

Mixed-Use Medical Facility

5580 Manotick Main Street, Manotick ON

Urban Design Brief

November 28, 2025



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Prepared for Abdulla Real Estate Holdings

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1 Introduction

Arcadis Professional Services (Canada) Inc. (“Arcadis” or the “Agent”) was retained by Abdulla Real Estate Holdings (the “Client”) for an urban design brief for the site municipally known as 5580 Manotick Main St. (the ‘site’, or ‘subject site’). The site presently contains a two-storey building which is vacant and formerly contained a personal service business (hair salon) and residential use, as well as accessory buildings in the rear yard. The site is irregularly shaped with an angled front lot line (east), and a “zig-zag” articulation in the rear yard (west) that results in a shallower lot depth along the north side of the property, then deepens towards the south side. The site is serviced by municipal water and sewer. The proposal is to construct a new three-storey mixed-use facility featuring at-grade commercial (pharmacy), office space, and a medical clinic. A total of 15 parking spaces are proposed for the uses.

1.1 Project Overview

The subject site is situated on the southwest side of Manotick Main Street, southwest of the intersection of Carrier Street and northeast of the intersection of Eastman Avenue. The proposed development is to construct a new three-storey mixed-use building which will contain a ground-floor commercial space (pharmacy), offices, and a medical clinic. The generally rectangular-shaped building is oriented towards the south side of the property in response to the irregular lot depth of the site, and the north side contains the proposed parking lot. The parking lot is bordered by a retaining wall which addresses the site grading challenges. A total of 15 parking spaces are provided, included one barrier free space near the entrance of the building.

The total building footprint is proposed to be 312.6 m² with a Gross Floor Area of 1,069.6 m². The front façade features two storeys of window glazing to activate and animate the street frontage, and a canopy across the entrance. The façade materiality is a mix of wood-like siding and aluminum siding which respects the rural village character.

Soft landscaping is provided where possible bordering the interior side yards and rear yards of the property, though a retaining wall is required to manage on-site grading challenges along the rear and north lot lines. The front yard is softly landscaped with the exception of the entrance to the building and proposed bike parking area, and plantings are provided between the right of way protection and the street. Please refer to Section 4 for more details on the proposed development.

The site and development statistics are presented in Table 1 below, and the proposed building statistics are presented in Table 2. Renderings prepared by Ignite Architecture are presented in Figure 1 through Figure 10.

Table 1. Site & development statistics

Site & Development Statistics			
Lot Area	1016.6 m ²	Rear Yard Setback	1.2 m
Lot Width	31.85 m	Parking Spaces	15 spaces
Front Yard Setback	3 m	Barrier Free Spaces	1 space
Right of Way Setback (From Centreline)	10.23 m	Parking Landscaping	20.4%
Interior Side Yard Setback	1.2 m	Waste Storage	Outdoors, Screened

Table 2. Building statistics

Building Statistics			
Basement Floor Area	312.6 m ²	Pharmacy	93 m ² (First Floor)
Ground Floor Area	312.6 m ²	Office (1)	46.5 m ² (Ground Floor)
Second Floor Area	312.6 m ²	Office (2)	52.7 m ² (Ground Floor)
Third Floor Area	131.8 m ²	Office (3)	46.5 m ² (Second Floor)
Gross Floor Area	1069.6 m ²	Medical Suite	175.8 m ² (Second Floor)
Building Height	12.5 m	Office (4)	78.96 m ² (Third Floor)



Figure 1. View from Manotick Main Street.



Figure 2. View from Manotick Main Street.



Figure 3. View from Manotick Main Street.



Figure 4. View of north elevation.



Figure 5. View of proposed parking.



Figure 6. View of west elevation.



Figure 7. View of south elevation.



Figure 8. View of the rooftop.



Figure 9. View of parking lot gabion wall.



Figure 10. View of parking lot gabion wall.

2 Design Directives

2.1 Official Plan Design Policies

The proposed development adheres to the design policies set out in the Official Plan, as presented in the sections to follow.

2.2.4 Healthy and Inclusive Communities

1) Encourage development of healthy, walkable, 15-minute neighbourhoods that feature a range of housing options, supporting services and amenities. *Healthy, walkable, 15-minute neighbourhoods are compact, well-connected places with a clustering of a diverse mix of land uses; this includes a range of housing types and affordability, shops, services, access to food, schools and local childcare, employment, greenspaces, parks and pathways. They are complete communities that support active transportation and transit, reduce car dependency and enable people to live car-light or car-free.*

15-minute neighbourhoods allow people to walk to meet their daily or weekly needs by bringing destinations closer together. They enable easy, safe and enjoyable connections between destinations (See Figure 5).

15-minute neighbourhoods are an important strategy for creating the conditions for healthier, more sustainable neighbourhoods. 15-minute neighbourhoods promote social and physical health as they help make the healthy choice the easier choice. They also foster health through supporting community identity, cultural expression, social connections and advance equity and inclusion goals. They help reduce greenhouse gas emissions through enabling the use of sustainable transportation modes and decreasing reliance on personal vehicles. 15-minute neighbourhoods support resiliency to major disruptors and events such as pandemics by promoting sustainability, social cohesion, ensuring that people have local access to goods and services within their community using sustainable transportation modes and opportunities for exposure to nature.

Urban Design:

- *High-quality, human scale urban design that creates a sense of place. This includes a vibrant public realm, with streets, trees, gathering places and local amenities that are shaded and green. This will change the way the spaces on streets are allocated on a temporary basis through events or pilot projects and on a permanent basis where Council approves a permanent rebalancing, such as a woonerf, that is consistent with transportation plans; and*

- *A public realm that fosters social connections by inviting people to be in, rather than only travel through places, in all seasons.*

11.1 Set the stage for Site Plan Control requirements and provisions

3) To achieve environmentally sustainable development, the City may adopt a High-Performance Development Standard. Once adopted, the City may use Subsection 41(4.1.1) of the Planning Act, including residential buildings containing fewer than 25 dwelling units, to secure the following sustainable and resilient design features in development that address exterior building and site matters as may be set out in such Standard, as part of developments which meet thresholds of Policy 2 a), b) and c) above:

- a) Weather-protected on-site bicycle areas and pedestrian-friendly infrastructure to encourage cycling and walking and to reduce emissions from transportation;*
- c) Active and passive design measures to improve energy efficiency and reduce peak demand such as building orientation to take advantage of passive solar heating, shading for cooling and natural light and energy efficient exterior cladding and window treatments;*
- e) Low Impact Development and other nature-based approaches to manage stormwater and mitigate flood risks where feasible, and reduce demand for potable water;*
- f) Trees to enhance the urban forest and use of native species to protect, restore and enhance the natural heritage system;*
- g) Bird-safe glass treatment to minimize the risk for bird collisions and energy efficient, shielded exterior lighting to reduce nighttime glare and light trespass;*
- h) Dedicated areas for collection and storage of recycling and organic waste to increase waste diversion; and*
- i) Enhanced human health by increasing opportunities for physical activity, mitigating impacts of air pollution, requiring passive cooling strategies such as operable windows and shade to mitigate against extreme heat and promoting access to food.*

→ **The proposed development follows the above-noted policies related to provision of 15-minute communities with the introduction of a new mixed use building including medical facility, pharmacy, and offices, which establishes a needed public service within the community (health care) and allows patrons to work closer to their homes (office space). The development provides bicycle parking, pedestrian connectivity, and enclosed waste/recycling storage for the units. The development also introduces soft landscaping where feasible. Most importantly, the medical facility is an essential use which ultimately serves and benefits the local community and allows residents access to health care within their neighbourhood. This is done via a context-sensitive building design and high quality built form that respects the surrounding village character.**

2.2 Urban Design Guidelines

Section 4.6 of the Official Plan (OP) outlines a comprehensive framework for urban design, closely aligned with the City's urban design program and initiatives. This framework delineates between different types of urban and rural areas, with mention of Tier 3 areas. This Tier, exemplified by village cores like Manotick, hold potential in shaping Ottawa's local identity in the future. Additionally, they serve as vital centers of economic activity. Specifically, Tier 3 areas encompass mostly commercial streets characterized by a suburban built environment that has the potential to evolve into a more pedestrian-friendly, walkable setting.

