

CITY OF OTTAWA: TREE PROTECTION FENCE DETAIL

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PROJECT INFORMATION

Zoning By-law 2006-250 Consolidation	EAST - AM(2022) (H28)	SITE AREA	0.166 ha.	1,659.3 sq. m.	17,860 sq. ft.
ZONING	REQUIRED	PROVIDED			
BUILDING HEIGHT - EXISTING TO REMAIN	28.0m	28.0m			
FRONT YARD SETBACK - EXISTING TO REMAIN	0	16.4m			
CORNER YARD SETBACK - EXISTING TO REMAIN	0	0.5m			
REAR YARD SETBACK - EXISTING TO REMAIN	7.5	3.4m			
RESIDENTIAL UNIT COUNT	0	187			
COMMERCIAL AREA	0	70			
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	29	29			
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT	6	6			
PARKING - COMMERCIAL ON GROUND FLOOR - NOT REQUIRED	0	0			
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	35	40			
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA	3	3			
COMMERCIAL LOADING SPACE	0	0			
AMENITY AREA - TOTAL PER UNIT - 6.0m ²	420.0m ²	450.0m ²			
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	210.0m ²	450.0m ²			

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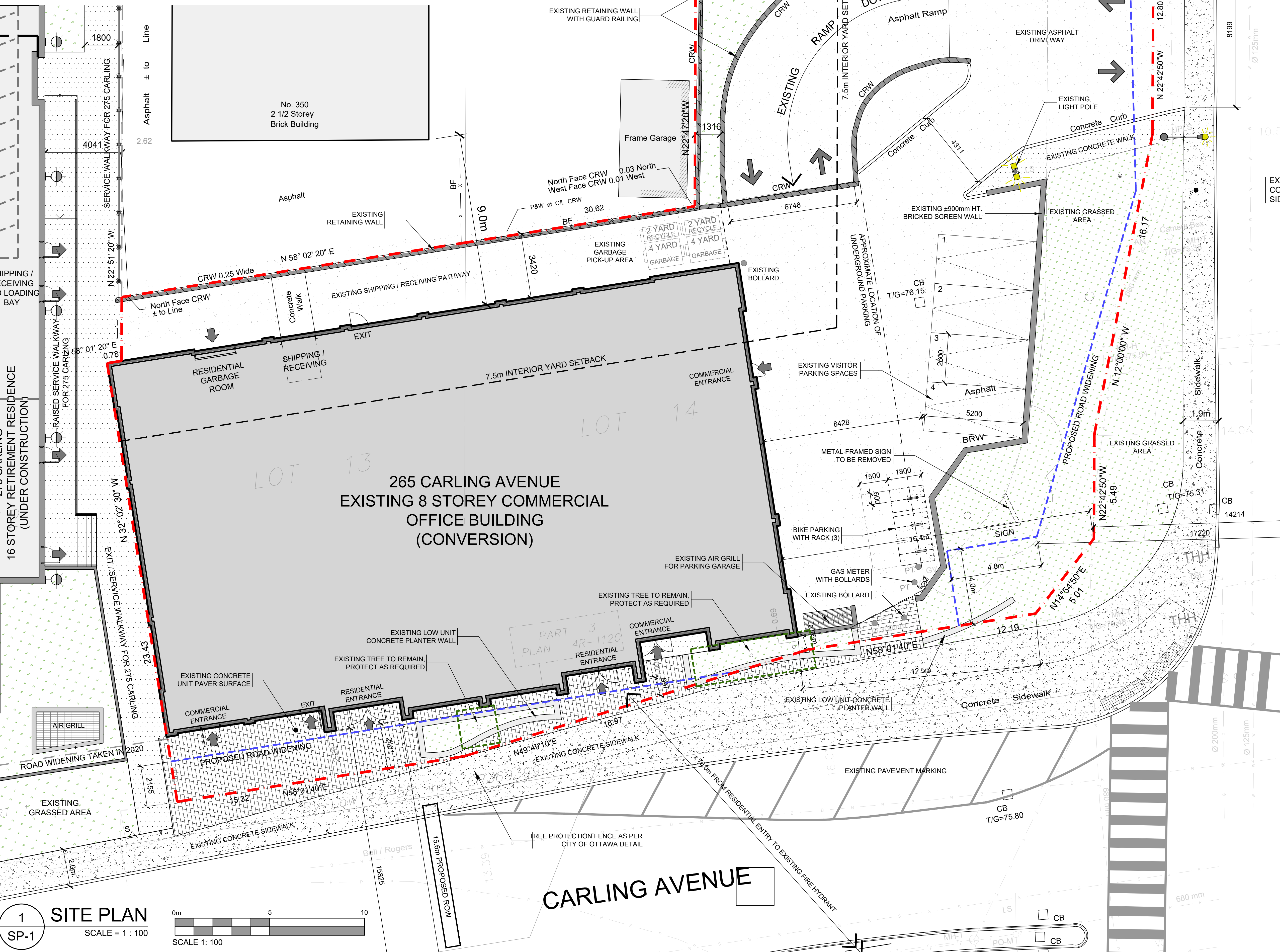
LEGAL DESCRIPTION
STRATA PLAN OF SURVEY OF
LOTS 9, 10, 11, 12 AND
PART OF LOTS 6, 7, 13, 14 AND 15
(South of Clew Avenue)
REGISTERED PLAN 54
CITY OF OTTAWA
 Prepared by Annis, O'Sullivan, Vollebek Ltd.

