

GENERAL NOTES:

1. ASSUMED CONDITIONS ARE ILLUSTRATED ON THE DRAWINGS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
3. THE MUNICIPAL STANDARDS AND ONTARIO PROVINCIAL STANDARD DETAILS (OPSD) SHALL BE ADHERED TO, AS WELL AS THE STORMWATER MANAGEMENT PLANNING AND DESIGN MANUAL (SWMPDM), ONTARIO, 2003.
4. TECHNICAL REQUIREMENTS FOR ACCESSIBILITY TO BE DETERMINED BASED UPON THE FINALIZED LAYOUT AND IN ACCORDANCE WITH REG 191/11 AND 413/12 AS AMENDED.
5. DRAWING SHALL BE READ IN CONJUNCTION WITH:
  - 5.1. PLAN OF SURVEY BY CALLON DIETZ, FILE NO. 18-0091, DATED OCTOBER 11, 2018,
  - 5.2. PARTIAL TOPOGRAPHIC SKETCH BY CALLON DIETZ, REF. NO. 25-27879, DATED NOV. 6, 2025,
  - 5.3. STORMWATER MANAGEMENT BRIEF (SWMB) BY IN ENGINEERING LTD.

DIMENSION NOTES:

1. EXISTING DIMENSIONS ARE FIELD MEASUREMENTS AND MAY VARY FROM SITE CONDITIONS.
2. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS OF THE EXISTING CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH FABRICATION.
3. ALL DIMENSIONS ARE FIELD MEASUREMENTS AND APPROXIMATE THE EXISTING PLAN, ELEVATIONS AND LAYOUT. NO PRECISION, ACCURACY NOR TOLERANCE IS IMPLIED IN THESE DIMENSIONS.
4. FIELD MEASUREMENTS OF EXISTING CONDITIONS HAVE INHERENT ERRORS THAT MUST BE CONFIRMED BY THE CONTRACTOR. THE PROFESSIONAL ENGINEER'S STAMP DOES NOT ASSUME LIABILITY OF ERROR FOR ANY FIELD MEASUREMENTS.

GEOTECHNICAL NOTES:

1. WATER TABLE/GROUND WATER ELEVATION IF ENCOUNTERED DURING CONSTRUCTION TO BE REPORTED TO THE PROJECT ENGINEER.
2. DEPTH OF BEDROCK IF ENCOUNTERED DURING CONSTRUCTION TO BE REPORTED TO THE PROJECT ENGINEER.

DRAINAGE NOTES:

1. SWALES ARE DESIGNED AS PER MOE STORMWATER MANAGEMENT PLANNING AND DESIGN MANUAL (SWMPDM), MARCH, 2003 AND CVC LID SWM GUIDELINES.
2. OPSD 1860 FOR CLASS II GEOTEXTILES SHALL BE USED, REFER TO CVC CWMPDG V1 2010.
3. INSPECTION AND MAINTENANCE SHALL BE AS PER CVC SWMPDG V1 2010 AS REQUIRED.
4. PLANTING SOIL: (I) USE FOR ENHANCED GRASS SWALES (II) HYDRAULIC CONDUCTIVITY, SATURATED (ASTM D2434) AT 85% MAXIMUM DRY DENSITY (ASTM D698) SHOULD BE OF 15 - 300 MM/H.
5. SAND: SHOULD BE COARSE AND HAVE A FINENESS MODULUS INDEX BETWEEN 2.8 AND 3.1 ACCORDING TO ASTM C33/C33M.
6. TOPSOIL: MUST CONTAIN AT LEAST 9%, AND NOT GREATER THAN 36% CLAY-SIZED PARTICLES AND HAVE A SODIUM ABSORPTION RATIO LESS THAN 15.

LOCATES & LIABILITY NOTES:

1. THE LOCATION OF ALL UNDER/ABOVE GROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. WHERE SHOWN ON THE DRAWING(S), THE ACCURACY OF THE LOCATION OF SUCH UTILITIES ARE NOT GUARANTEED.
2. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME LIABILITY FOR ALL DAMAGE OR RESTORATION TO SAME.

SITE INSPECTIONS

1. THE CONTRACTOR SHALL RETAIN A PROFESSIONAL ENGINEER TO PROVIDE GENERAL REVIEW SERVICES. AS PER OBC DIV C, 1.2.2.2(2), ONLY A PROFESSIONAL ENGINEER MAY CARRY OUT OR PROVIDE THE GENERAL REVIEW OF THE CONSTRUCTION OF A BUILDING:
  - 1.1. THAT IS CONSTRUCTED IN ACCORDANCE WITH A DESIGN PREPARED OR PROVIDED BY A PROFESSIONAL ENGINEER, OR
  - 1.2. IN RELATION TO SERVICES THAT ARE PROVIDED BY A PROFESSIONAL ENGINEER IN CONNECTION WITH THE DESIGN IN ACCORDANCE WITH WHICH THE BUILDING IS CONSTRUCTED.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE ALL REQUIRED SITE INSPECTIONS WITH A MINIMUM OF 2 WEEKS NOTICE TO THE DESIGNER.
3. REQUIRED SITE INSPECTIONS AND GENERAL REVIEWS BY AN ENGINEER INCLUDE:
  - 3.1. PRELIMINARY AND FINAL GRADING OF LID FEATURES (SWALES, INFILTRATION TRENCHES), AND,
  - 3.2. FINAL GRADING REVIEW.

EROSION CONTROL NOTES:

1. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL MEASURES AND REPAIR DEFICIENCIES WITHIN 24 HOURS.
2. INSTALL SILT FENCE ALONG THE PERIMETER OF THE SITE TO PREVENT SEDIMENT FROM LEAVING THE SITE DURING THE CONSTRUCTION PROCESS. THE MINIMUM EXTENTS OF THE SILT FENCING SHALL BE INSTALLED AS PER THE CONSTRUCTION DRAWINGS.
3. ALL DOWNGRAIENT PERIMETER SEDIMENT-CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND-DISTURBING ACTIVITY BEGINS ON THE SITE.
4. REMOVE TOPSOIL FROM THE SITE AND PLACE IN TEMPORARY STOCKPILE LOCATION. TEMPORARY SEED OR COVER THE STOCKPILE.
5. INSTALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, ELECTRIC AND PHONES) TAKING THE LOCATION AND FUNCTION OF STORM WATER AND EROSION MEASURES INTO CONSIDERATION.
6. COVER OR SEED AND MULCH DISTURBED AREAS ON SITE.
7. CONSTRUCT THE ROADS AND TEMPORARY ACCESS TAKING THE LOCATION AND FUNCTION OF STORM WATER AND EROSION MEASURES INTO CONSIDERATION.
8. PERFORM ALL OTHER SITE IMPROVEMENTS TAKING THE LOCATION AND FUNCTION OF THE STORM WATER AND EROSION MEASURES INTO CONSIDERATION.
9. STABILIZE THE SITE BY IMPLEMENTING THE NATIVE SEEDING AND PLANTING PORTION OF THE LANDSCAPING PLAN.
10. INSTALL THE EROSION CONTROL BLANKET AND COIR ROLL/CHECK DAMS PRIOR TO LAND DISTURBING ACTIVITIES.
11. REMOVE THE SILT FENCE AFTER THE SITE IS STABILIZED PER PROJECT ENGINEER APPROVAL.
12. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE PROTECTION FOR THE DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL AND INSTALLING SILT FENCES AND OTHER SEDIMENT AND EROSION CONTROL MEASURES.
13. WATERCOURSES SHALL NOT BE DIVERTED OR BLOCKED, AND TEMPORARY WATERCOURSE CROSSINGS SHALL NOT BE CONSTRUCTED OR UTILIZED UNLESS OTHERWISE SPECIFIED AND APPROVED BY GOVERNING AUTHORITIES. IF APPLICABLE, OPSS.MUNI 182 SHALL BE FOLLOWED FOR WORK IN AND AROUND WATER BODIES AND ON WATER BODY BANKS.
14. AT THE DISCRETION OF THE CONSERVATION AUTHORITY OR MUNICIPALITY, ADDITIONAL SILT CONTROL DEVICES INCLUDING SILT FENCE, RIP RAP AND ROCK FLOW CHECK DAMS SHALL BE INSTALLED AT DESIGNATED LOCATIONS.
15. THE FOLLOWING ONTARIO PROVINCIAL STANDARD DETAILS (OPSD) AND ONTARIO PROVINCIAL SPECIFICATION STANDARDS (OPSS) SHALL BE FOLLOWED:
  - 15.1. FOR HEAVY-DUTY SILT FENCE BARRIER, USE OPSD 219.130.
  - 15.2. FOR SANDBAG BARRIER, USE OPSD 219.150.
  - 15.3. FOR SANDBAG CHECK DAM, USE OPSD 219.200.
  - 15.4. FOR SILT FENCE CHECK DAM, USE OPSD 219.190.
  - 15.5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO OPSS.MUNI 805.
  - 15.6. REVEGETATION SHALL OCCUR AS PER OPSS.PROV 803 Section 803.07.
  - 15.7. PRESERVATION OF TREES SHALL BE AS PER OPSS.MUNI 801.
16. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AS PER OPSS.MUNI 805: PRIOR TO COMMENCEMENT OF EXCAVATION AND WORK THAT WILL DISTURB THE VEGETATION, AFTER SIGNIFICANT OR PROLONGED RAINFALL (AS DEFINED BY CONSERVATION AUTHORITY EROSION AND SEDIMENT CONTROL GUIDE), AND ON A CONTINUAL (DAILY) BASIS BY THE SITE CONTRACTOR.
17. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED TO PRESERVE INTEGRITY WITH WORN AREAS REPAIRED AS REQUIRED.
18. SEDIMENT THAT IS ACCUMULATED BY THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AS PER OPS.MUNI 805 IN A MANNER THAT AVOIDS ESCAPE OF THE SEDIMENT TO THE DOWNSTREAM SIDE OF THE CONTROL MEASURE AND AVOIDS DAMAGE TO THE CONTROL MEASURE.
19. REMOVAL OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO OPSS.MUNI 805.
20. INSPECTIONS AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DOCUMENTED AND MADE AVAILABLE TO THE AUTHORITY HAVING JURISDICTION OR THE ENGINEER UPON REQUEST.
21. POST-CONSTRUCTION STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE.
22. STOCKPILED MATERIAL IS TO BE STORED AWAY FROM POTENTIAL RECEIVERS (E.G. WATERCOURSES), AND BE SURROUNDED BY EROSION CONTROL MEASURES.
23. SILT AND OTHER DELETERIOUS MATERIAL NOT ACCEPTABLE FOR USE AS FILL SHALL BE DISPOSED OFF SITE AS PER OPSS.MUNI 180 AND IN ACCORDANCE WITH GOVERNING AUTHORITIES.

INDEX OF DRAWINGS

| Sheet List Table |                         |
|------------------|-------------------------|
| Sheet Number     | Sheet Title             |
| GA-0             | NOTES & SPECIFICATIONS  |
| C-1              | SITE PLAN               |
| C-2              | GRADING & DRAINAGE PLAN |
| C-3              | SITE SERVICING SKETCH   |

TYPICAL ABBREVIATIONS:

|         |                          |
|---------|--------------------------|
| MH      | MANHOLE                  |
| CRW     | CONCRETE RETAINING WALL  |
| TRW     | TIMBER RETAINING WALL    |
| SRW     | STONE RETAINING WALL     |
| T.B.C   | TO BE CONFIRMED          |
| T.B.R   | TO BE REMOVED            |
| INV     | INVERT                   |
| T/G     | TOP OF GRATE             |
| U/G     | UNDERGROUND              |
| O/H     | OVERHEAD                 |
| U/S FTG | UNDERSIDE OF FOOTING     |
| C/L     | CENTERLINE               |
| FF      | FINISHED FLOOR ELEVATION |
| EXIST.  | EXISTING                 |
| PROP.   | PROPOSED                 |
| PVT.    | PRIVATE                  |
| SWM     | STORMWATER MANAGEMENT    |



THIS DOCUMENT WAS DIGITALLY SEALED. CONTACT US TO VERIFY AUTHENTICITY. THIS DRAWING CANNOT BE RELIED UPON UNLESS SEALED AND SIGNED.

|     |     |               |                                            |
|-----|-----|---------------|--------------------------------------------|
|     |     |               |                                            |
|     |     |               |                                            |
|     |     |               |                                            |
|     |     |               |                                            |
|     |     |               |                                            |
| 2   | JH  | JUL. 20, 2026 | REVISED PER CITY COMMENTS & ISSUED FOR SPC |
| 1   | JH  | MAR. 12, 2026 | ISSUED FOR SITE PLAN CONTROL               |
| NO. | BY: | DATE:         | REVISION:                                  |

Intelligent, Intuitive, Inspired

IN

ENGINEERING + PLANNING

Planning  
Land Development  
Building Design  
Engineering

|                 |                |               |                   |
|-----------------|----------------|---------------|-------------------|
| REVIEWER<br>AFM | DESIGNER<br>JH | DRAFTER<br>JH | FILE NO.<br>12486 |
|-----------------|----------------|---------------|-------------------|

