

# PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

18.050 P01



**TURNER  
FLEISCHER**  
67 Lesmill Rd  
Toronto, ON, M3B 2T8  
Contact Name: Raza Mehdi  
Phone Number: 416-425-2222 ext 310  
Email: raza.mehdi@turnerfleischer.com

**ISSUED FOR SITE PLAN APPROVAL #4  
APRIL 30, 2026**

#### Gradient Wind

Wind  
127 Walgreed Rd,  
Carp, ON, K0A 1L0  
Contact Name: David Hurtima  
Phone Number: (613) 836-0934  
Email: david.hurtima@gradientwind.com

#### CGH Transportation

Traffic Consultant  
13 Markham Ave  
Ottawa, ON, K2G 3Z1  
Contact Name: Andrew Harte  
Phone Number: (613) 697-3797  
Email: andrew.harte@cghtransportation.com

#### Egis

Civil Engineer  
6240 Hwy 7, Suite 200  
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Contact Name: Alison Gosling  
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#### Foten Planning + Design

Landscape & Urban Planner  
396 Cooper Street, Suite 300  
Ottawa, ON, K2P 2H7  
Contact Name: Jillian Simpson  
Phone Number: (613) 730-5709  
Email: simpson@fotenn.com

#### Vollebakk Ltd.

Surveyor  
14 Concourse Gate, Suite 500  
Nepean, ON, K2E 7S6  
Contact Name: Annia O'sullivan  
Phone Number: (613) 727-0850  
Email: Nepean@aovltd.com

## TOPOGRAPHIC PLAN OF SURVEY OF

**LOT 1**  
**REGISTERED PLAN 747**  
**CITY OF OTTAWA**  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1:400  
0 10 20 30 40 50 60 70 80 90 100 Metres

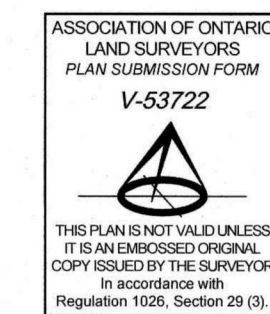
Metric  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**Surveyor's Certificate**  
I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.  
2. The survey was completed on the 19th day of May, 2023.  
Date: May 23, 2023  
V. Andrew Rempel  
Chartered Land Surveyor

### Notes & Legend

Denotes	
—	Survey Monument Planted
—	Survey Monument Found
SIB	Standard Iron Bar
SSB	Short Standard Iron Bar
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P)	Registered Plan 747
(P1)	Plan 58-3157
(P2)	Plan 48-17039
(P3)	(AOG) Plan dated June 14, 1995 (ADV Ref. O-180-95)
(P4)	Plan 48-12750
(P5)	Plan 58-5421
⊙	Fire Hydrant
⊕	Water Valve
⊕	Water Stand Post
⊕	Maintenance Hole (Storm Sewer)
⊕	Maintenance Hole (Sanitary)
⊕	Maintenance Hole (Bell Telephone)
⊕	Maintenance Hole (Hydro)
⊕	Catch Basin
⊕	Catch Basin Inlet
⊕	Monitoring Well
⊕	Handhole
⊕	Cable Terminal Box
⊕	Bollard
⊕	Sign
⊕	Chain Link Fence
⊕	Board Fence
⊕	Gate
⊕	Mail Pole
⊕	Utility Pole
⊕	Anchor
⊕	Light Standard
⊕	Deciduous Tree
⊕	Coniferous Tree
⊕	Shrub
⊕	Diameter
⊕	Location of Elevations
⊕	Top of Concrete Curb Elevation
C/L	Centreline
—	Property Line
(d)	Multiple trees

SITE AREA = 34,661 m<sup>2</sup>



Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 0191680105 and 019198434791, MTM Zone 9 (78°30' West Longitude) NAD-83 (original).

For comparison purposes, bearings shown on Plans (P), (P1) & (P3) are astronomic bearings.