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- DETAIL NUMBER
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

KEY MAP



BUILDING STATISTICS

GROSS BUILDING AREA
 (CITY OF OTTAWA'S DEFINITION)

PARKING LEVEL: STAGE #1	0.0 sq. m.	0.00 sq. ft.
GROUND FLOOR - COMMERCIAL: STAGE #2	187.4 sq. m.	2,017 sq. ft.
2nd to 5th FLOOR: STAGE #1	4 x 499.5 sq. m.	1,998.0 sq. ft.
	4 x 5,378 sq. ft.	21,504 sq. ft.
6th to 8th FLOOR: STAGE #2	3 x 499.5 sq. m.	1,498.5 sq. ft.
	3 x 5,378 sq. ft.	16,129 sq. ft.
TOTAL AREA	3,683.9 sq. m.	39,649 sq. ft.

UNIT STATISTICS

UNIT	PER FLOOR	STAGE 1	STAGE 2	TOTAL
STUDIO UNIT	6	80%	24	18
1 BEDROOM UNIT	2	20%	8	14
2 BEDROOM UNIT	2	20%	8	14
TOTAL	10	40	30	170

RESIDENTIAL UNIT AREA
 3,496.5 sq. m.
 37,632 sq. ft.

COMMERCIAL RETAIL / PSB / OFFICE
 187.4 sq. m.
 2,017 sq. ft.

CAR PARKING ZONING AREA "Y"

REQUIRED	ZONING AREA "Y"	PROVIDED
RESIDENCE	-0.5 PER UNIT AFTER 12	29
VISITOR	-0.1 PER UNIT AFTER 12	6
1st FL. COMMERCIAL	-NOT REQUIRED	0
TOTAL		35

PROVIDED

265 CARLING - OFFICE	-1.0 PER 100m ² OF G.F.A.	0
265 CARLING - RETAIL	-1.0 PER 100m ² OF G.F.A.	0
265 CARLING - MEDICAL	-2.0 PER 100m ² OF G.F.A.	0
265 CARLING - RESIDENCE	-0.5 PER UNIT AFTER 12	29
265 CARLING - VISITOR	-0.1 PER UNIT AFTER 12	6
TOTAL		35

LOCATION OF PARKING

265 CARLING - AT GRADE	4
265 CARLING - P1 LEVEL	17
275 CARLING - P1 LEVEL	14
TOTAL	35

BICYCLE PARKING

REQUIRED	PROVIDED	
DWELLING UNIT	-0.5 PER UNIT (70 UNITS)	35
COMMERCIAL OFFICE	-1.0 PER 250m ² OF G.F.A.	1
COMMERCIAL RETAIL PSB	-1.0 PER 250m ² OF G.F.A.	1
TOTAL		37

PROVIDED

UNDERGROUND	37
EXTERIOR AT GRADE	6
TOTAL	43

AMENITY SPACE

STAGE 1: 40 UNITS - REQUIRED 6.0m ² PER =	240.0 sq. m.
STAGE 2: 30 UNITS - REQUIRED 6.0m ² PER =	180.0 sq. m.
EAST ROOF COMMUNAL TERRACE (STAGE 1) =	150.0 sq. m.
WEST ROOF COMMUNAL TERRACE (STAGE 2) =	140.0 sq. m.
1st FLOOR AMENITY ROOM (STAGE 2) =	160.0 sq. m.
TOTAL (ALL COMMUNAL) =	450.0 sq. m.
REQUIRED - 6.0m ² PER UNIT (70) =	420.0 sq. m.
REQUIRED COMMUNAL @ 50% =	210.0 sq. m.

WASTE REQUIREMENT (70 UNITS)

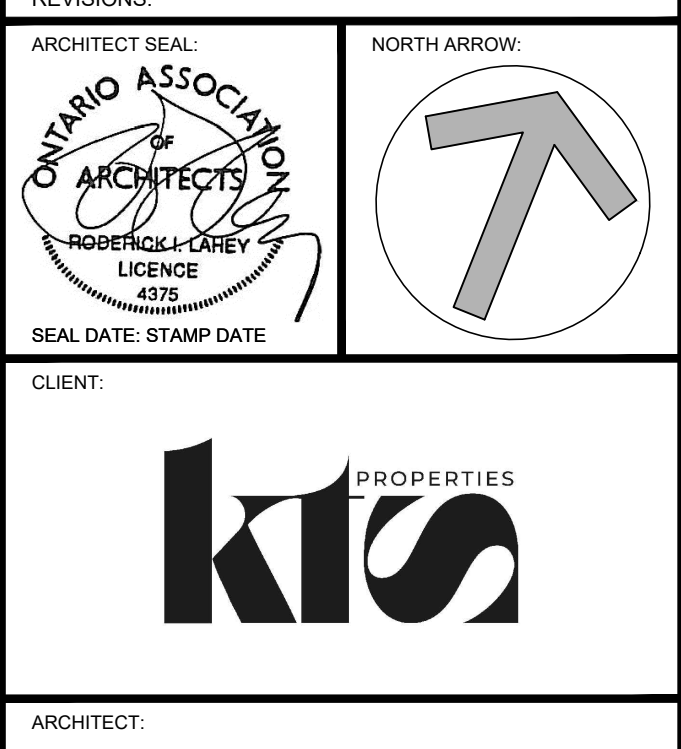
GARBAGE	-0.11 PER UNIT	8 YARDS
RECYCLING GMP	-0.018 PER UNIT	2 YARDS
RECYCLING FIBER	-0.038 PER UNIT	3 YARDS
COMPOST	-240L PER 50 UNITS	2

SITE AREA

EXISTING BUILDING =	671.0 sq. m.	40.5%
EXISTING SURFACE =	655.2 sq. m.	39.5%
EX. LANDSCAPE OPENED SPACE =	333.1 sq. m.	20.0%
TOTAL =	1,659.3 sq. m.	100.0%