HIDDEN POND WINERY  
4011 VAUGHAN SIDE RD.  
CARP, ONTARIO  
K0A 1L0

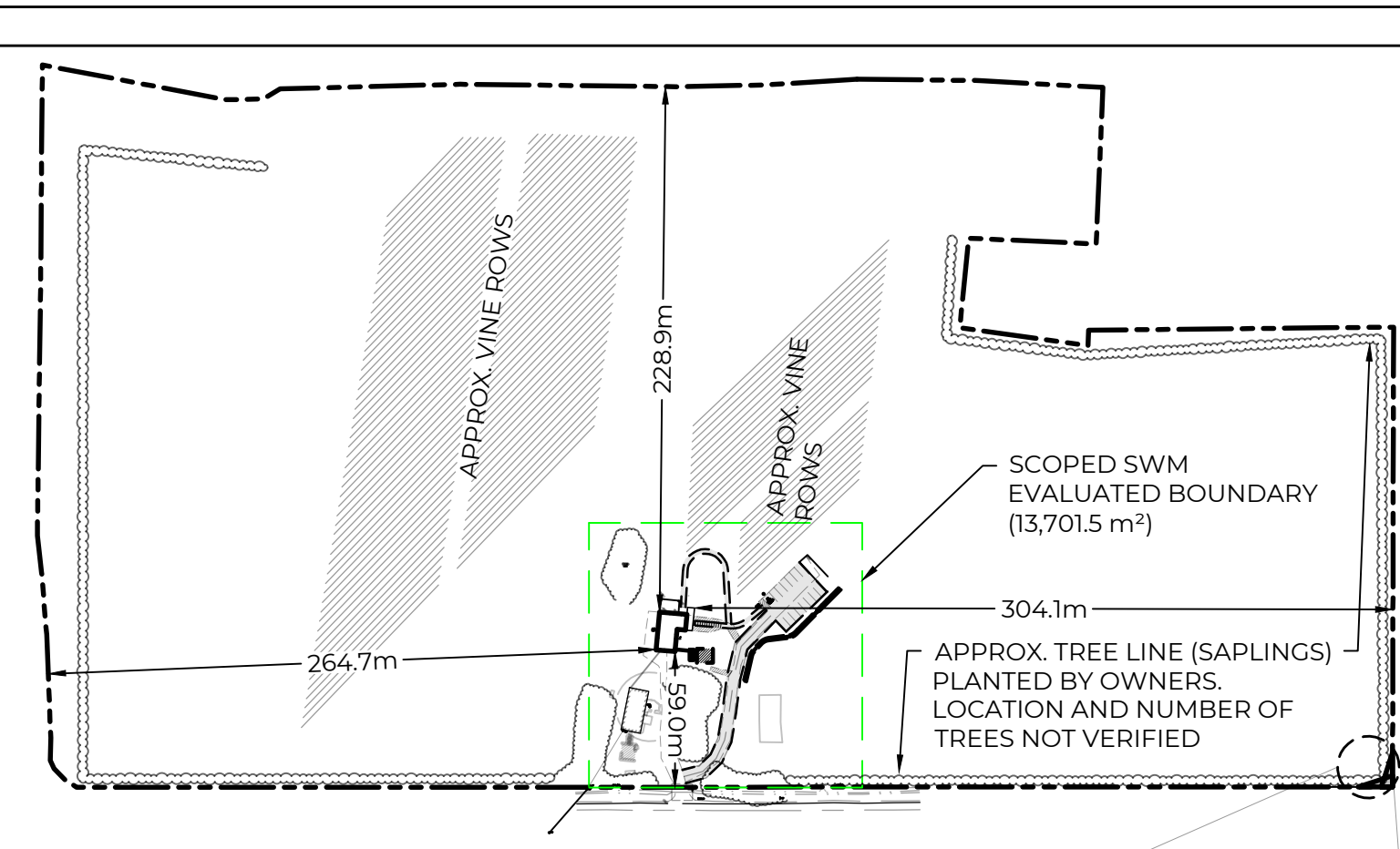
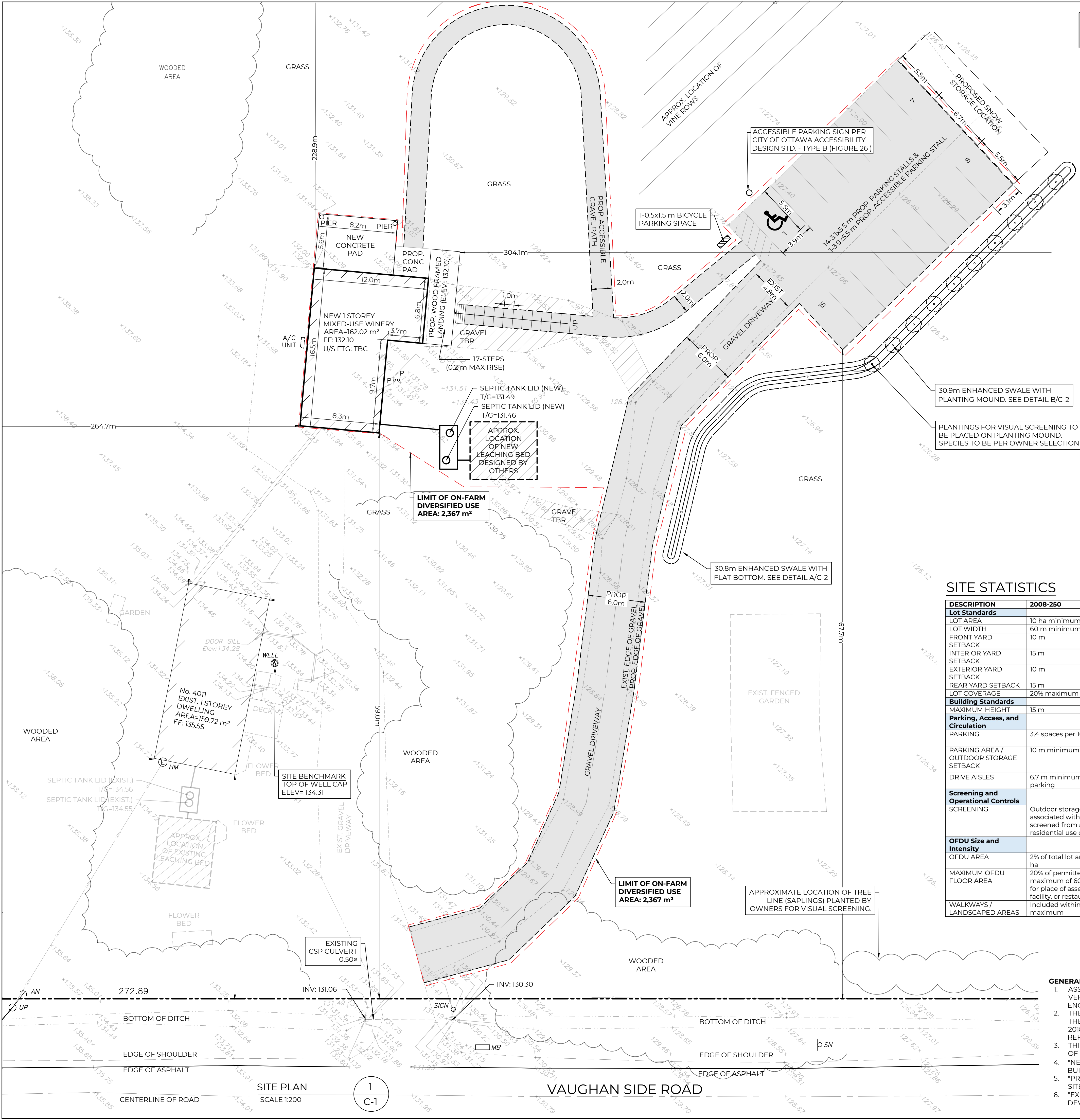
GENERAL ARRANGEMENT