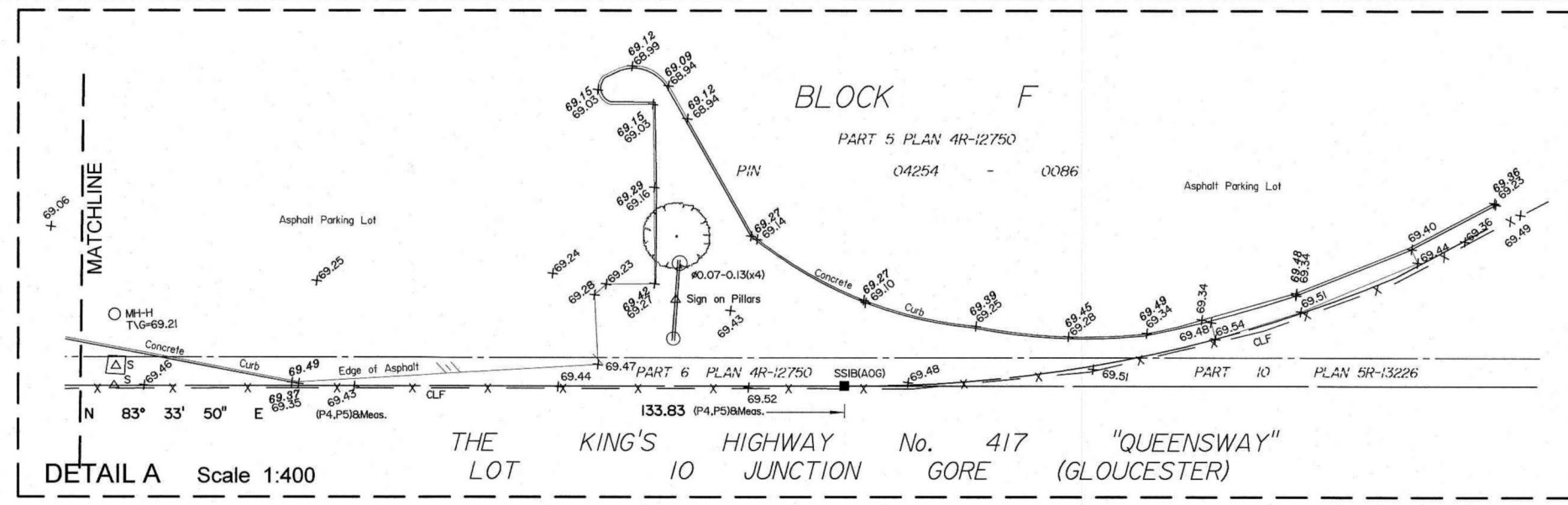
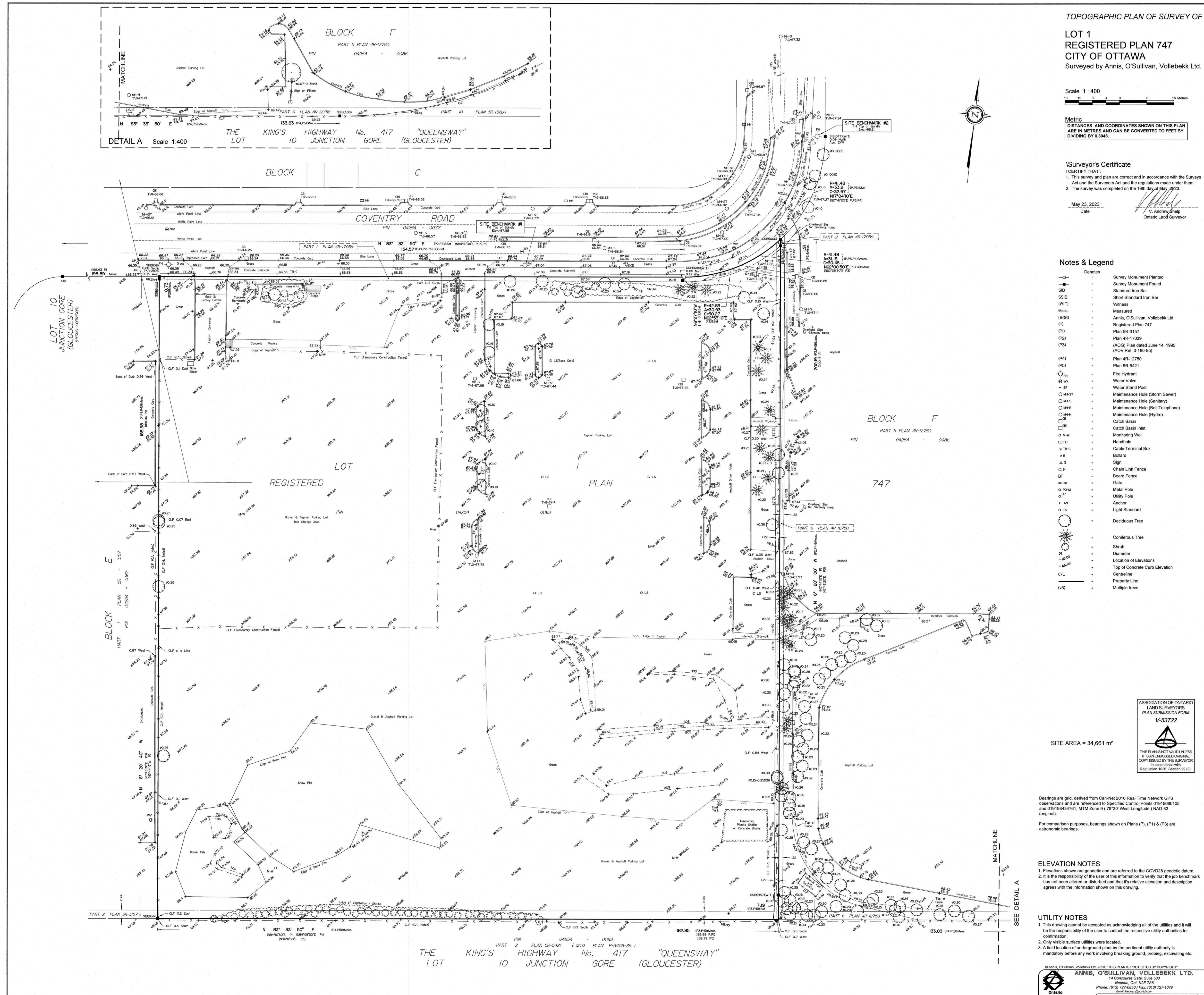
### ELEVATION NOTES