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR ROUND 1 COMMENT RESPONSE	Apr. 07, 25
2	REVISED AS PER CITY COMMENTS	Nov. 26, 24
3	ISSUED FOR PHASE 3 PRE-CONSULTATION	May 22, 24
4	ADDED ROW PROTECTION	Apr. 10, 24
5	REVISED FOR FULL CONVERSION	Mar. 14, 24
6	ISSUED FOR CONSULTANT / OWNER REVIEW	Feb. 15, 24
7	ISSUED FOR PRE CONSULTATION	Oct. 16, 23



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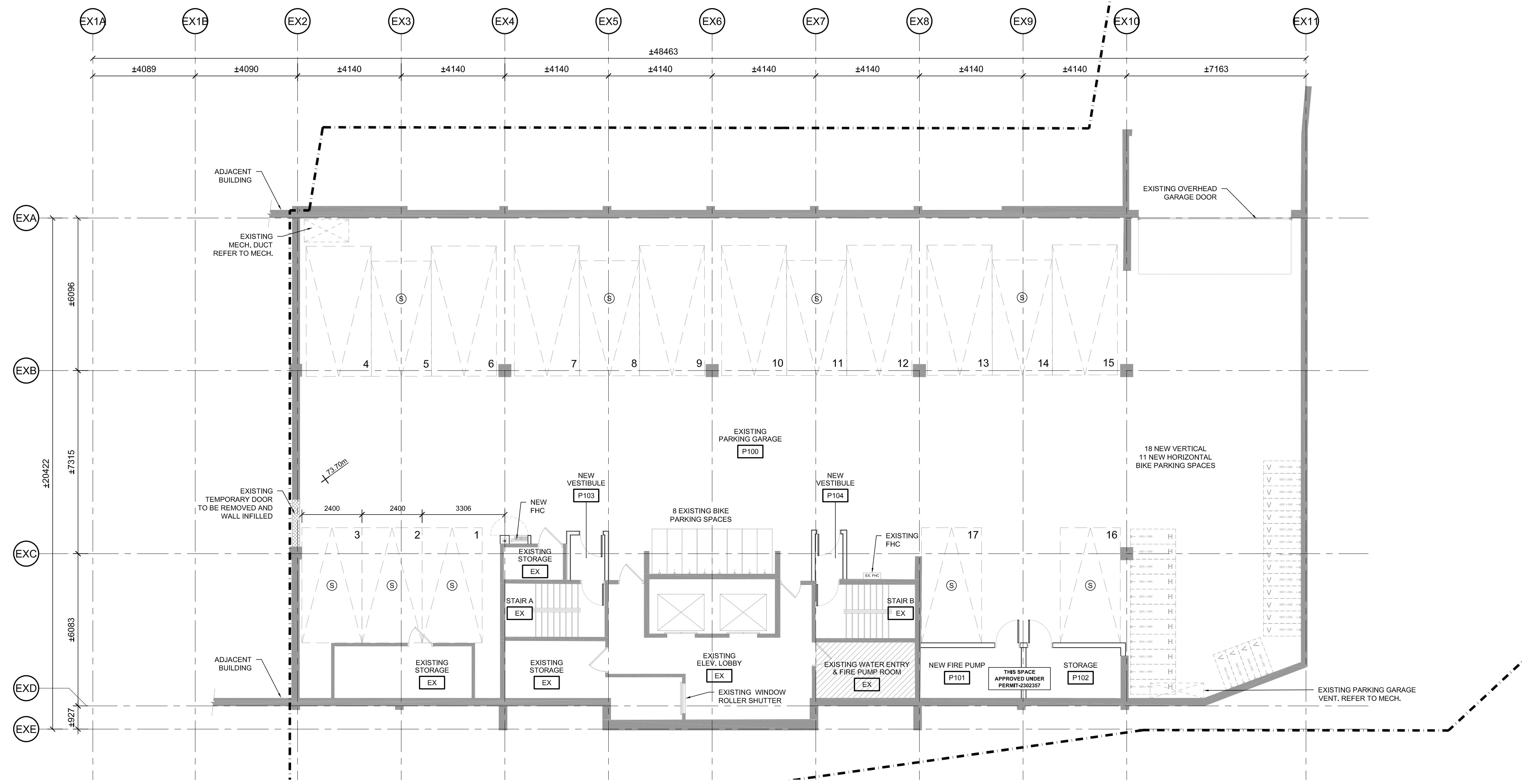
PROJECT TITLE:
 265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
 SITE PLAN