NOTES & SPECIFICATIONS

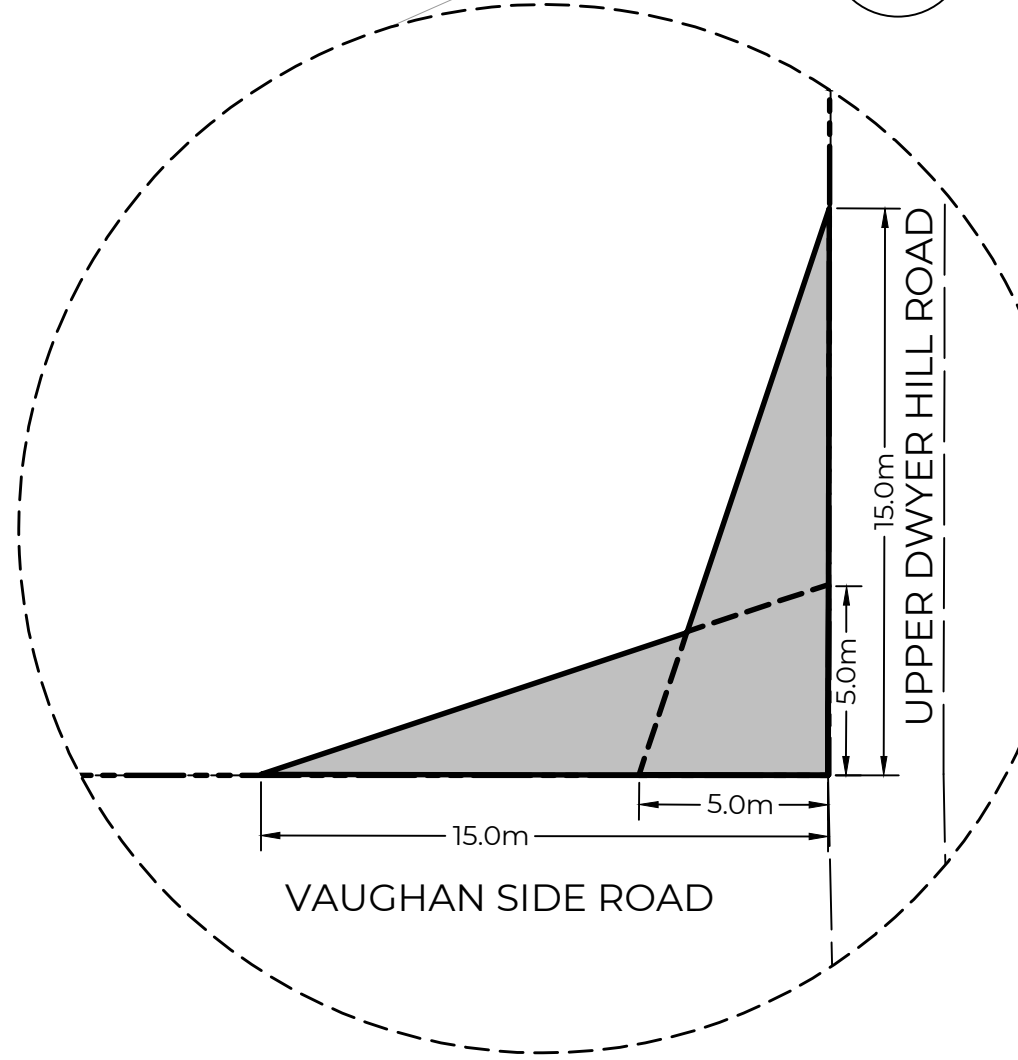
GA-0

FILE PLOTTED BY Alan P @ 7/20/2026 12:40 PM

THIS DOCUMENT IS PROTECTED BY COPYRIGHT 2026 © BY INEAS CORP. ALL RIGHTS RESERVED.



SITE PLAN - PROPERTY BOUNDARY & SETBACKS  
NTS



CORNER SITE TRIANGLE  
SCALE 1:200

SITE STATISTICS

| DESCRIPTION                               | 2008-250                                                                                                                              | 2026-050                                                                                                                             | PROVIDED                          |
|-------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|
| <b>Lot Standards</b>                      |                                                                                                                                       |                                                                                                                                      |                                   |
| LOT AREA                                  | 10 ha minimum                                                                                                                         | 10 ha minimum                                                                                                                        | No Change                         |
| LOT WIDTH                                 | 60 m minimum                                                                                                                          | 60 m minimum                                                                                                                         | No Change                         |
| FRONT YARD SETBACK                        | 10 m                                                                                                                                  | 10 m                                                                                                                                 | 59.0m                             |
| INTERIOR YARD SETBACK                     | 15 m                                                                                                                                  | 15 m                                                                                                                                 | 264.7m                            |
| EXTERIOR YARD SETBACK                     | 10 m                                                                                                                                  | 10 m                                                                                                                                 | 304.1m                            |
| REAR YARD SETBACK                         | 15 m                                                                                                                                  | 15 m                                                                                                                                 | 228.9m                            |
| LOT COVERAGE                              | 20% maximum                                                                                                                           | 20% maximum                                                                                                                          | 0.18%                             |
| <b>Building Standards</b>                 |                                                                                                                                       |                                                                                                                                      |                                   |
| MAXIMUM HEIGHT                            | 15 m                                                                                                                                  | 15 m                                                                                                                                 | No change                         |
| <b>Parking, Access, and Circulation</b>   |                                                                                                                                       |                                                                                                                                      |                                   |
| PARKING                                   | 3.4 spaces per 100 m² GFA                                                                                                             | 3.4 spaces per 100 m² GFA                                                                                                            | 15 total, 1 accessible            |
| PARKING AREA / OUTDOOR STORAGE SETBACK    | 10 m minimum from any lot line                                                                                                        | 10 m minimum from any lot line                                                                                                       | 67.7m                             |
| DRIVE AISLES                              | 6.7 m minimum aisle width for 90° parking                                                                                             | 6.7 m minimum aisle width for 90° parking                                                                                            | 6.7m                              |
| <b>Screening and Operational Controls</b> |                                                                                                                                       |                                                                                                                                      |                                   |
| SCREENING                                 | Outdoor storage and parking areas associated with an OFDU must be screened from a public street or residential use on an abutting lot | Screening required where visible from street or residential lot; no numeric minimum specified                                        | Provided                          |
| <b>OFDU Size and Intensity</b>            |                                                                                                                                       |                                                                                                                                      |                                   |
| OFDU AREA                                 | 2% of total lot area, to a maximum of 1 ha                                                                                            | 2% of total lot area, to a maximum of 1 ha                                                                                           | 1.46% (2,387 m² of 163,818.93 m²) |
| MAXIMUM OFDU FLOOR AREA                   | 20% of permitted OFDU area, to a maximum of 600 m²; 150 m² maximum for place of assembly, instructional facility, or restaurant uses  | 20% of permitted OFDU area, to a maximum of 600 m²; 150 m² maximum for place of assembly, instructional facility, or restaurant uses | 208.45 m²                         |
| WALKWAYS / LANDSCAPED AREAS               | Included within 2% OFDU area / 1 ha maximum                                                                                           | Included within 2% OFDU area / 1 ha maximum                                                                                          | Included                          |

- GENERAL NOTES:**
- ASSUMED CONDITIONS ARE ILLUSTRATED ON THE DRAWING. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
  - THE UNDERLYING SURVEY AND TOPOGRAPHIC INFORMATION IS DERIVED FROM THE PLAN OF SURVEY BY CALLON DIETZ, FILE NO. 18-0091, DATED OCTOBER 11, 2018, AND THE PARTIAL TOPOGRAPHIC SKETCH COMPLETED BY CALLON DIETZ, REF. NO. 25-27879, DATED NOV. 6, 2025.
  - THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE AFOREMENTIONED PLAN OF SURVEY AND TOPOGRAPHIC SKETCH.
  - "NEW" REFERS TO RECENT/EXISTING DEVELOPMENT UNDER THE SEPARATE BUILDING PERMIT ISSUED FOR THE CONSTRUCTION OF THE WINERY BUILDING.
  - "PROP." OR "PROPOSED" REFERS TO PROPOSED CONDITIONS INCLUDED IN THIS SITE PLAN CONTROL APPLICATION FOR THE CHANGE OF USE.
  - "EXIST." OR "EXISTING" REFERS TO EXISTING CONDITIONS (PRIOR TO WINERY DEVELOPMENT).