- Elevations shown are geoidetic and are referred to the CGVD28 geoidetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

### UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

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**ANNIS, O'SULLIVAN, VOLLEBEK LTD.**  
14 Coventry Court, Suite 300  
Ottawa, Ont. K2E 7S5  
Phone: (613) 727-0800 / Fax: (613) 727-1070  
Email: survey@annisov.com  
www.annisov.com  
S.P. No. 2386-25 Revised Eng. L.S. 747-9-7



#	DATE	DESCRIPTION	BY
3	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



**PROJECT**  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

**DRAWING**  
**SURVEY**

PROJECT NO.	18.050 P01
PROJECT DATE	2026-04-30
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	NTS

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## SPA DRAWINGS

SHEET NUMBER	SHEET NAME
SPA000	COVER SHEET
SPA001	SURVEY
SPA004	CONTEXT PLAN & DRAWING LIST
SPA005A	MASTER PLAN / CONCEPT PLAN
SPA005B	SITE PLAN / ROOF PLAN - OVERALL SITE
SPA005C	SITE PLAN / ROOF PLAN
SPA101	UNDERGROUND LEVEL 02
SPA102	UNDERGROUND LEVEL 01
SPA151	FLOOR 01
SPA152	FLOOR 02
SPA153	FLOOR 03 - 05
SPA154	FLOOR 06
SPA155	FLOOR 07
SPA156	FLOOR 08 - 28
SPA157	MPH
SPA301	ELEVATIONS
SPA302	ELEVATIONS
SPA401	EAST-WEST SECTION
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA803	3D PERSPECTIVE
SPA804	3D PERSPECTIVES
SPA805	3D PERSPECTIVES
SPA806	3D PERSPECTIVES
SPA807	3D PERSPECTIVES
SPA808	3D PERSPECTIVES
SPA809	3D PERSPECTIVES - PARKING RAMP
SPA810	3D PERSPECTIVES - PARKING RAMP