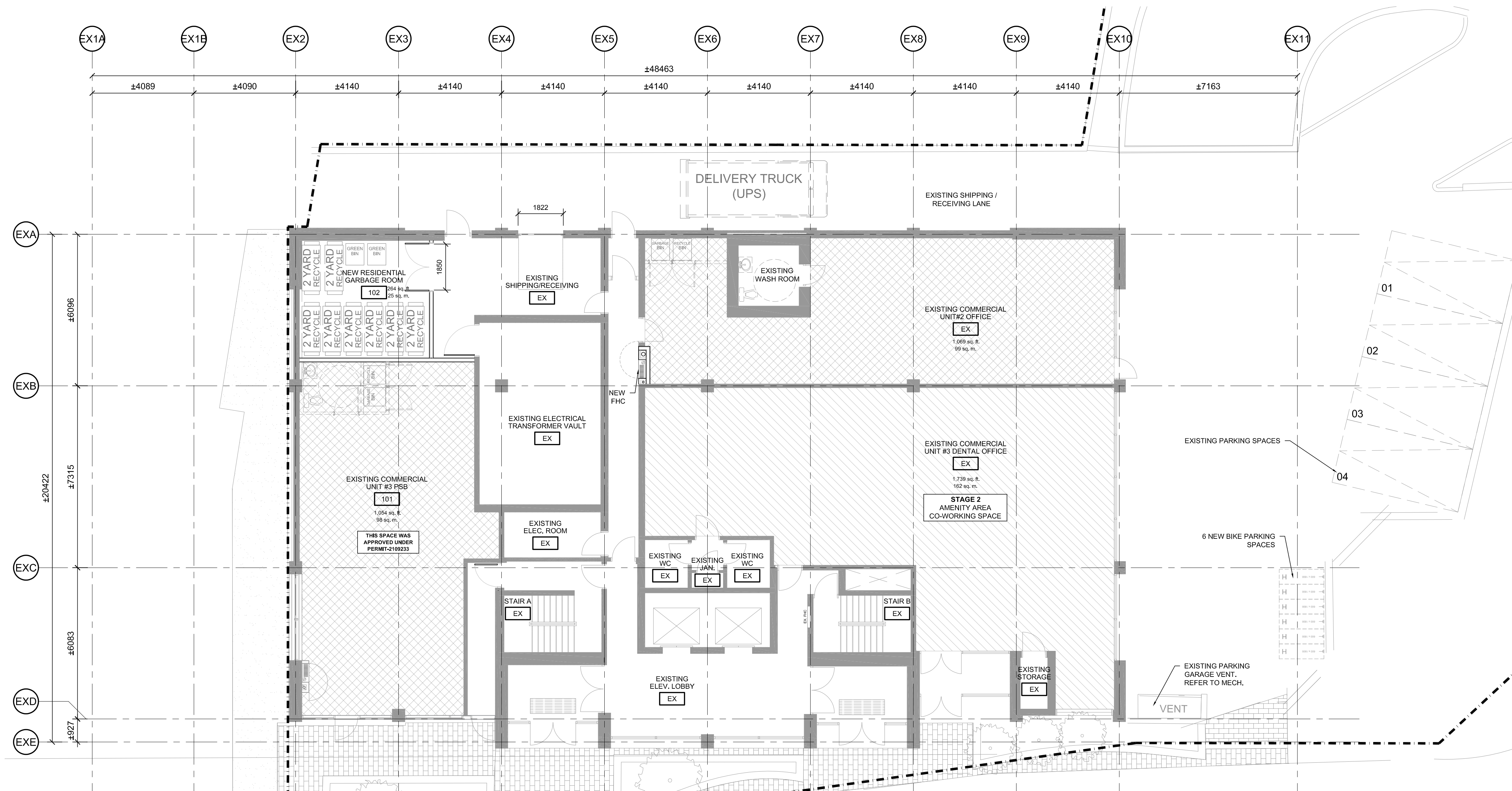
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SCALE: 1:150 **SHEET No.:** SP-1

PROJECT No.: 2316



1 PARKING LEVEL FLOOR PLAN - STAGE 1
A100

SCALE = 1:100



2 GROUND FLOOR PLAN - STAGE 1
A100

SCALE = 1:100

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No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
2	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
3	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
4	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
5	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
6	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 23, 24
7	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

REVISIONS:

ARCHITECT SEAL: NORTH ARROW:

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PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
PARKING & GROUND FLOOR PLANS

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PROJECT No. 2316	

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- (-)- DETAIL NUMBER
- (-)- TITLE
- (-)- SCALE
- (-)- DETAIL REFERENCE PAGE
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LEGEND