4.6.5 Ensure effective site planning that supports the objectives of Corridors, Hubs, Neighbourhoods and the character of our villages and rural landscapes

2) *Development in Hubs and along Corridors shall respond to context, transect area and overlay policies. The development should generally be located to frame the adjacent street, park or greenspace, and should provide an appropriate setback within the street context, with clearly visible main entrances from public sidewalks. Visual impacts associated with above grade utilities should be mitigated.*

4) *Development shall demonstrate universal accessibility, in accordance with the City's Accessibility Design Standards. Designing universally accessible places ensures that the built environment addresses the needs of diverse users and provides a healthy, equitable and inclusive environment.*

4.6.6 Enable the sensitive integration of new development of Low-rise, Mid-rise and High-rise buildings to ensure Ottawa meets its intensification targets while considering liveability for all

6) *Low-rise buildings shall be designed to respond to context, and transect area policies, and shall include areas for soft landscaping, main entrances at-grade, front porches or balconies, where appropriate. Buildings shall integrate architecturally to complement the surrounding context.*

→ **The proposed development implements several of the Urban Design Guidelines specified in the OP, including contributing to healthy communities through the provision of 15-minute neighbourhoods with a new medical facility use and pharmacy. The development establishes an appropriate setback from the street which provides required right-of-way protection for the future widening of Manotick Main streets and incorporates an accessible pathway leading to the building. The design includes soft landscaping where possible and context-sensitive architecture that responds to the site's layout and orientation. The proposed materials complement the neighbourhood character and aesthetics, enhancing the overall streetscape environment and contributing to the rural village surroundings.**

2.3 Design Guidelines for Rural Villages

The Design Guidelines for Rural Villages set out in the OP set out the following objectives for Rural Villages:

- *To promote development that acknowledges the unique traditions, culture, history and familiar character that defines Villages*
- *To promote development that reinforces the quality and diversity of heritage buildings*
- *To promote development that strengthens Village cores as the focus of where people live, work, play and gather*
- *To maintain and promote relatively low-density and small-scale development*
- *To promote development that enhances the existing links between Villages and nature, water, clean air and the countryside*

A series of guidelines create a framework for Community Layout Design in Villages, and applicable guidelines to the proposed development are as follows:

Guideline 1: *Define community entry points such as major entranceways. Entry point features should reflect village character and may include elements such as landscaping, lighting, public art and signage.*

Guideline 2: *Ensure new development respects the natural topography of land, and integrates existing landforms such as hills, terraces, cliffs, valleys, rocky outcrops and watercourses. Avoid altering natural terrain to accommodate development.*

Guideline 7: *Concentrate a mix of uses – commercial, residential, recreational and institutional – within the village core. Locating uses within walking distance of each other strengthens community interaction and viability. The development of “big-box” stores on the periphery of the village or just outside the village boundaries is discouraged.*

Guidelines for Heritage and Architecture in Villages:

Guideline 18: Consider using a historic palate with complimentary colours for new buildings developed in older areas and village cores. Historic colours can be rich, neutral tones inspired by the original colours found on old village homes and historical buildings.

Guidelines for Built Form in Villages:

Guideline 20: Ensure new buildings are compatible with adjacent development by using a common scale, massing and height to complement the existing context. New buildings, including gas stations, should respond to the village context.

Guideline 22: Avoid developing buildings with blank facades along public rights-of-way. New buildings should follow the existing architectural pattern and rhythm established by adjacent development. Visually divide large facades into smaller sections using a human-scale, windows, bays and articulation to reduce the perception of massing.

Guideline 23: Orient buildings to frame the street. Primary façades should parallel the street and entries should be clearly visible and connect to the public sidewalk.

Guideline 26: Set back garages from principal buildings and/or locate parking to the side or rear of principal buildings. Proper orientation of parking mitigates its impact on the public street.

Guidelines for Streetscape in Villages:

Guideline 28: Develop lively frontages along mainstreets to support pedestrian activity. Lively, active frontages may be characterised by a human-scale, reduced building setbacks, visible entries, wide sidewalks, highly transparent facades, patios and varied decorative paving. Clearance requirements for at-grade and overhead utility distribution equipment shall be respected.

Guideline 32: Encourage the use of awnings, seasonal plantings and/or signage in storefront design along mainstreets to add visual interest to streetscape. Attachments made to hydro poles shall follow the requirements of affected utility providers.

→ **The proposed development implements the design guidelines for Rural Villages by contributing a mix of small format commercial, and community-benefiting uses in the village. The front façade features fenestration that activates and animates the streetscape, with a canopy to draw focus to the entrance. The proposed materiality is of natural colour tones and look to respect the rural village context. Overall, the proposed development adheres to the Design Guidelines for Rural Villages.**

2.4 Manotick Secondary Plan Design Guidelines

The subject site is designated as Village Core in the Manotick Secondary Plan, which sets out the following applicable guidelines:

3) *The design priority areas consist of the Main Street, Bridge Street and the Historic Village character areas. Design review will focus on achieving streetscape improvements and high design standards for both public and private sector development projects.*

5) *Development in the Village Core will contribute to a lively pedestrian-oriented environment.*

7) *New buildings will be designed to be pedestrian oriented, which includes providing entrances and clear windows that face the street.*

10) *New development and additions should be of their own time and reflect existing heritage and rural character by using design elements, colours and materials inspired by buildings in the village, such as clay brick, stone, wood or high-quality modern materials which complement existing elements in the area.*

11) Building walls visible to the public should be articulated and designed to enhance the public realm, and not be left blank.

18) Permitted uses in the Main Street character area will include a variety of commercial uses such as retail, office and personal service uses, and institutional uses.

→ The proposed development adheres to the principles outlined in the Secondary Plan Village Core guidelines by emphasizing high-quality design standards. By fostering a pedestrian-friendly environment and ensuring that building entrance and windows face the street, the design promotes an active street frontage that contributes to the animation of Manotick Main Street. The proposed wood-tone materiality on the front façade draws inspiration from the heritage and rural character of the village. Open fenestration of the front façade and a canopy over the front entrance enhance the public realm. The development also contributes to a range of uses include a medical facility which will significantly benefit the surrounding community.

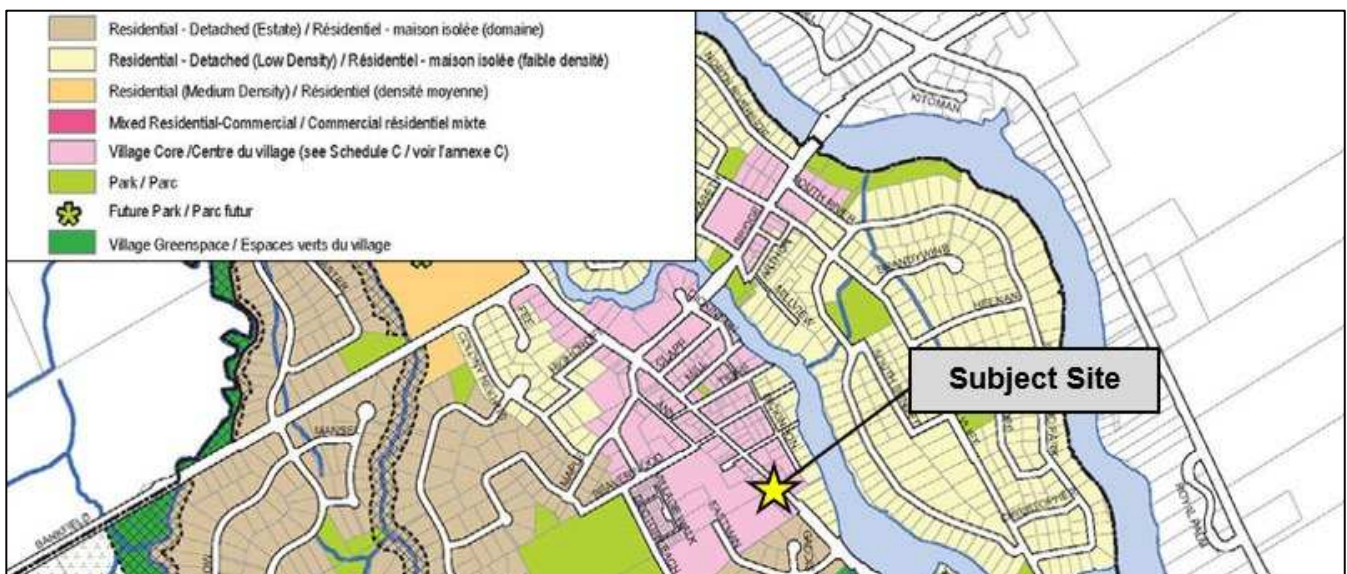


Figure 11. Schedule A, Manotick Secondary Plan – Designation Plan

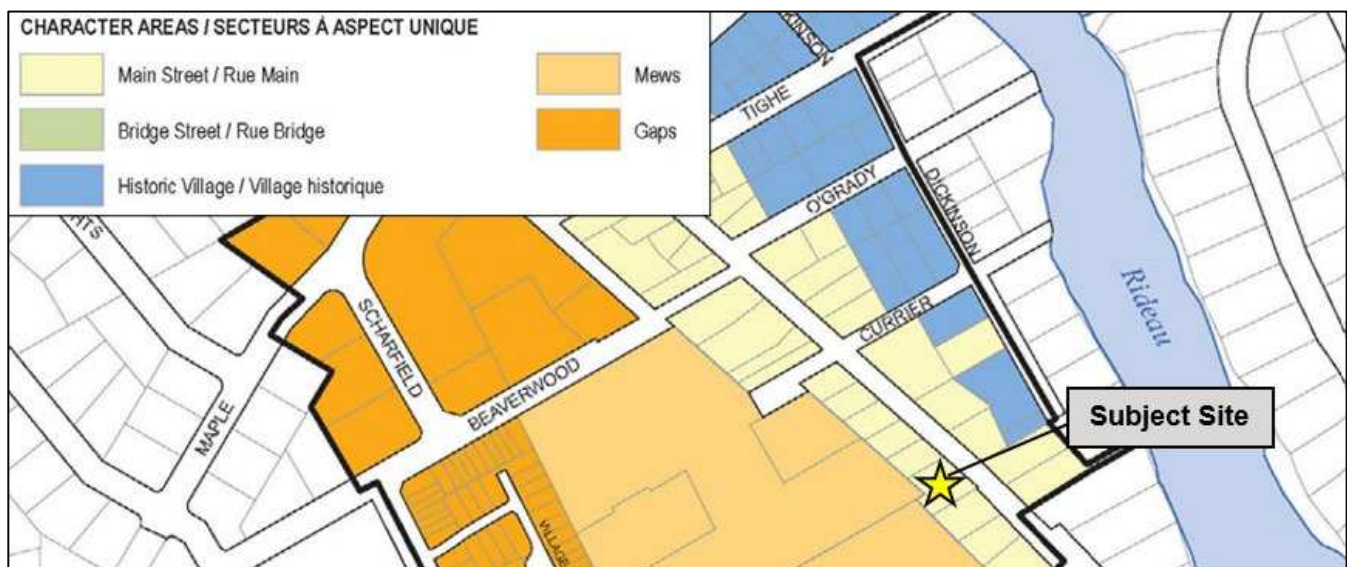


Figure 12. Schedule B, Manotick Secondary Plan – Village Core Character Areas

2.5 Pre-Application Consultation Comments & Responses

Table 3: Urban Design Comments from City of Ottawa Staff (Nader Kadri)