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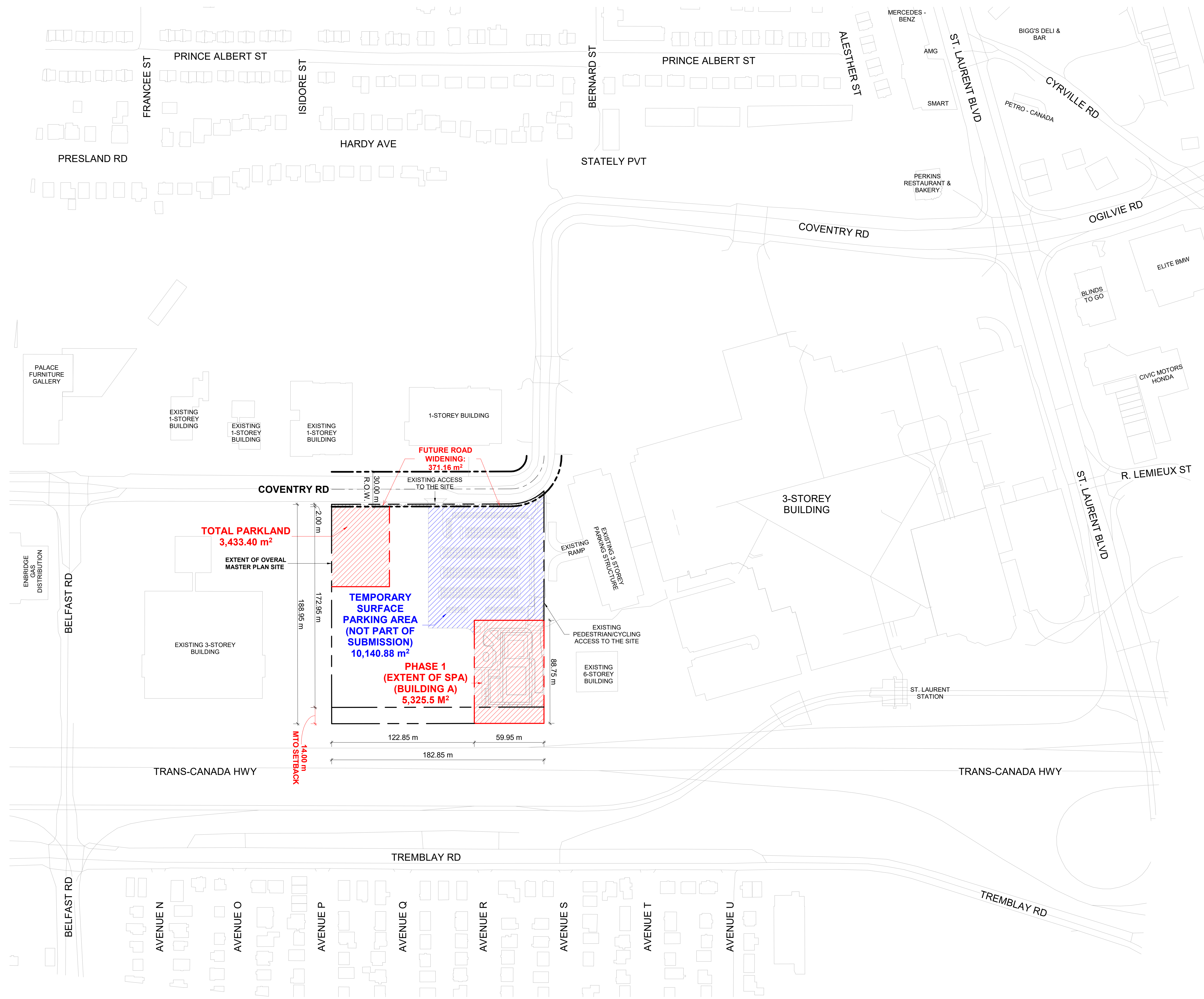
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## DRAWING CONTEXT PLAN & DRAWING LIST

PROJECT NO.	18.050 P01
PROJECT DATE	2026-04-30
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1 : 1500



DRAWING NO.	SPA004	REV	5
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1 CONTEXT PLAN  
SPA004 1 : 1500

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### SITE PLAN SYMBOLS

	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	SPOT ELEVATION
	GAS/HYDRO METER
	PRIVATE ROAD
	PRIVATE ROAD - INTERNAL
	PARKLAND
	SOFT LANDSCAPING
	GREEN ROOF / AMENITY
	TWO-WAY CYCLE PATH
	OUTDOOR TERRACE
	SIDEWALK
	TWSI - AT PEDESTRIAN AND CYCLING CROSSINGS
	TOWNHOUSES AT GRADE
	EXTENT OF UNDERGROUND PARKING BELOW
	EXTENT OF SPA