- UNIT A# STUDIO BEDROOM UNIT
- UNIT B# 1 BEDROOM UNIT
- UNIT C# 2 BEDROOM UNIT



1 2ND FLOOR PLAN - STAGE 1
A101

SCALE = 1:100



2 3RD FLOOR PLAN - STAGE 1
A101

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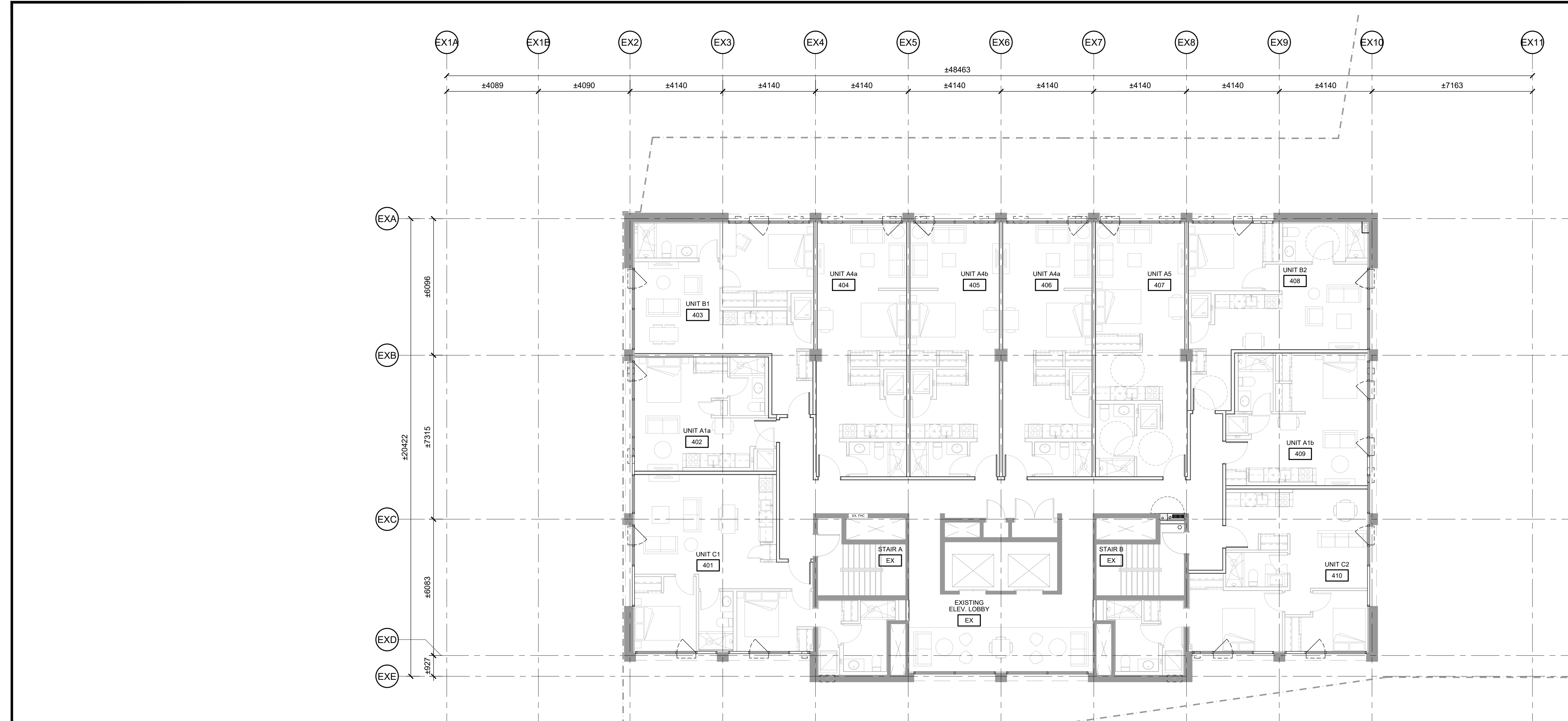
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SHEET TITLE:

2ND & 3RD FLOOR PLANS

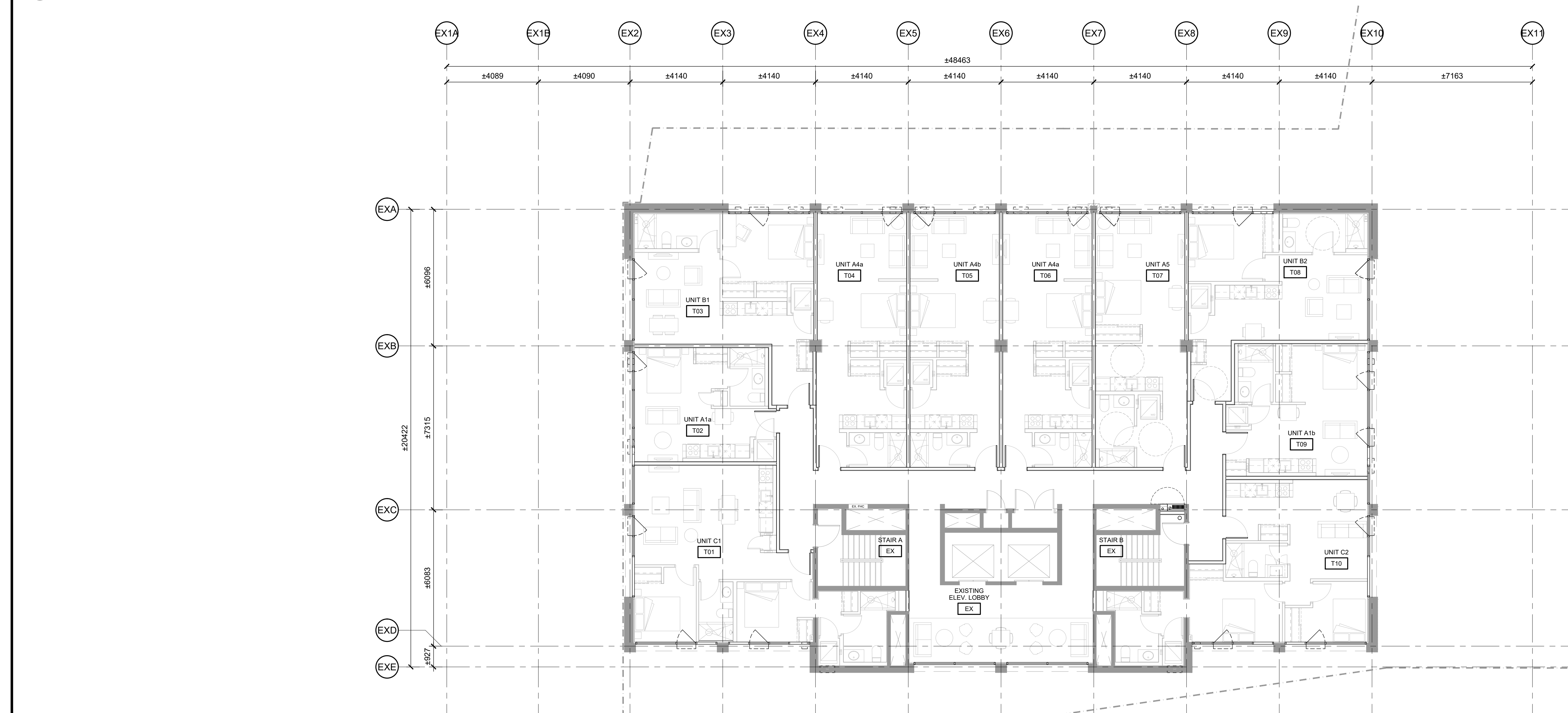
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SCALE: 1:100	SHEET No. A101
PROJECT No. 2316	