**KEY PLAN**  
NTS

**ORIENTATION**

**SITE SYMBOL LEGEND**

|            |                             |
|------------|-----------------------------|
| ○ UP       | EXISTING UTILITY POLE       |
| □ MB       | EXISTING MAIL BOX           |
| ⊙ SN       | EXISTING SIGN               |
| ⊙ WELL     | EXISTING WELL               |
| ⊙ HM       | EXISTING HYDRO METER        |
| — XX.X m — | SETBACK DISTANCE            |
| ---        | EXISTING FENCE              |
| ---        | PROPERTY LINE               |
| ---        | BOTTOM OF DITCH             |
| ---        | C/L OF ROAD                 |
| ---        | EXISTING EDGE OF GRAVEL     |
| ---        | PROPOSED C/L SWALE          |
| ---        | PROPOSED PLANTING           |
| ---        | APPROX. WATER SERVICING     |
| ---        | APPROX. U/G HYDRO SERVICING |
| ---        | NEW BUILDING                |
| ---        | EXISTING BUILDING           |
| ---        | PROPOSED GRAVEL             |

THIS DOCUMENT WAS DIGITALLY SEALED. CONTACT US TO VERIFY AUTHENTICITY. THIS DRAWING CANNOT BE RELIED UPON UNLESS SEALED AND SIGNED.

|     |     |               |                                            |
|-----|-----|---------------|--------------------------------------------|
|     |     |               |                                            |
|     |     |               |                                            |
|     |     |               |                                            |
|     |     |               |                                            |
|     |     |               |                                            |
| 2   | JH  | JUL. 20, 2026 | REVISED PER CITY COMMENTS & ISSUED FOR SPC |
| 1   | JH  | MAR. 12, 2026 | ISSUED FOR SITE PLAN CONTROL               |
| NO. | BY: | DATE:         | REVISION:                                  |