Comments	Response
Design Brief required – please see attached TOR.	Noted.
Design Priority Area – UDRP review may be required subject to the plans provided as part of your next pre-consultation review.	Noted.
Please explore the potential to reorient the building so that it has a greater presence along Manotick Main Street.	Multiple design iterations were explored to determine the most appropriate design solution for the site. Due to the irregular lot shape, right-of-way protection requirements, site grading challenges, and the need for parking for the medical facility use, the design as presented is the most effective development option on the lot. The front façade of the building will be glazed to activate the frontage and features a canopy to animate the entrance.
Please ensure that the ground floor has transparent windows and active uses facing out onto Manotick Main Street.	The front façade features two levels of transparent windows, on the first and second storeys, for animation of Manotick Main Street.
Please confirm that the public realm will be bolstered with an accessible sidewalk and street trees.	The entrance of the building features a large paved area which is accessible, directly from the barrier free parking space. The front yard features plantings and soft landscaping. Given the required substantial right-of-way protection on this site, opportunities for front yard plantings are limited.
Please consider context when selecting materials for the building, especially facing out to Manotick Main Street.	The exterior materiality is proposed to be a mix wood-like siding, aluminum siding and hardie board panels. The front façade in particular features windows/open glazing and wood-like siding which reflects and respects the rural character of Manotick Main Street.
Please bolster sustainability where possible – light material choices for roof, green roof if possible, triple pane windows, permeable paving surfaces, etc.	Noted.

3 Subject Site and Surrounding Context

3.1 Subject Site

As previously noted, the subject site is municipally known as 5580 Manotick Main Street, situated on the west side of Manotick Main Street, in the Village of Manotick. The site presently contains a two-storey building which is vacant and formerly contained a personal service business (hair salon) and residential use, as well as various outbuildings in the rear yard. The site is irregularly shaped with an angled front lot line (east), and a “zig-zag” articulation in the rear yard (west) that results in a shallower lot depth along the north side of the property, then deepens towards the south side. The site is serviced by municipal water and sewer.



Figure 12. Subject Site (Google Streetview)

3.2 Surrounding Context & Uses

The site is located in Manotick, a rural village in the south end of Ottawa. The site is zoned Village Mixed-Use, Subzone 9 (VM9), alongside several neighbouring properties along Manotick Main Street of which some are also subject to the heritage overlay designation.

Within 100 meters south of the site on Manotick Main Street, there is a law office and a real estate brokerage. To the immediate west is a property zoned VM3[812r] H(11), which contains a strip mall featuring various commercial establishments, including a restaurant, fitness center, and medical spa. Additionally, larger-format retail uses are situated within various buildings including an LCBO, hardware store, grocery store, and bank. The proposed mix of uses for the subject site are compatible with the commercial establishments in the surrounding area.

Beyond the immediate site radius, Manotick Main Street transitions into a predominantly commercial area within a 200-to-500-meter range, contrasting with the mixed residential and commercial properties further south, where the subject site is situated. Given the varying land uses within the community, the proposed mixed-use development is consistent with the existing Village Mixed-Use zoning and will provide much-needed medical facilities to the rural community. The subject site is situated just to the southwest of the main village commercial area and is surrounded by a mix of low-rise residential, commercial, and personal service business uses. A strip mall is situated to the southwest of the site directly abutting the rear lot line. The mall is accessed from Eastman Avenue to the southwest and features various commercial establishments including a grocery store and large asphalt parking lot. To the northeast and southwest fronting onto Manotick Main Street, neighbouring buildings are predominantly low-rise, featuring a mix of residential and commercial uses within this General Mixed-Use zone. Refer to Figure 15 for the specific locations marked on the map corresponding to Google Street View images.



Figure 13. Subject site and surrounded uses with indicated viewpoints (Google Earth)



Figure 15. Strip mall to the southwest of subject site (Google Streetview)



Figure 14. View of parking lot between mall and subject site rear lot line (Google Streetview)



3

Figure 16: View of Manotick Main Street, Google Streetview



4

Figure 17: View of Residential Property Directly in Front of the Site, Google Streetview



5

Figure 18. Opposite View of Manotick Main Street, Google Streetview

3.3 Nearby Built and Natural Heritage Assets

There are several heritage properties that are designated under Section IV of the Ontario Heritage Act, within the surrounding vicinity. These properties are also subject to a Heritage Overlay per Section 60 of the Zoning By-Law. The Part IV heritage designation imposes specific conditions to ensure the preservation of the historical and architectural integrity of these properties. Development proposals within the vicinity of these properties should respect their heritage status. The proposed site development is not anticipated to have any foreseeable direct impact on the designated heritage properties; however, the proposal is cognizant of the broader context of heritage preservation within the community.



Figure 19. Heritage Overlay Designated Property, 5567 Manotick Main St. (Manotick United Church)



Figure 22. Heritage Overlay Designation Property, 5561 Manotick Main St.



Figure 23. Heritage Overlay Designated Property, 5559 Manotick Main St.



Figure 24. Heritage Overlay Designated Property, 5561 Manotick Main St

Regarding Natural Heritage features of the property, the site is not subject to any natural heritage designations or policies and is designated Village within Schedule C11-B – Natural Heritage System (South). The site is within proximity to the Rideau River, however is outside of the typical 30.0 metre influence buffer area of the watercourse.

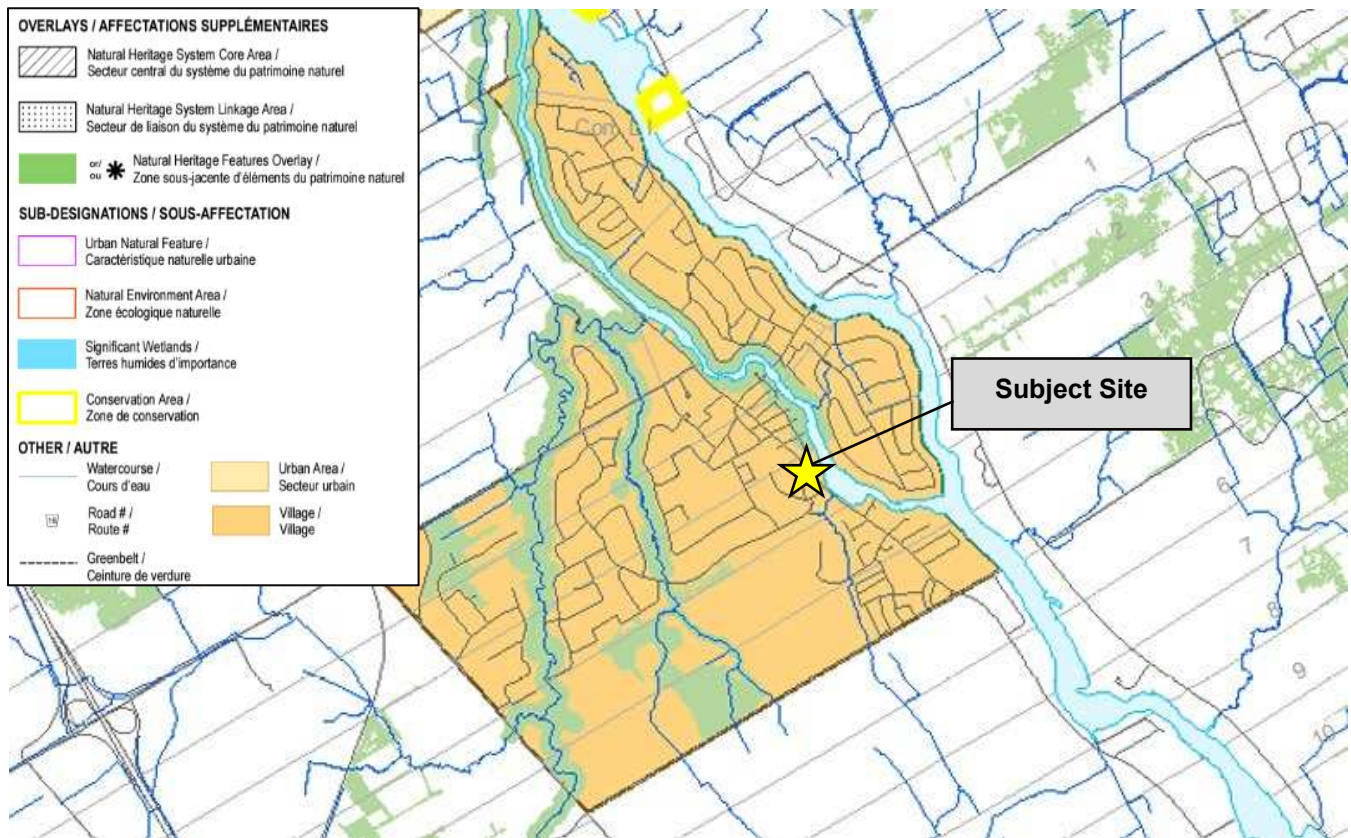


Figure 20. City of Ottawa Official Plan Schedule C11-B – Natural Heritage System (South).