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1 4TH TO 5TH FLOOR PLAN - STAGE 1
A102

SCALE = 1:100



2 6TH TO 7TH FLOOR PLAN - STAGE 2
A102

SCALE = 1:100

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LEGEND

UNIT A# STUDIO BEDROOM UNIT
UNIT B# 1 BEDROOM UNIT
UNIT C# 2 BEDROOM UNIT

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265 CARLING AVENUE

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SHEET TITLE:

4TH TO 7TH FLOOR PLANS

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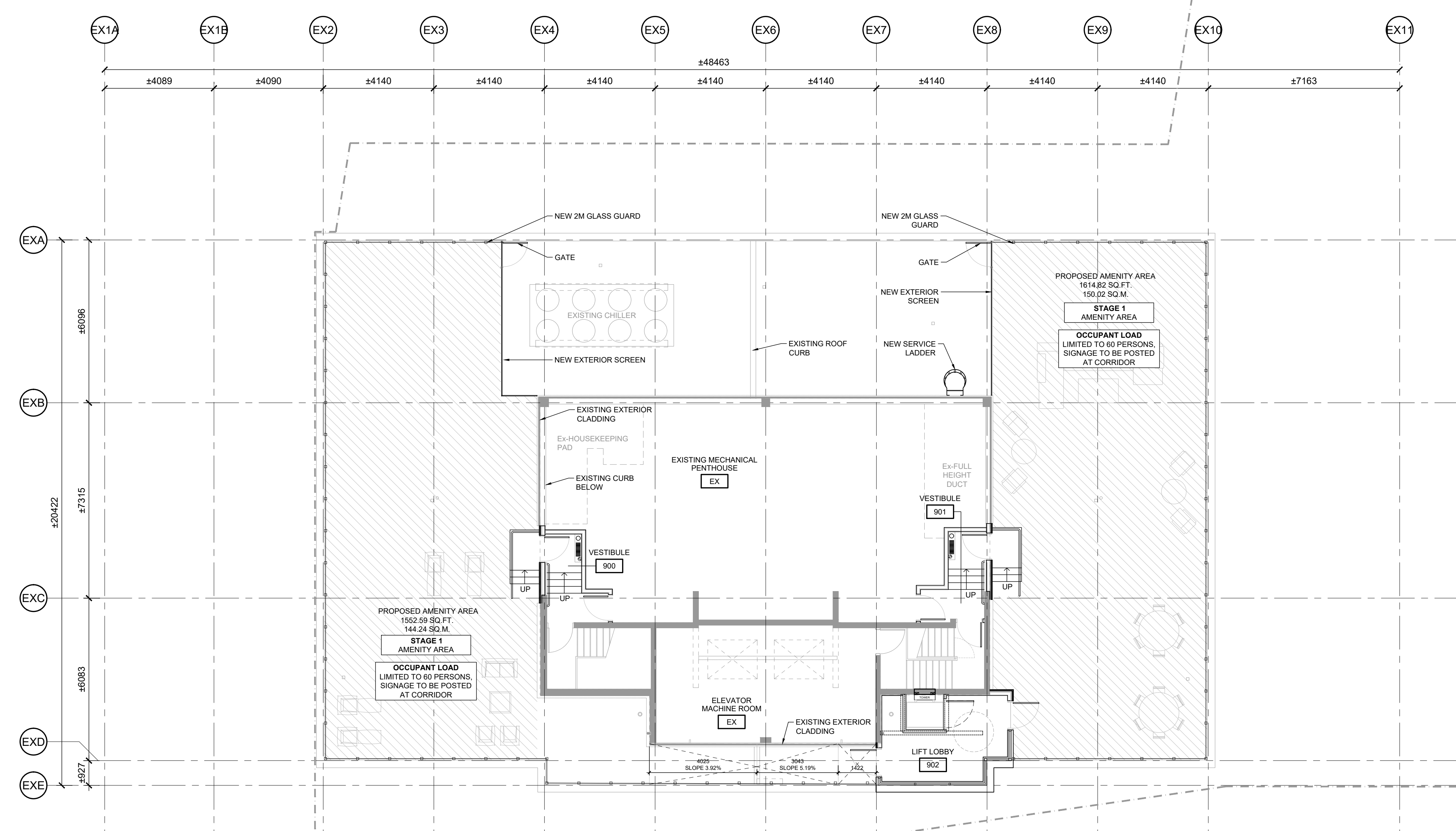
LEGEND

- UNIT A# STUDIO BEDROOM UNIT
- UNIT B# 1 BEDROOM UNIT
- UNIT C# 2 BEDROOM UNIT



1 8TH FLOOR PLAN - STAGE 2
A103

SCALE = 1:100



2 ROOF & MPH PLAN - STAGE 1
A103

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265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