*Intelligent, Intuitive, Inspired*

**ENGINEERING + PLANNING**

Planning  
Land Development  
Building Design  
Engineering

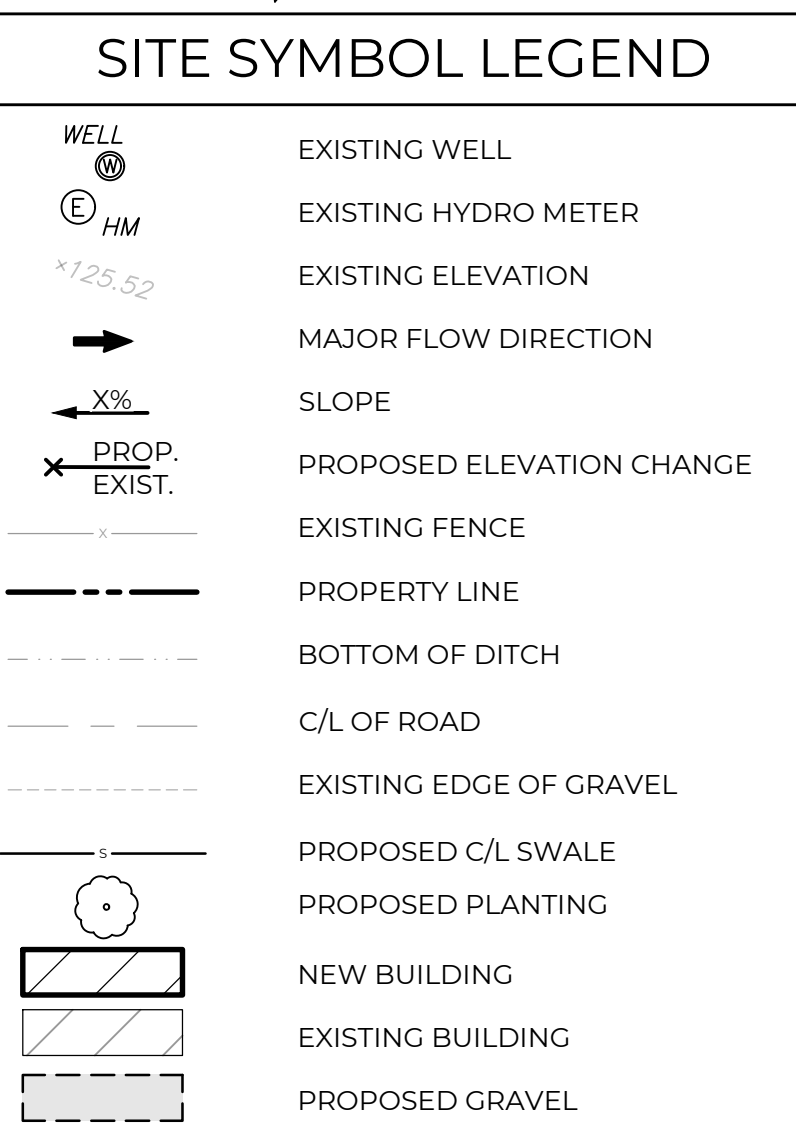
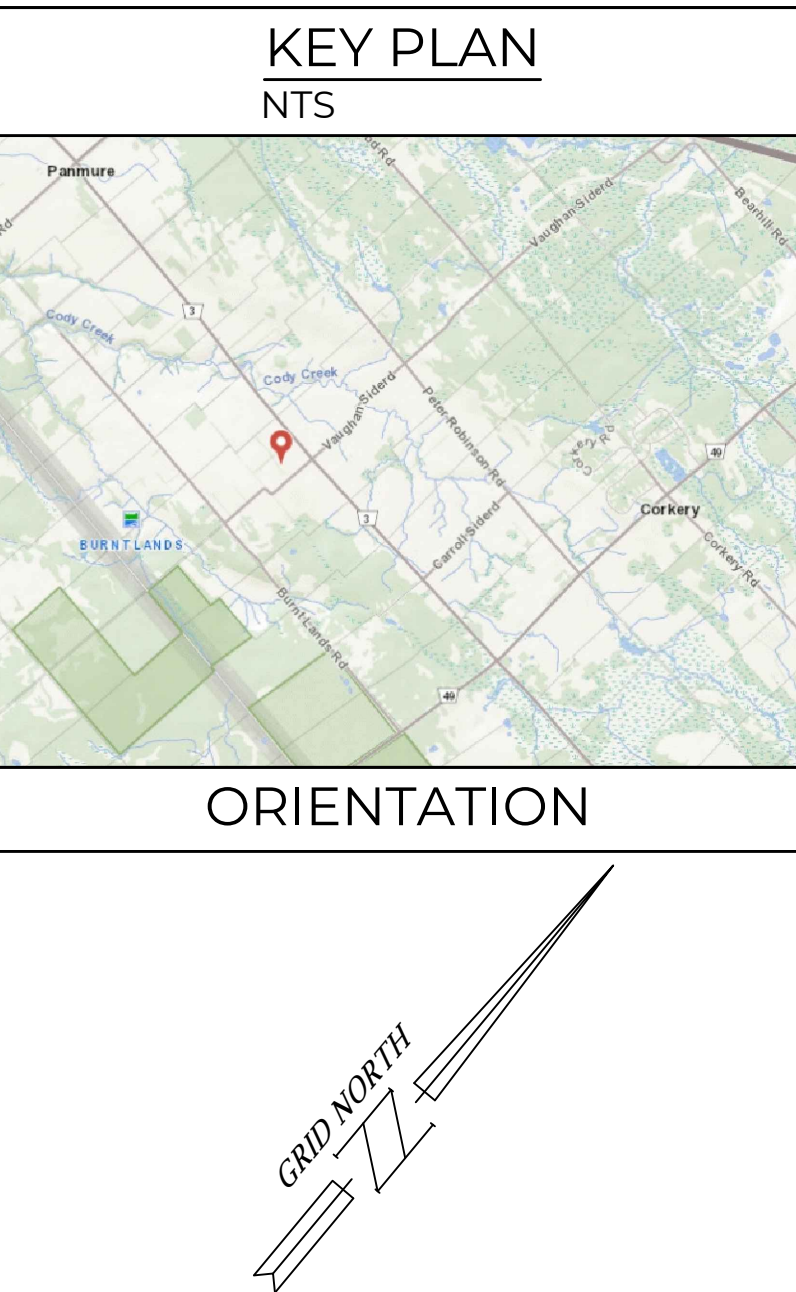
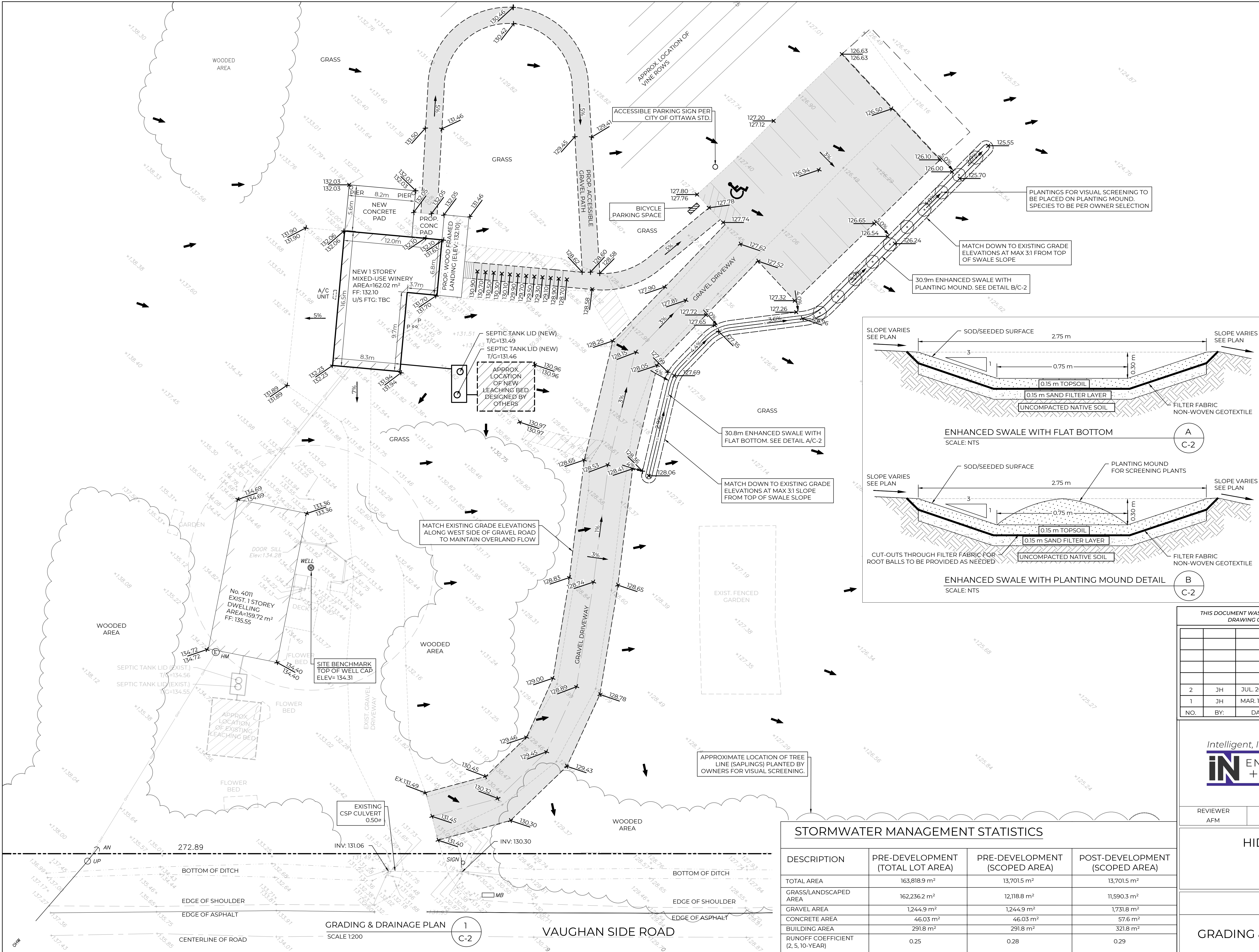
|                 |                |               |                   |
|-----------------|----------------|---------------|-------------------|
| REVIEWER<br>AFM | DESIGNER<br>JH | DRAFTER<br>JH | FILE NO.<br>12486 |
|-----------------|----------------|---------------|-------------------|