3.4 Transportation Network & Connectivity

The site is situated on Manotick Main Street which is an arterial road that is well connected with other key connectivity routes including Bankfield Road that provides access to the Highway 416 (refer to Figure 26).

Though the site is within a rural village, there is available limited public transit via the local 176 route connecting to Barrhaven Centre and the 299 route.

While bike lanes are not currently designated along Manotick Main Street, the site is adjacent to existing sidewalks, ensuring safe and convenient pedestrian access to the proposed mixed-use facilities,

Parking on the site will be provided, with 15 spaces including 1 barrier free space. Bicycle parking is also provided on site.

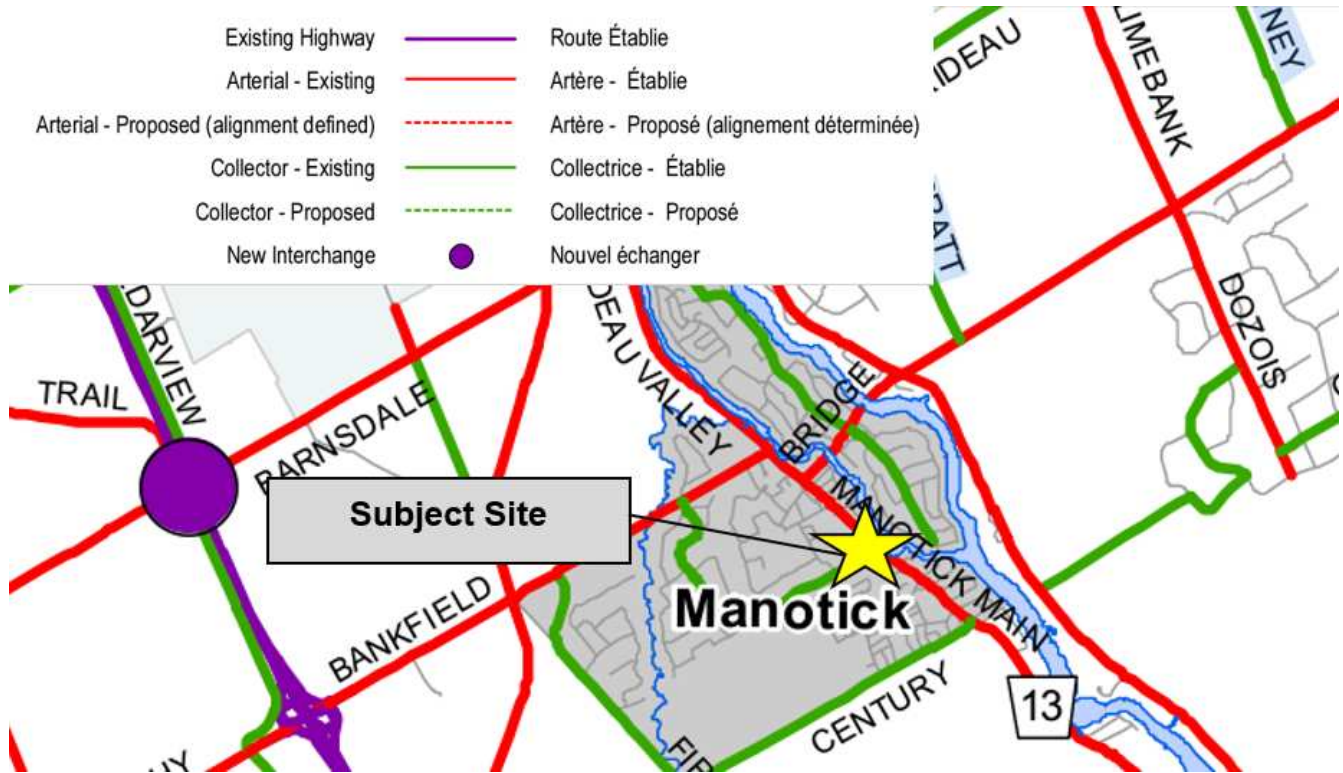


Figure 21: City of Ottawa Official Plan Schedule C9 - Rural Road Network

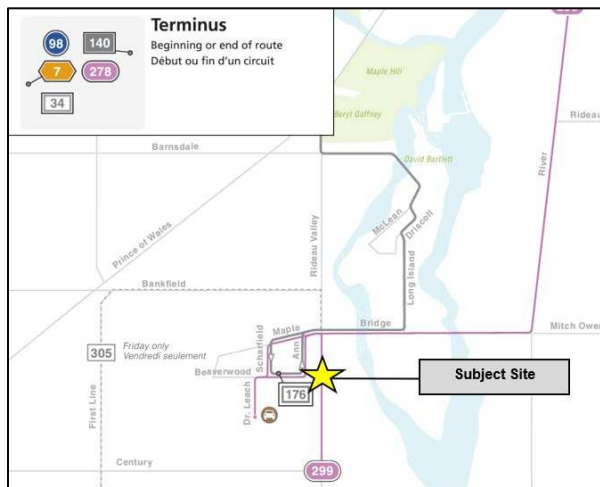


Figure 22: OC Transpo System Map

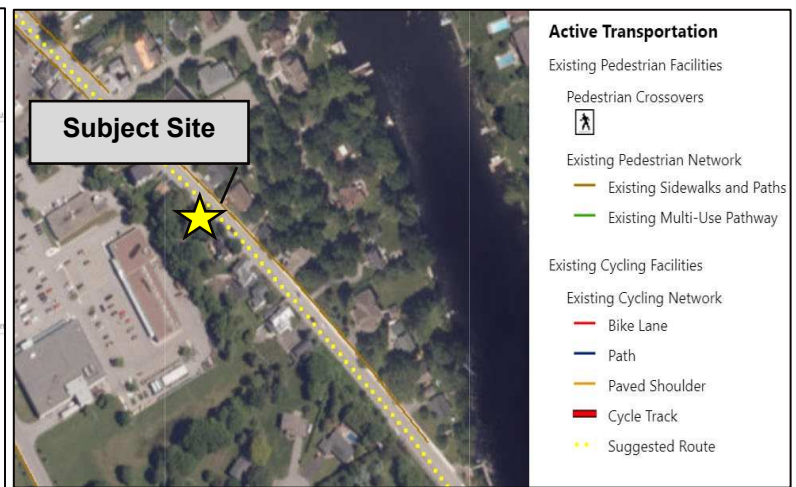


Figure 23: Pedestrian and Cycling Facilities, GeoOttawa

3.5 Nearby Recent Development

5514 Manotick Main St.

The application for site plan control was submitted on March 10th, 2017. The development is situated approximately 550 meters from the subject site. The proposed build entails a new three-story mixed-use office building, featuring two retail units on the ground floor and one office tenant on both the 2nd and 3rd floors.

- <https://devapps.ottawa.ca/en/applications/D07-12-17-0026/details>

5646-5650 Manotick Main St.

The site plan control application was approved in September 2024. The proposed development is located approximately 500 meters from the subject site. The proposed development consists of two commercial structures, including a restaurant with a drive-through and a car wash facility.

- <https://devapps.ottawa.ca/en/applications/D07-12-23-0080/details>

5497 Manotick Main St.

The application for site plan control was reactivated on January 8th, 2025. The proposed development is located approximately 650 meters from the subject site. It involves the development of a three-story residential building accommodating a total of 21 units. Parking provisions include 26 spaces distributed across both surface and below-grade levels.

- <https://devapps.ottawa.ca/en/applications/D07-12-21-0024/details>

3.6 Planned Function of Nearby Properties

The properties adjacent to the subject site are primarily located within the same VM9 Subzone, with their specific uses detailed in Section 3.2 of this report. Additionally, the existing uses within the VM3[812r] H(11) Zone to the west are also outlined in that section. The VM9 zone permits a diverse range of developments, including residential, commercial, and other mixed-uses. The following Zoning By-law text highlights the purpose of the Village Mixed-Use Zone as well as the permitted uses of the VM9 Subzone.

The purpose of the VM – Village Mixed-Use zone is to: (1) permit a wide variety of commercial, leisure, institutional and residential uses in areas designated as Village in the Official Plan; (2) reinforce the historical character of the Village core areas and mainstreets by promoting small-scale, street-oriented building form; (3) recognize the function of Business Improvement Areas as primary business or shopping areas; and, (4) regulate development in a manner that adopts existing land use patterns so that the unique village character is maintained.