8TH, ROOF AND MPH FLOOR PLANS

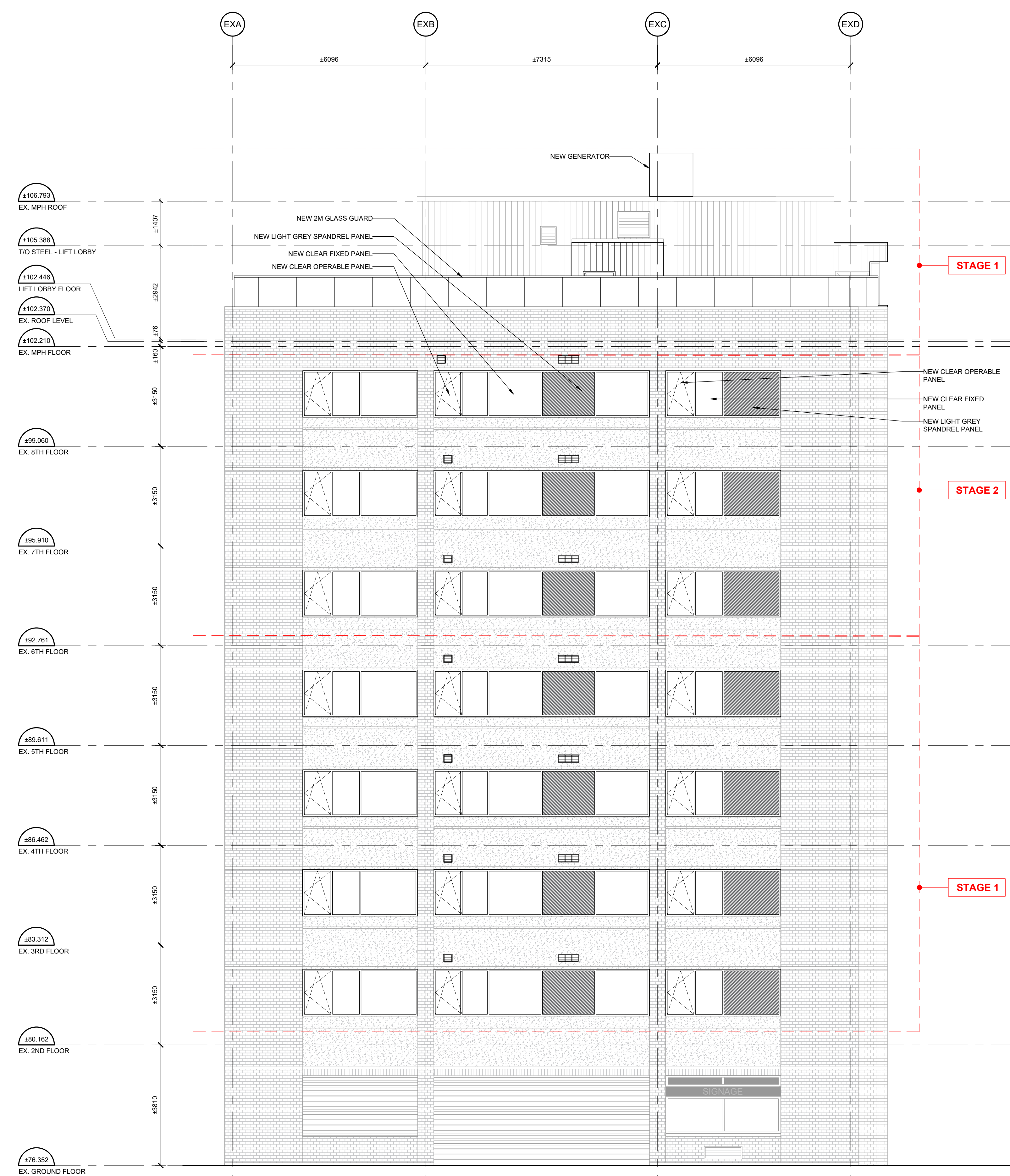
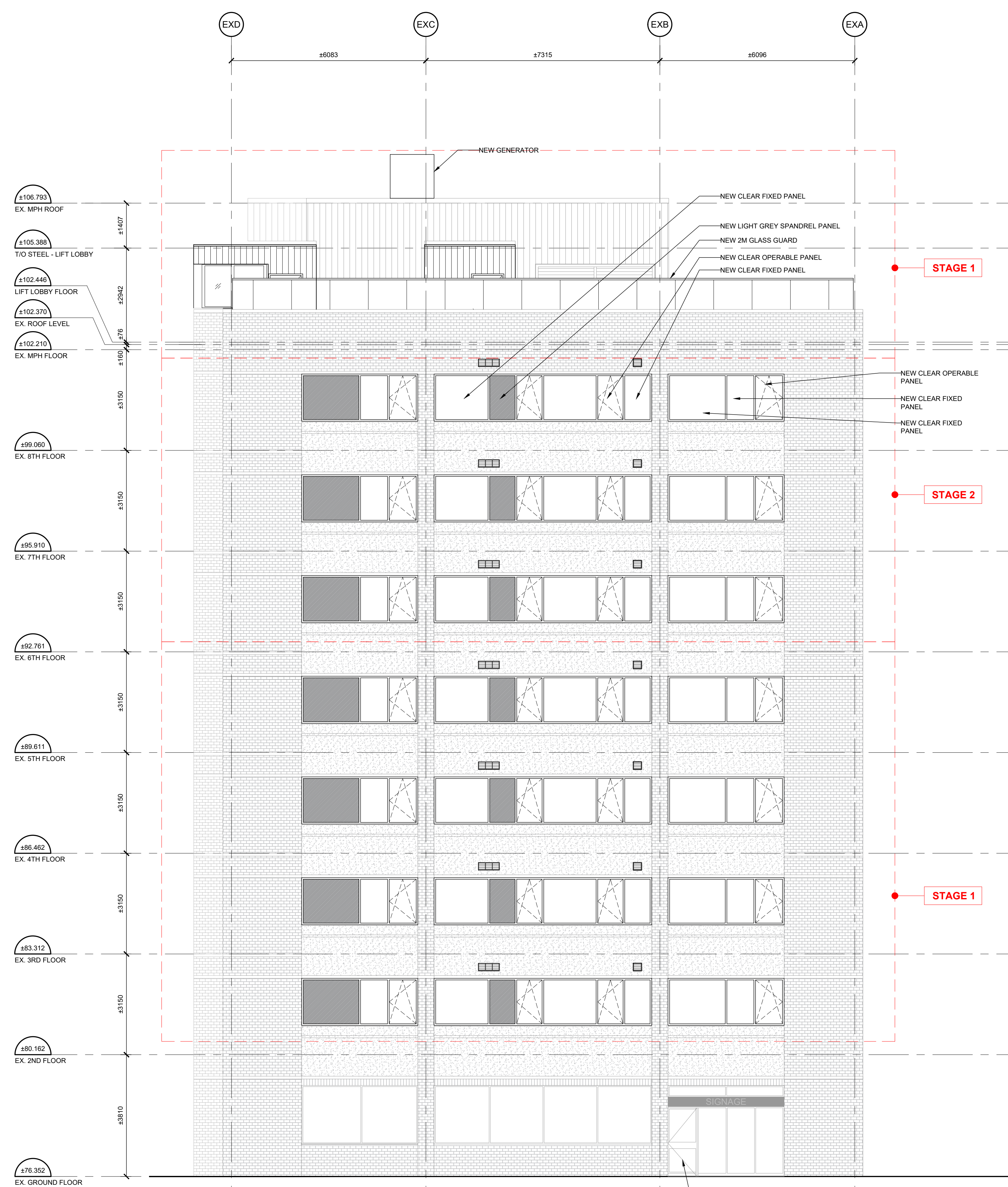
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1 EAST ELEVATION
A201