**HIDDEN POND WINERY**  
4011 VAUGHAN SIDE RD.  
CARP, ONTARIO  
K0A 1L0

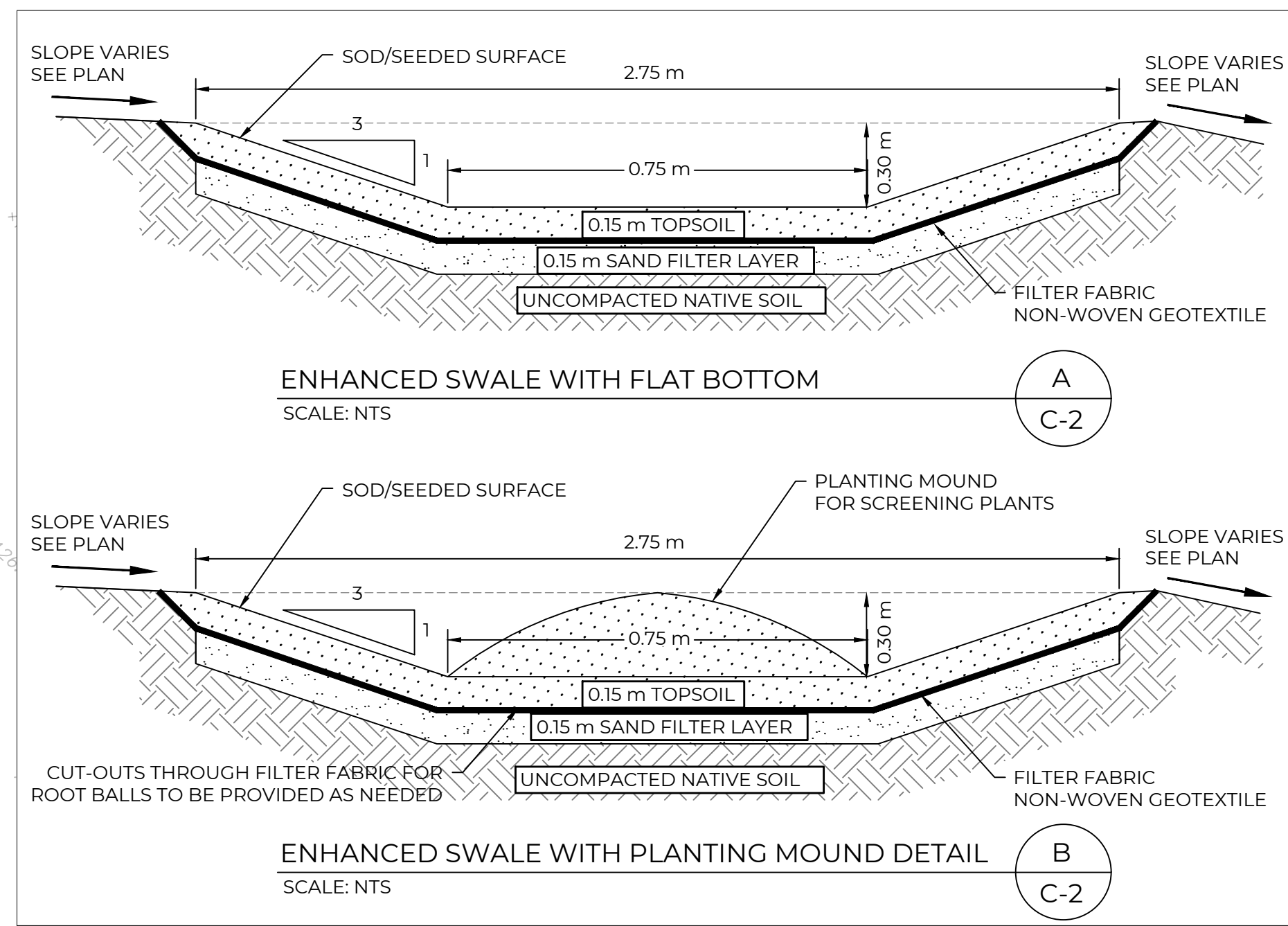
**CIVIL**

**SITE PLAN**

**C-1**



IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.



| STORMWATER MANAGEMENT STATISTICS   |                                  |                               |                                |
|------------------------------------|----------------------------------|-------------------------------|--------------------------------|
| DESCRIPTION                        | PRE-DEVELOPMENT (TOTAL LOT AREA) | PRE-DEVELOPMENT (SCOPED AREA) | POST-DEVELOPMENT (SCOPED AREA) |
| TOTAL AREA                         | 163,818.9 m²                     | 13,701.5 m²                   | 13,701.5 m²                    |
| GRASS/LANDSCAPED AREA              | 162,236.2 m²                     | 12,118.8 m²                   | 11,590.3 m²                    |
| GRAVEL AREA                        | 1,244.9 m²                       | 1,244.9 m²                    | 1,731.8 m²                     |
| CONCRETE AREA                      | 46.03 m²                         | 46.03 m²                      | 57.6 m²                        |
| BUILDING AREA                      | 291.8 m²                         | 291.8 m²                      | 321.8 m²                       |
| RUNOFF COEFFICIENT (2, 5, 10-YEAR) | 0.25                             | 0.28                          | 0.29                           |

| THIS DOCUMENT WAS DIGITALLY SEALED. CONTACT US TO VERIFY AUTHENTICITY. THIS DRAWING CANNOT BE RELIED UPON UNLESS SEALED AND SIGNED. |     |               |                                            |
|-------------------------------------------------------------------------------------------------------------------------------------|-----|---------------|--------------------------------------------|
|                                                                                                                                     |     |               |                                            |
|                                                                                                                                     |     |               |                                            |
|                                                                                                                                     |     |               |                                            |
|                                                                                                                                     |     |               |                                            |
| 2                                                                                                                                   | JH  | JUL. 20, 2026 | REVISED PER CITY COMMENTS & ISSUED FOR SPC |
| 1                                                                                                                                   | JH  | MAR. 12, 2026 | ISSUED FOR SITE PLAN CONTROL               |
| NO.                                                                                                                                 | BY: | DATE:         | REVISION:                                  |

Intelligent, Intuitive, Inspired

**ENGINEERING + PLANNING**

Planning  
Land Development  
Building Design  
Engineering

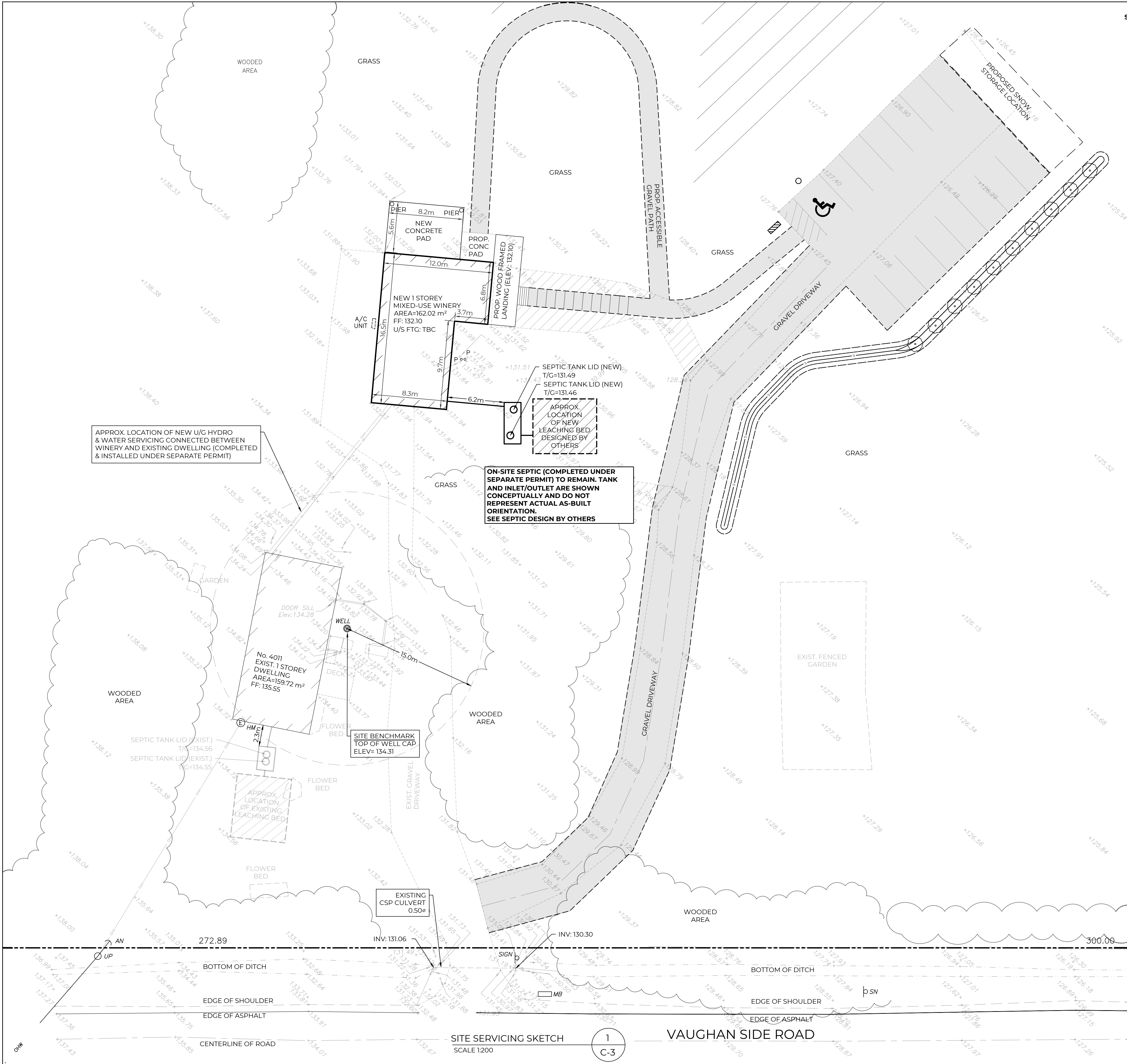
|                 |                |               |                   |
|-----------------|----------------|---------------|-------------------|
| REVIEWER<br>AFM | DESIGNER<br>JH | DRAFTER<br>JH | FILE NO.<br>12486 |
|-----------------|----------------|---------------|-------------------|