Permitted uses in the VM9 zone include the following:

- | | |
|--|--|
| amusement centre | home-based business , see Part 5, Section 127 |
| animal care establishment | home-based day care, see Part 5, Section 129 |
| animal hospital | hotel |
| artist studio | instructional facility |
| bank | library |
| bank machine | medical facility |
| bar | museum |
| catering establishment | office |
| cinema | park |
| click and collect facility (By-law 2016-289) | personal brewing facility (By-law 2019-41) |
| community centre | personal service business |
| community health and resource centre | place of assembly |
| convenience store | place of worship |
| day care | post office |
| dwelling unit * (permitted only above the ground floor per VM9) | recreational and athletic facility |
| emergency service | restaurant |
| | retail store |

retail food store

school

secondary **dwelling** unit, *see Part 5, Section 133*

service or repair shop

storefront industry, *see Part 3, Section 99 (Bylaw 2018-171)*

theatre

training centre

Other applicable provisions per s.229(1), VM Zone:

3. retail store must be located on the ground floor, and where located on the ground floor, they may also locate above the ground floor

4. all uses located on the ground floor must have direct access to the street

→ **The proposed development respects the Village Mixed-use zone objectives by integrating non-residential uses with other compatible uses in the vicinity. Additionally, the medical facility and office uses are both permitted within the Zoning By-law. The use of neutral design elements and a modest building height helps preserve the village's unique character, allowing the proposed building to blend within the existing streetscape.**

4 Development

4.1 Proposed Development Concept

The proposed development is to construct a new three-storey mixed-use building which will contain a ground-floor commercial space (pharmacy), offices, and a medical clinic. The generally rectangular-shaped building is oriented towards the south side of the property in response to the irregular lot depth of the site, and the north side contains the proposed parking lot. The parking lot is bordered by a retaining wall which addresses the site grading challenges. A total of 15 parking spaces are provided, included one barrier free space near the entrance of the building.

The total building footprint is proposed to be 312.6 m² with a Gross Floor Area of 1,069.6 m², and the three uses split over the first two floors. The third floor contains an office space for the property Owner who is developing the site and is also a doctor/owner of the proposed medical practice. A rooftop terrace is proposed for the use of staff and patrons, which is accessed by a staircase and elevator, as well as from the owner's office.

The front façade features two storeys of window glazing to activate and animate the street frontage, and a canopy across the entrance. The façade materiality is a mix of wood-like siding and aluminum siding which respects the rural village character. Windows on the first and second floors are oriented along the side facades and are transom style for privacy for the proposed office and medical clinic uses. No windows are proposed on the rear façade.

Soft landscaping is provided where possible bordering the interior side yards and rear yards of the property, though a retaining wall is required to manage on-site grading challenges along the rear and north lot lines. The front yard is softly landscaped with the exception of the entrance to the building and proposed bike parking area, and plantings are provided between the right of way protection and the street. The building is setback from the street to address the required Right of Way protection along Manotick Main Street.

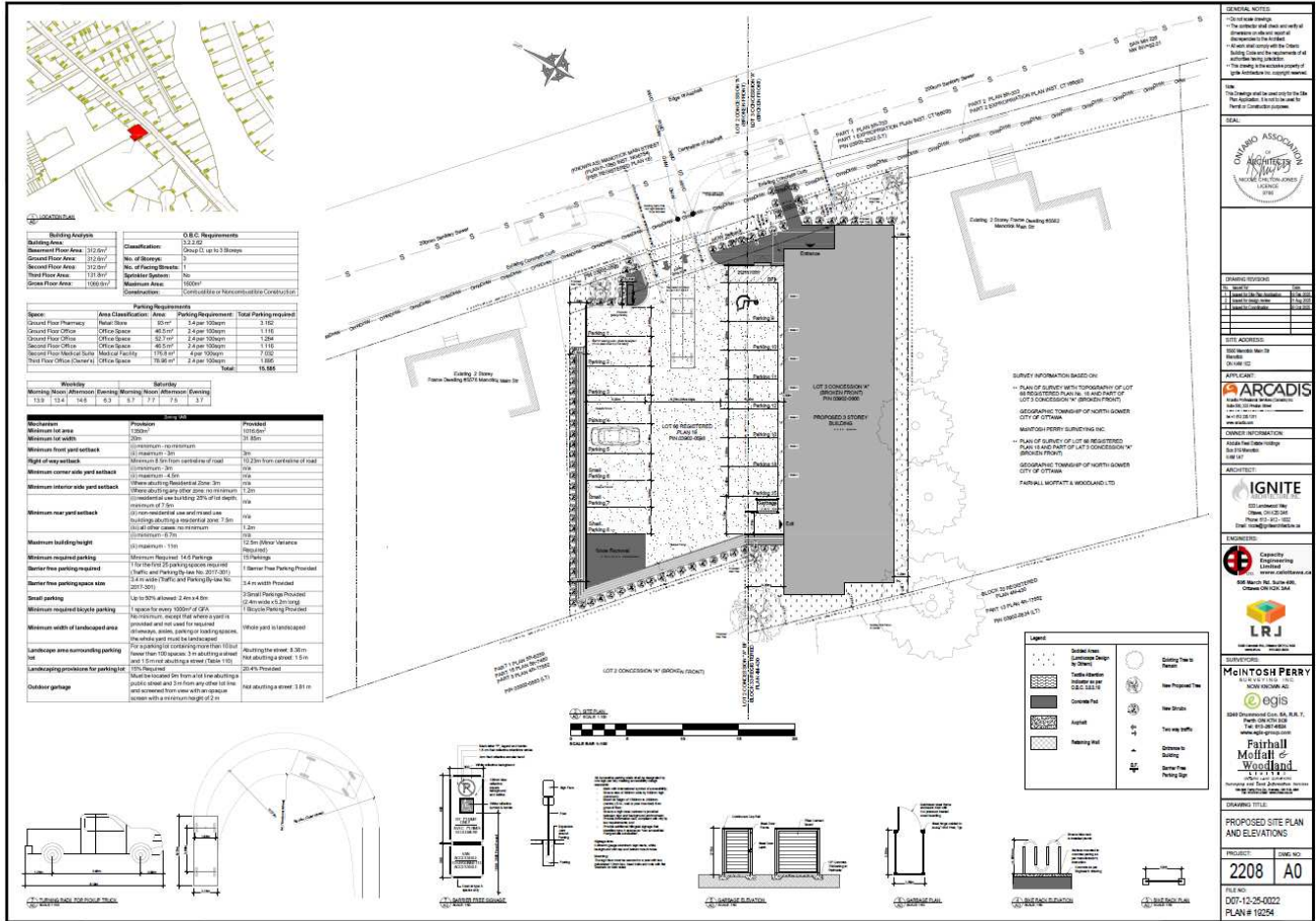


Figure 24. Site plan of proposed development.

4.2 Design Evolution & Alternatives

In 2023, several preliminary site plan sketches were created and evaluated by the project architect, Ignite Architecture (Figure 30). These concepts explored various parking lot configurations and building footprints of different sizes and shapes along the frontage. From these initial sketches, a select few were refined and developed in greater detail. Figure 31 demonstrates a concept with a long rectangular building, with a 250m² footprint, along the north side of the site and a parking lot with 16 parking spaces along the south side of the site. Figure 32 demonstrates a concept with an irregular shaped building situated at the front of the site with a 195m² footprint. Two drive aisles on either side of the building provide access and egress to the parking lot which is concealed from the street behind the building. Figure 33 demonstrates a concept with a long rectangular building, with a 279m² footprint, along the south side of the site and a 17-space parking lot which is partially below the building. A ramp connects the street to the parking lot. It should be noted that these initial concepts did not account for the right-of-way protection, which provided additional design constraints later in the design process.

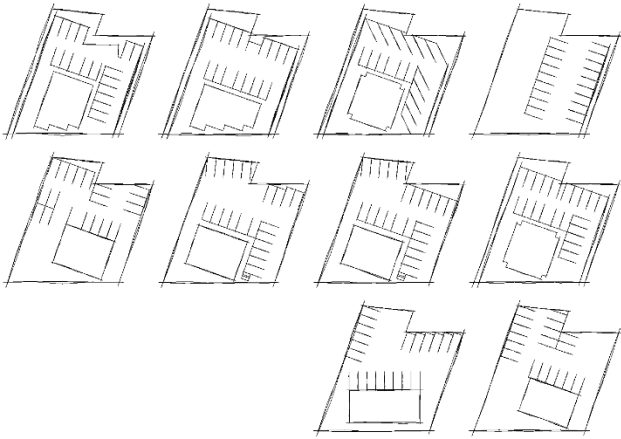


Figure 25. Initial site plan sketches.

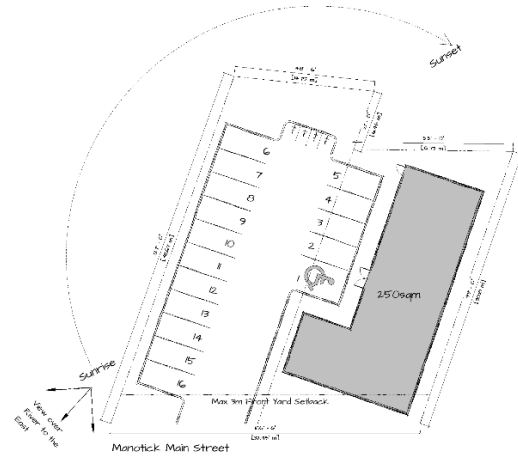


Figure 26. Initial detailed site plan concept.

