELLINGS**
1101 SPOOR STREET

drawing title
**PHASE 1 - BLOCK 125
SITE PLAN**

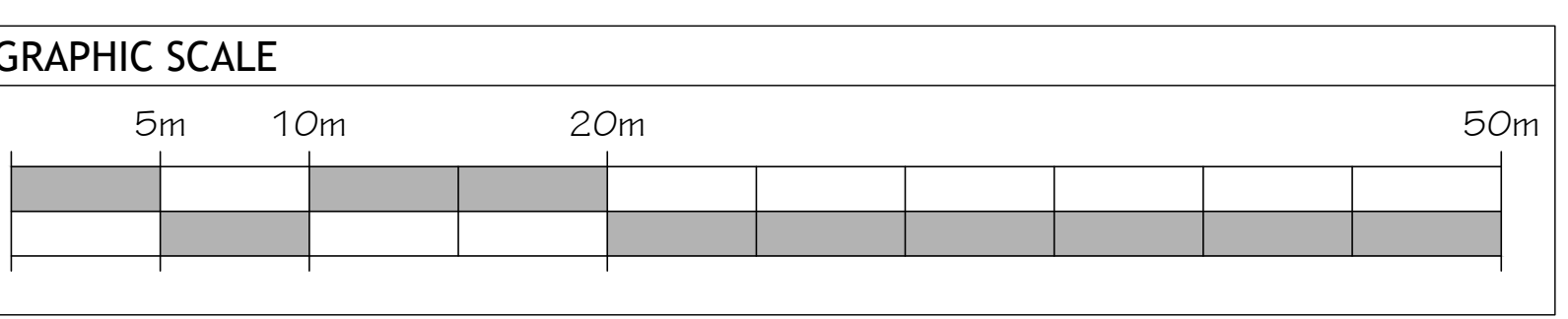
drawn	date	scale	project
TDUJD	APR 2024	1:250	2202.01
drawing no.	revision no.		
SP-1			

City Plan No: 19381

SM

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MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Sean Moore at 8:26 pm, Jan 21, 2026



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