HIDDEN POND WINERY  
4011 VAUGHAN SIDE RD.  
CARP, ONTARIO  
K0A 1L0

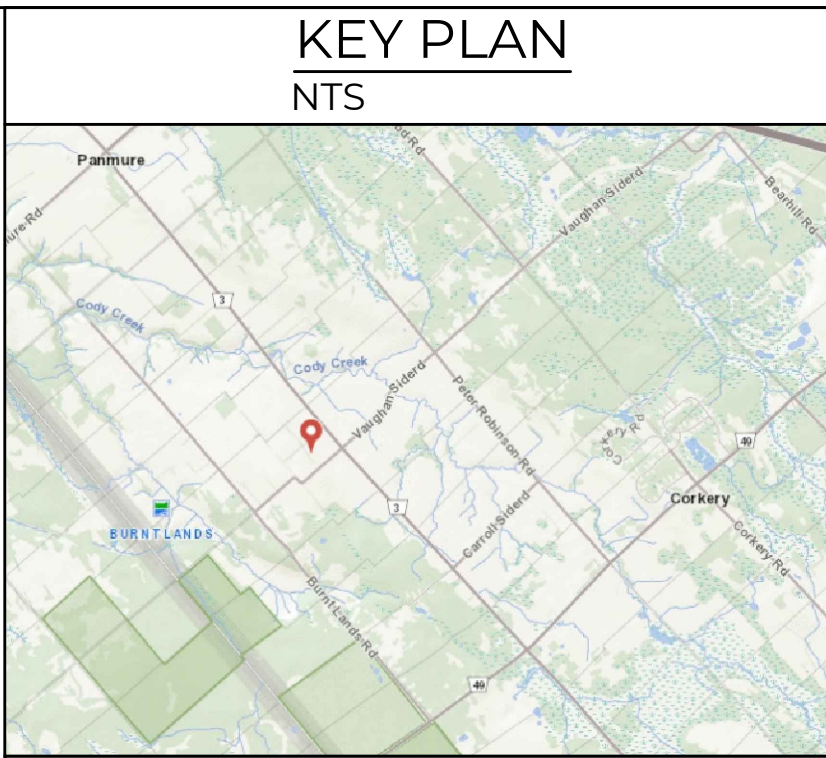
CIVIL

GRADING & DRAINAGE PLAN

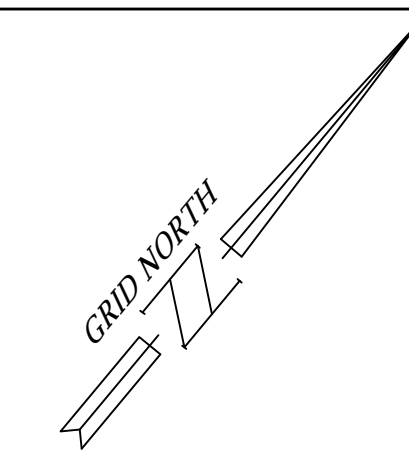
C-2



- SERVICING NOTES:**
- "NEW" REFERS TO RECENT/EXISTING DEVELOPMENT UNDER THE SEPARATE BUILDING PERMIT ISSUED FOR THE CONSTRUCTION OF THE WINERY BUILDING.
  - "PROP." OR "PROPOSED" REFERS TO PROPOSED CONDITIONS INCLUDED IN THIS SITE PLAN CONTROL APPLICATION FOR THE CHANCE OF USE.
  - "EXIST." OR "EXISTING" REFERS TO EXISTING CONDITIONS (PRIOR TO WINERY DEVELOPMENT).
  - THE LOCATION OF ALL UNDER/ABOVE GROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY, WHERE SHOWN ON THE DRAWING(S), THE ACCURACY OF THE LOCATION OF SUCH UTILITIES ARE NOT GUARANTEED.
  - THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME LIABILITY FOR ALL DAMAGE OR RESTORATION TO SAME.

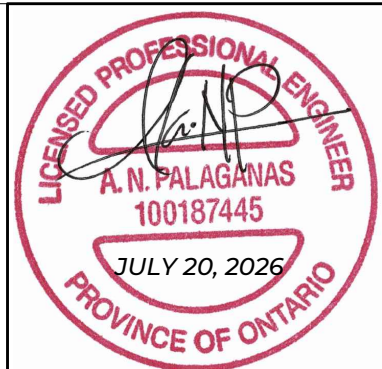


KEY PLAN  
NTS



ORIENTATION

| SITE SYMBOL LEGEND |                                            |
|--------------------|--------------------------------------------|
|                    | EXISTING WELL                              |
|                    | EXISTING HYDRO METER                       |
|                    | EXISTING ELEVATION                         |
|                    | EXISTING FENCE                             |
|                    | PROPERTY LINE                              |
|                    | BOTTOM OF DITCH                            |
|                    | C/L OF ROAD                                |
|                    | EXISTING EDGE OF GRAVEL                    |
|                    | PROPOSED C/L SWALE                         |
|                    | APPROX. WATER SERVICING                    |
|                    | APPROX. U/G HYDRO SERVICING                |
|                    | APPROXIMATE EXISTING SEPTIC FIELD BOUNDARY |
|                    | APPROXIMATE NEW SEPTIC FIELD BOUNDARY      |
|                    | NEW BUILDING                               |
|                    | EXISTING BUILDING                          |



THIS DOCUMENT WAS DIGITALLY SEALED. CONTACT US TO VERIFY AUTHENTICITY. THIS DRAWING CANNOT BE RELIED UPON UNLESS SEALED AND SIGNED.

| NO. | BY: | DATE:         | REVISION:                                  |
|-----|-----|---------------|--------------------------------------------|
| 2   | JH  | JUL. 20, 2026 | REVISED PER CITY COMMENTS & ISSUED FOR SPC |
| 1   | JH  | MAR. 12, 2026 | ISSUED FOR SITE PLAN CONTROL               |

**ENGINEERING + PLANNING**

Planning  
Land Development  
Building Design  
Engineering

| REVIEWER | DESIGNER | DRAFTER | FILE NO. |
|----------|----------|---------|----------|
| AFM      | JH       | JH      | 12486    |

**HIDDEN POND WINERY**  
4011 VAUGHAN SIDE RD.  
CARP, ONTARIO  
K0A 1L0

| CIVIL                 |     |
|-----------------------|-----|
| SITE SERVICING SKETCH | C-3 |

IF THIS BAR IS NOT  
25mm LONG, ADJUST  
YOUR PLOTTING SCALE.