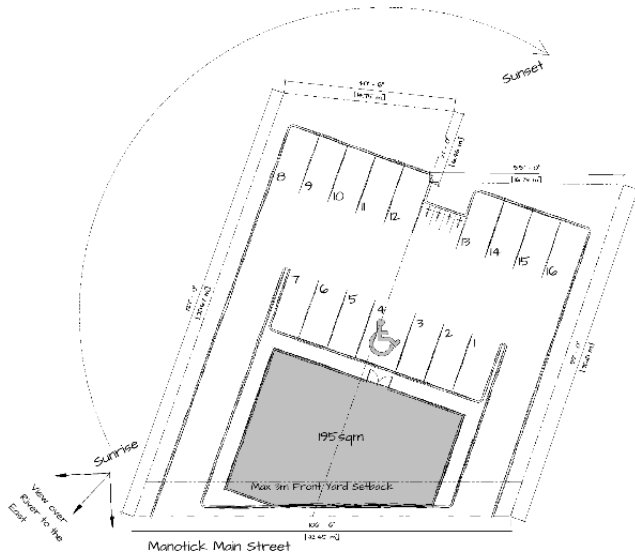


Figure 27. Initial detailed site plan concept.

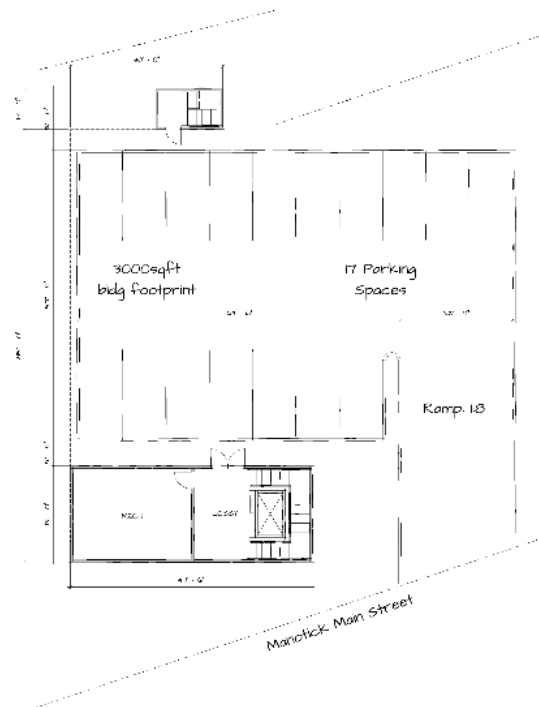


Figure 28. Initial detailed site plan concept.

The concept presented at the PAC meeting (Figure 34) featured a downward-sloping ramp leading to the parking area, with additional parking spaces situated beneath the building, supported by columns, consistent with the initial concept shown in Figure 33 above. Renderings were also prepared and presented during the PAC meeting as shown in Figure 35 and Figure 36 below.

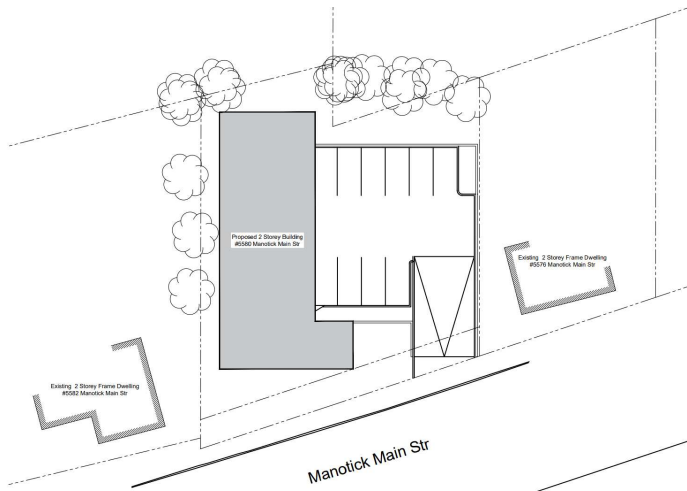


Figure 29. Site plan concept presented at the PAC meeting.



Figure 30. Rendering of the view from Manotick Main Street presented at the PAC meeting.



Figure 31. Rendering of the north elevation presented at the PAC meeting.

In March 2024, following the PAC meeting with the City, a concept was created with the building reoriented to face the street to address Staff comments. However, this iteration of the plan could not accommodate both the desired building footprint and the parking needed to support the development.

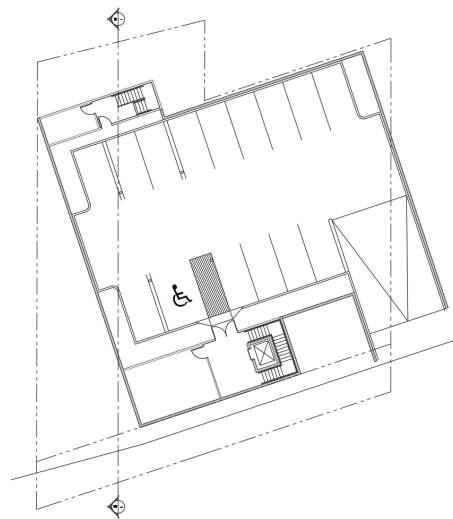


Figure 32. March 2024 site plan concept.

In June 2024, additional concepts were developed to optimize the site design and accommodate parking at a level that facilitates water drainage towards Manotick Main Street.

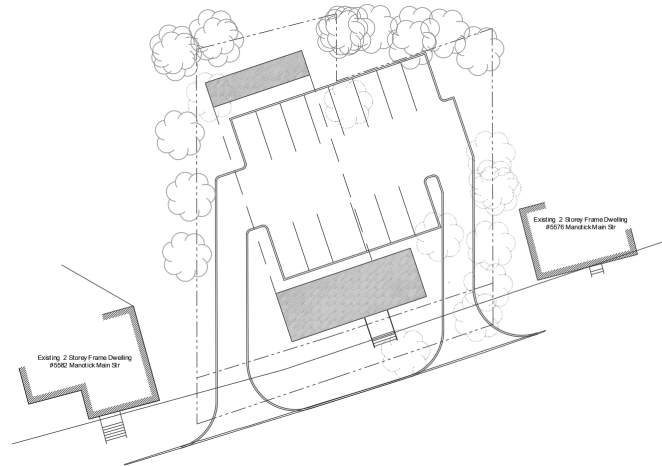


Figure 33. June 2024 site plan concept.

In July 2024, it was determined that the parking grade would be too steep to accommodate parking beneath the building. As a result, the parking would need to be designed adjacent to the building which led to the concepts shown in Figure 39 and Figure 40 below.

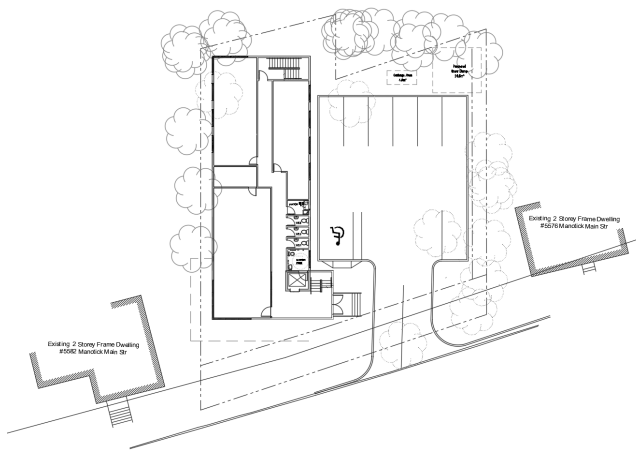


Figure 34. July 2024 site plan concept.

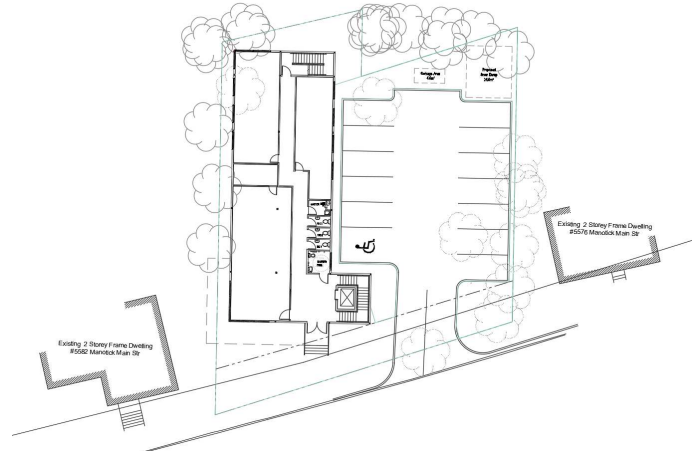


Figure 35. July 2024 site plan concept.

The final concept, shown in Figure 41, was developed later in July 2024 to bring the driveway approach and width into compliance. This concept was further refined and forms the basis of this submission for the Site Plan Control application.

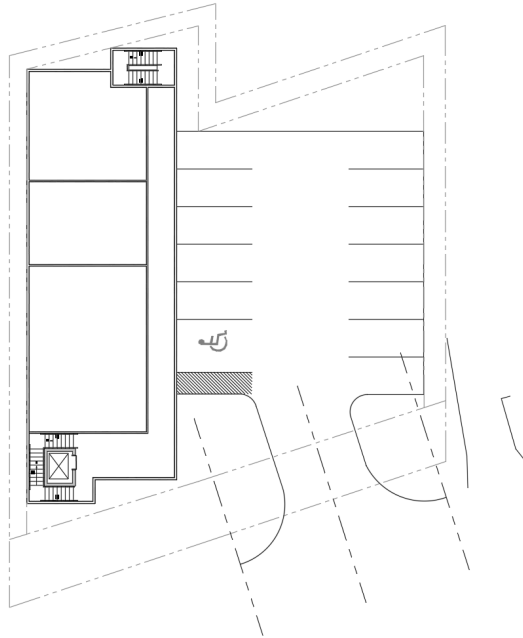


Figure 36. July 2024 final site plan concept which is used as the basis for the proposed development.