2 WEST ELEVATION
A201

SCALE = 1:75

SCALE = 1:75

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265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

EAST & WEST ELEVATION

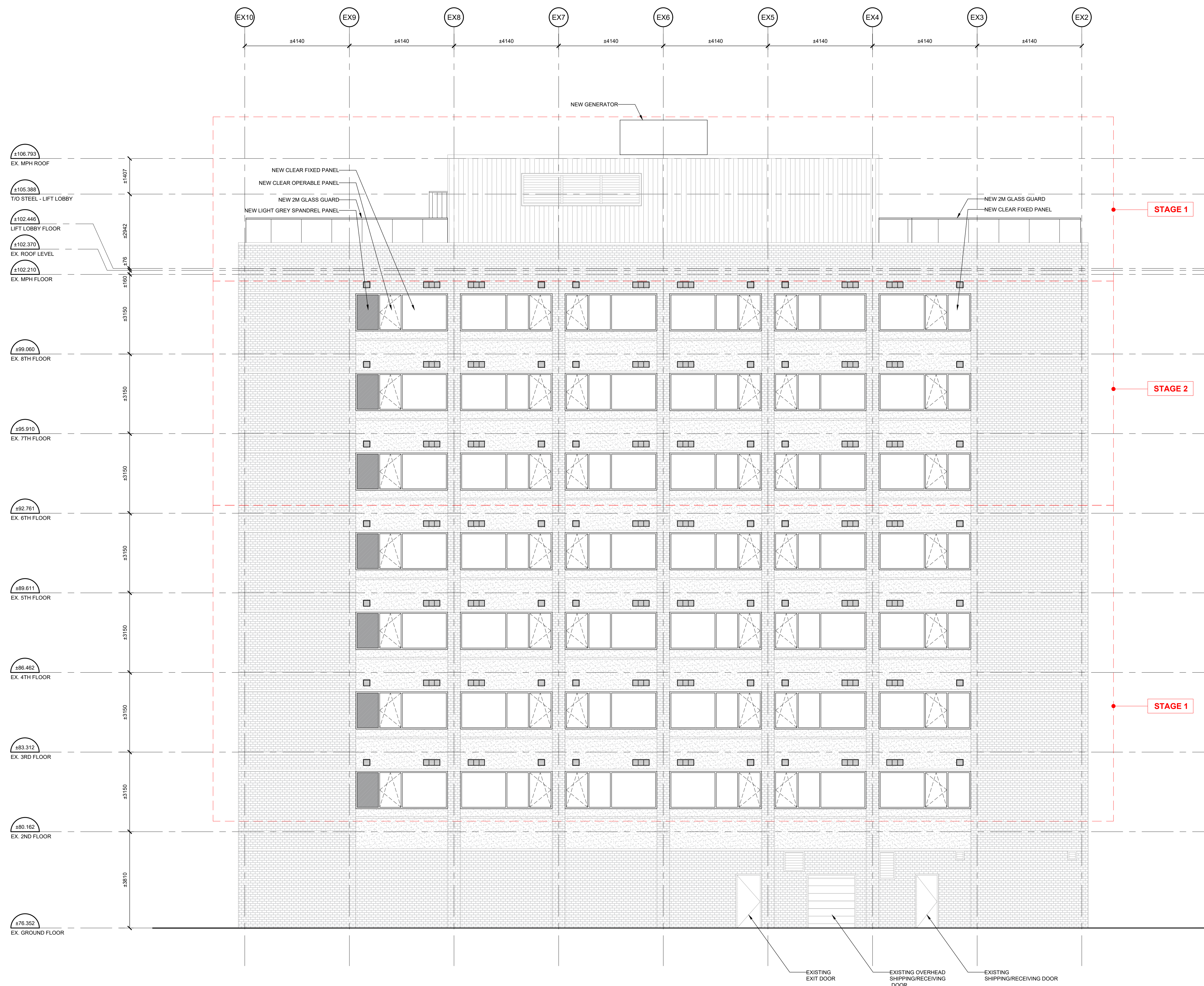
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PROJECT TITLE:

265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

NORTH ELEVATION

DRAWN: OT	CHECKED: RD
SCALE: 1:75	SHEET No. A202
PROJECT No. 2316	

1 NORTH ELEVATION
A202

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