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

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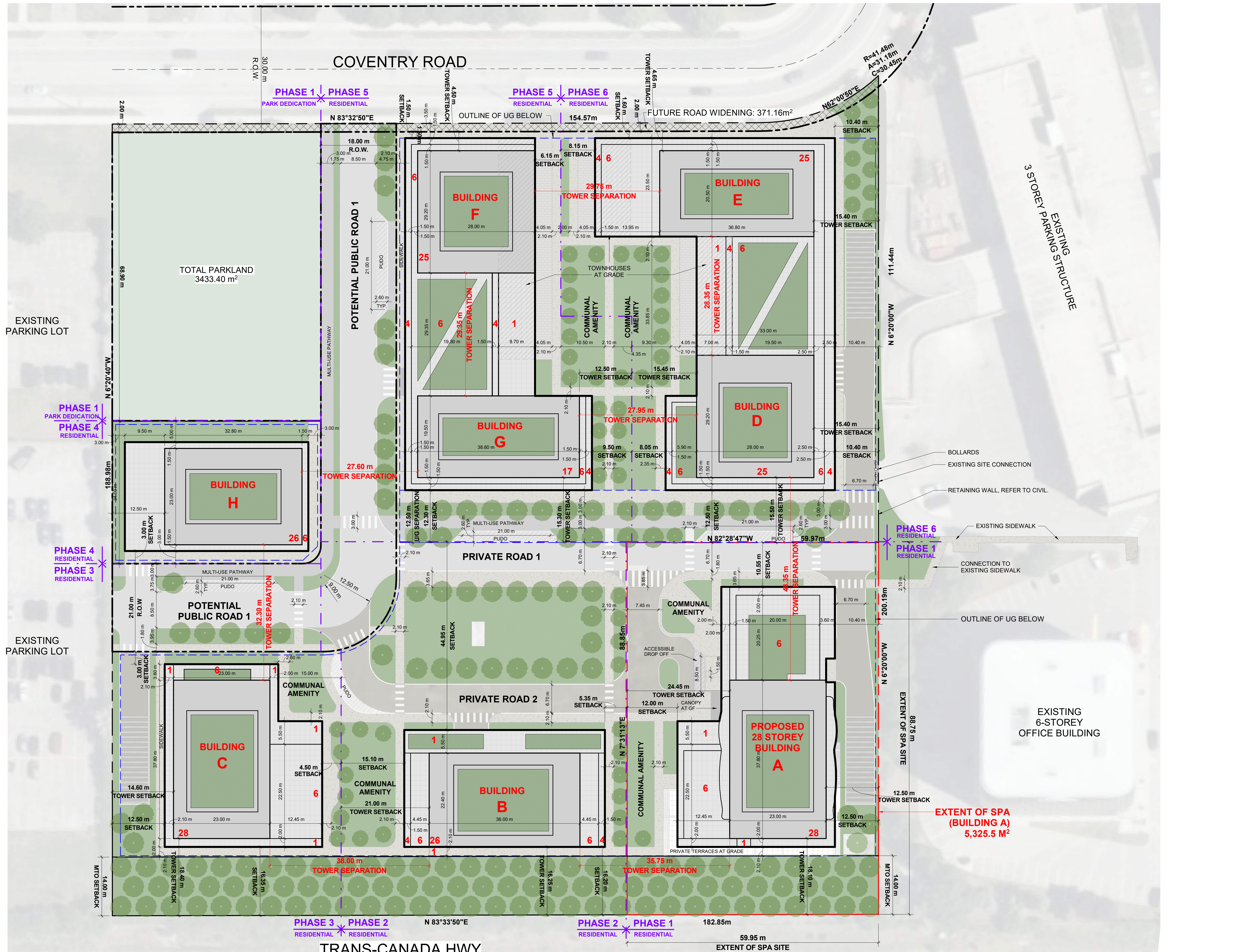