4.3 Proposed Massing

The building is rectangular in form with articulated front and rear façades. The stairwells and elevator shaft project outward, creating variations in the massing. The first and second storeys share the same 312.6m² footprint, while the third storey is smaller with the useable space occupying a floor area of 76.6m². The stairwells and elevator shaft are three storeys in height and provide access to the rooftop terrace. Additionally, the third-floor is occupied by an office space and is positioned in the building's southern corner. The placement of the third-floor office in the southern corner of the lot minimizes its visibility from the street and parking lot.

4.4 Public Realm Conditions

The segment of Manotick Main Street that represents the property's street frontage has one sidewalk on the opposite side of the street, limiting pedestrian infrastructure directly in front of the property. It is important to note that there is a right-of-way protection requirement along this property's front lot line which is assumed to be required for eventual road widening and pedestrian realm upgrades to this side of Manotick Main Street.

To enhance the public realm and create an inviting streetscape, the interface between the proposed development and the right-of way is proposed to be landscaped with sod and shrubs. A concrete pad at the building entrance provides an accessible space for pedestrians. Additionally, to support sustainable transportation options, a bike rack is positioned near the site entrance for cyclists.

Further, window glazing along the front façade creates an activated and animated street frontage. The exterior materials combine wood-like siding and aluminum siding, respecting the character of the rural village setting.

4.5 Sustainability

The proposed development aligns with the City's strategy to promote healthier, more sustainable neighborhoods by incorporating the principles of 15-minute neighbourhoods. The proposed change in use and site plan design

contribute to reducing greenhouse gas emissions by encouraging sustainable transportation options and decreasing dependence on personal vehicles. The site is well-suited for the proposed development, providing local access to goods and services within the community while supporting sustainable travel choices and offering opportunities for connection with nature.

5 Conclusion

As demonstrated in this report, the proposed development is appropriate when considering applicable land use and urban design policies set out in the City of Ottawa's Official Plan, Zoning By-law and Design Guidelines. The proposed mixed-use medical facility introduces a needed health care office to the community and contributes to the provision of 15-minute neighbourhoods within the Village of Manotick.

Arcadis is of the opinion that this Site Plan Control application for the proposed development on the subject site is an appropriate use for the lands, is consistent with the policy direction of the Official Plan and represents good urban design.

Should you have any questions regarding the contents of this report, please contact the undersigned.



Jessica D'Aoust, MCIP RPP
Associate – Sr. Project Manager – Urban Planning

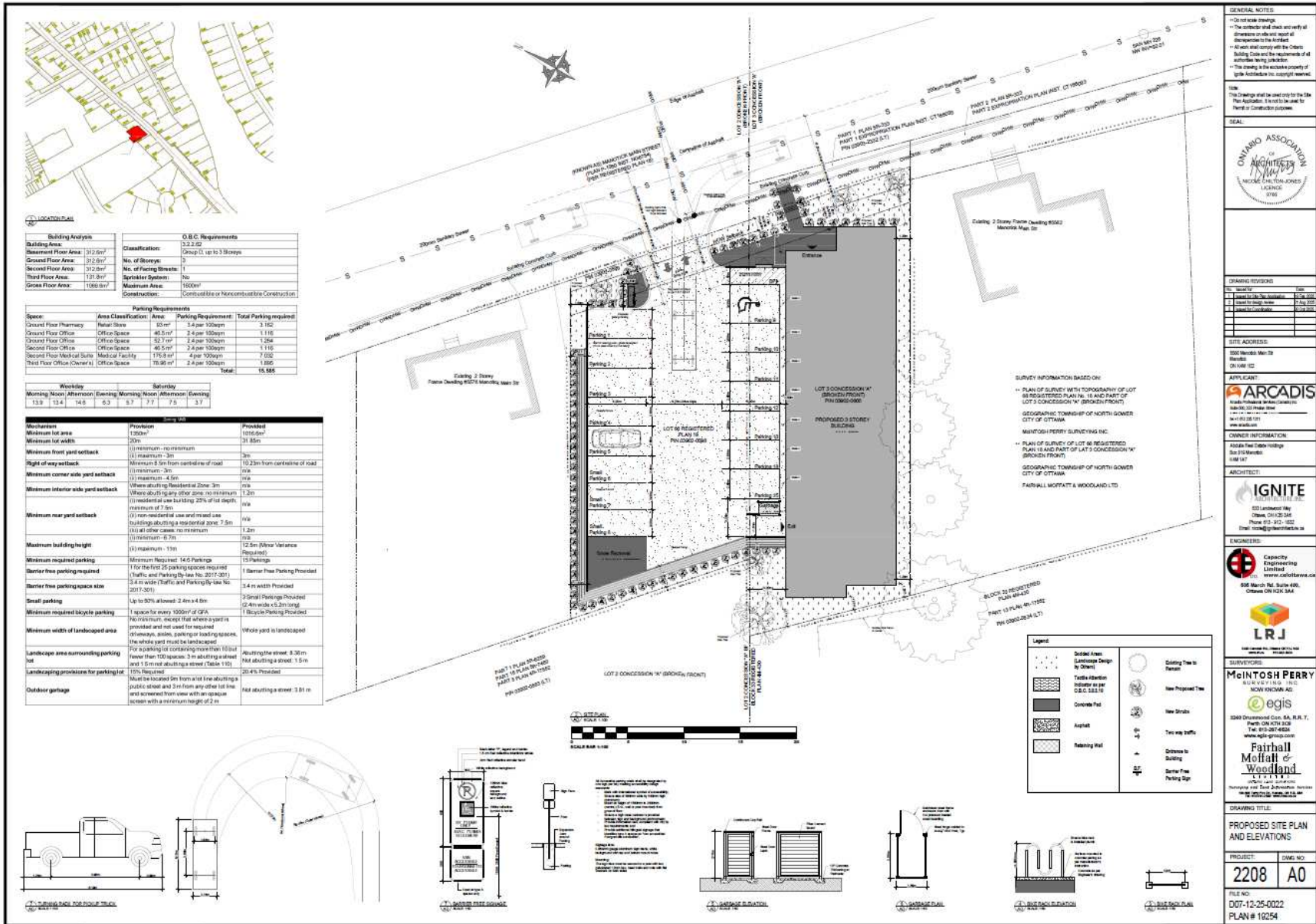


Jamie Rathwell, M.Pl
Urban Planner

Appendices

- A. Appendix A: Site Plan
- B. Appendix B: Landscape Plan
- C. Appendix C: Grading and Drainage Plan
- D. Appendix D: Building Elevations
- E. Appendix E: Floor Plans

Appendix A: Site Plan



Building Analysis		O.B.C. Requirements
Building Area:	312.9m ²	2.2.2.52
Basement Floor Area:	312.9m ²	
Ground Floor Area:	312.9m ²	No. of Storeys: 3
Second Floor Area:	312.9m ²	Max. of Storeys: 1
Third Floor Area:	1.11m ²	Split-level System: No
Gross Floor Area:	1060.9m ²	Maximum Area: 1600m ²
		Construction: Conventional or Nonconventional Construction

Space	Area Classification	Area	Parking Requirement	Total Parking Required
Ground Floor Pharmacy	Retail Store	60m ²	1.4 per 100sqm	3.162
Ground Floor Office	Office Space	46.5m ²	2.4 per 100sqm	1.116
Ground Floor Office	Office Space	53.7m ²	2.4 per 100sqm	1.284
Second Floor Office	Office Space	46.5m ²	2.4 per 100sqm	1.116
Second Floor Medical Suite	Medical Facility	176.8m ²	4.4 per 100sqm	7.802
Third Floor Office (Owner's)	Office Space	78.98m ²	2.4 per 100sqm	1.895
				Total: 15.565

Weekly		Saturday	
Morning	Afternoon/Evening	Morning	Afternoon/Evening
13.9	12.6	6.3	5.7
7.5	3.7	7.5	3.7

Minimum lot area	Provided	Minimum lot width	Provided
1500m ²	1500m ²	20m	31.85m
Minimum front yard setback	(1) minimum - maximum	(1) minimum - 3m	3m
Minimum side yard setback	Minimum 5.0m from centreline of road	(1) minimum - 3m	3m
Minimum rear yard setback	(1) non-residential use and residential use building abutting a residential zone: 7.5m (2) all other cases: minimum	(1) minimum - 4.5m (2) minimum - 3m	4.5m 3m
Maximum building height	(1) maximum - 15m (2) maximum - 12.5m (Minor Variance Required)	(1) maximum - 15m (2) maximum - 12.5m (Minor Variance Required)	15m 12.5m
Minimum required parking	Minimum Required: 14.6 Parkings	Minimum Required: 14.6 Parkings	14.6 Parkings
Barrier free parking required	1 for the first 25 parking spaces required (Traffic and Parking By-Law No. 2017-201)	1 Barrier Free Parking Provided	1 Barrier Free Parking Provided
Barrier free parking space size	3.4m wide (Traffic and Parking By-Law No. 2017-201)	3.4m wide Provided	3.4m wide Provided
Small parking	Up to 50% allowed: 2.2m x 4.0m	3 Small Parkings Provided (2.4m wide x 5.2m long)	3 Small Parkings Provided
Minimum required bicycle parking	1 space for every 1000m ² of GFA	1 Bicycle Parking Provided	1 Bicycle Parking Provided
Minimum width of landscaped area	No minimum, except that where a yard is provided and not used for required purposes, signs, parking loading spaces, the whole yard must be landscaped	Whole yard is landscaped	Whole yard is landscaped
Landscaping area surrounding parking lot	10% Required	Not applicable	Not applicable
Landscaping provisions for parking lot	Must be located 9m from lot line abutting a public street and 3m from any other lot line and screened from view with an opaque screen with a minimum height of 2 m	Routing the street: 3.30m Not abutting a street: 1.5m	Routing the street: 3.30m Not abutting a street: 1.5m
Outdoor garbage	10% Required	Not applicable	Not applicable

GENERAL NOTES

- On all scale drawings
- The contractor shall check and verify all dimensions on site and report all discrepancies to the architect
- All work shall comply with the Ontario Building Code and the requirements of all applicable laws and regulations
- The drawing is the exclusive property of Ignite Architecture Inc. copyright reserved.

SCALE

1:100

This Drawing shall be used only for the Site Plan Application. It is not to be used for Permit or Construction Issues.



DRAWING REVISIONS

No.	REVISION	DATE
1	Issue for Site Plan Application	2024-03-28
2	Issue for Construction	2024-03-28

CLIENT ADDRESS:

3000 Merivale Rd
Markham
ON L3R 0K2

APPLICANT:

PLAN OF SURVEY WITH TOPOGRAPHY OF LOT 68 REGISTERED PLAN No. 18 AND PART OF LOT 3 CONCESSION "W" (BROWN FRONT) PLANNING/ENGINEERING

GEORGIAN TOWNSHIP OF NORTH GOWER
CITY OF OTTAWA

OWNER INFORMATION:

MAINTOSH PERRY SURVEYING INC.
Attn: Lisa Laidlaw
2401 Woodbine
Scarborough
M1S 1A7

ARCHITECT:

IGNITE ARCHITECTURE INC.
655 Lakeshore Blvd.
Ottawa, ON K2K 3K4
Phone: 613-912-1022
Email: info@ignitearch.ca

ENGINEERS:

Capacity Engineering Limited
1000
806 March Rd, Suite 400
Ottawa ON K2K 3A4



SUBMITTALS:

MAINTOSH PERRY
P. Eng. P. Eng. P. Eng.
NOW KNOWN AS:
egis

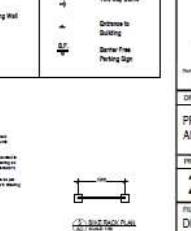
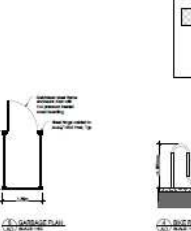
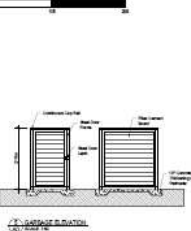
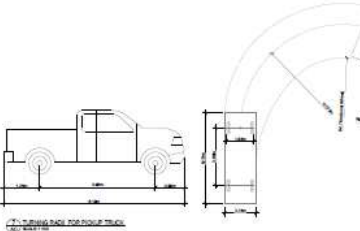
1240 Drummond Ave. S.A., P.A., P.A., P.A.
Markham, ON L3R 0K2
Tel: 913-267-4554
www.capacityeng.com

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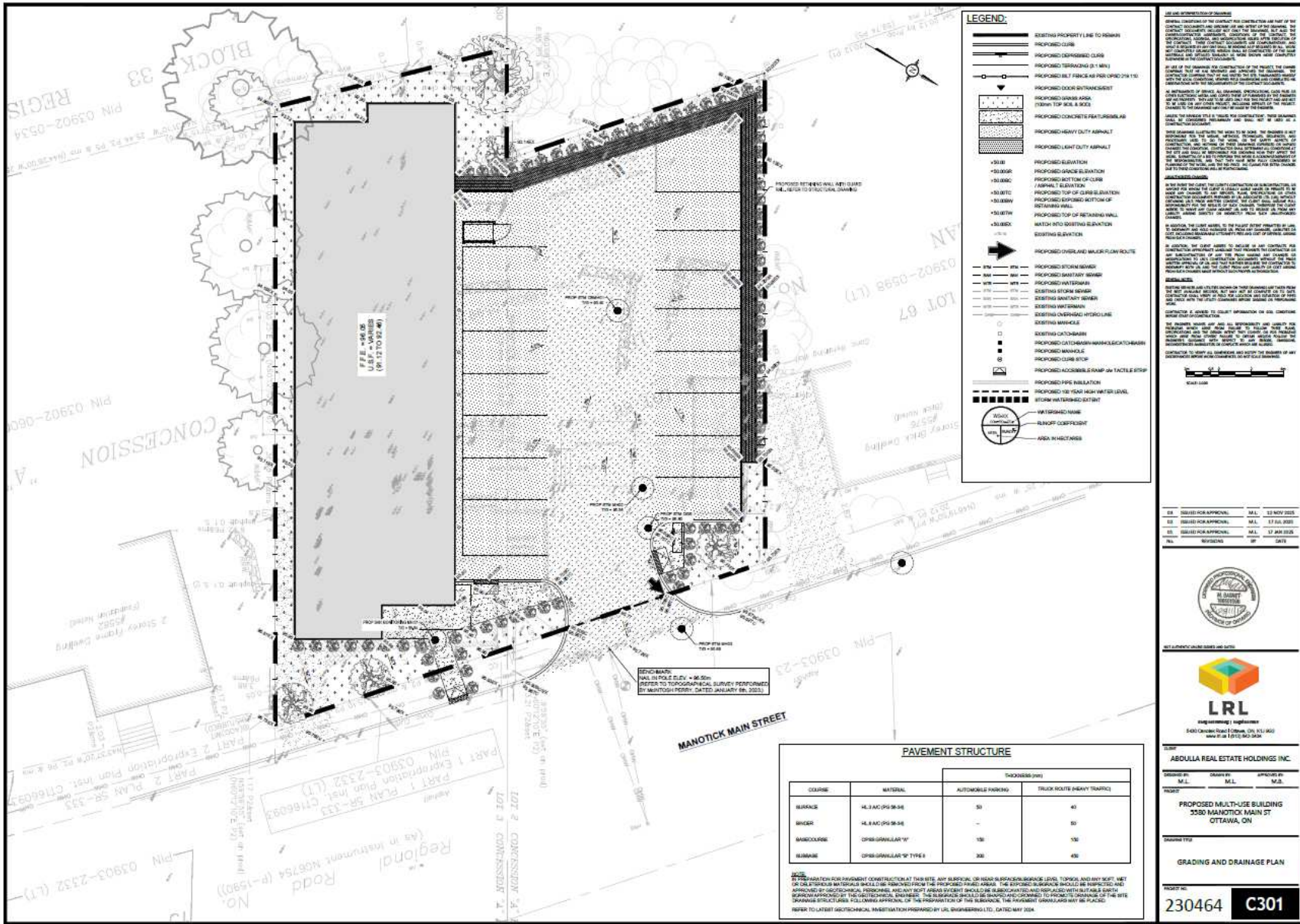
DRAWING TITLE:

PROPOSED SITE PLAN AND ELEVATIONS

PROJECT:	DWG. NO.:
2208	A0
FILE NO.:	
D07-12-25-0022	
PLAN # 10254	



Appendix C: Grading & Drainage Plan



Appendix D: Building Elevations



VIEW OF PROPOSED BUILDING FROM MAVROUL MAVROUL STREET



VIEW OF PROPOSED BUILDING FROM MAVROUL MAVROUL STREET



VIEW OF PROPOSED BUILDING FROM MAVROUL MAVROUL STREET



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WEST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



SOUTH ELEVATION

GENERAL NOTES

- 1. Not scale drawings.
- 2. The contractor shall check and verify all dimensions on site and report discrepancies to the architect.
- 3. All elevations shall comply with the Ontario Building Code and the requirements of all applicable zoning legislation.
- 4. This drawing is the exclusive property of Ignite Architecture Inc. copyright reserved.

DATE: _____

SCALE: _____

ONARIO ASSOCIATION OF ARCHITECTS
MEMBER SINCE 2015
LICENCE 9784

DRAWING REVISIONS

NO.	DATE	DESCRIPTION
1	2024-12-25	ISSUED FOR PERMIT

SITE ADDRESS:
500 Mavroul Mavroul Street
Oshawa, ON L1H 5C2

APPLICANT:
ARCADIS
Infrastructure Services Group
10000 101st Street
Richmond, BC V6V 1G1
Canada

OWNER INFORMATION:
Aqua First Energy Holdings
Box 10700
L8M 1A7

ARCHITECT:
IGNITE ARCHITECTURE INC.
123 Lakeshore Blvd.
Oshawa, ON L1H 5C2
Phone: 905-302-2444
Fax: 905-302-2444
Email: info@ignitearchitects.ca

ENGINEERS:

Capacity Engineering Limited
10000 101st Street
Richmond, BC V6V 1G1
Canada

REGISTERED PROFESSIONAL ENGINEER
LRJ ENGINEERING
10000 101st Street
Richmond, BC V6V 1G1
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Professional and Survey Services
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P.O. Box 12345

DRAWING TITLE:
PROPOSED ELEVATIONS

PROJECT: 2208 **DWG. NO.:** A5

FILE NO.: D07-12-25-0022
PLAN #: 10254

Appendix E: Floor Plans