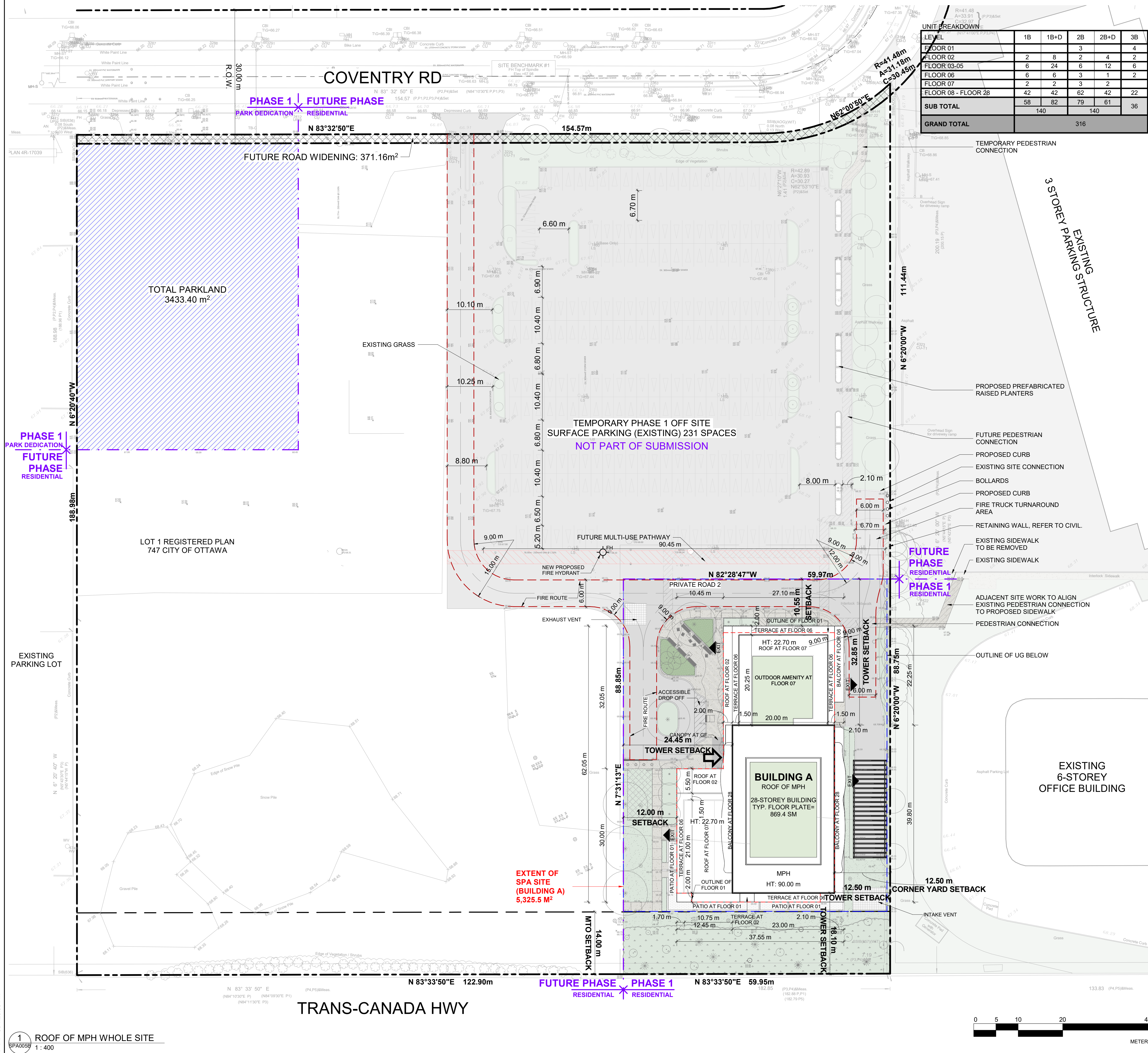
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**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
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FILE #D07-12-24-0151  
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### MASTER PLAN / CONCEPT PLAN

PROJECT NO. 18.050 PD1	 RUSSELL FLEISCHER LICENCE 5004
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1:400	

DRAWING NO. SPA005A	REV 5
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**PROJECT INFORMATION**  
Zoning By-law 2008-250 Consolidation

**NET OVERALL SITE AREA BREAKDOWN**

AREA TYPE	m <sup>2</sup>	ACRE
SITE AREA - BLDG A	5,325.54	1.316
TOTAL PARKLAND AREA	3,433.40	0.848
FUTURE ROAD WIDENING AREA	371.16	0.092
TOTAL PHASE 1 & ASSOCIATED AREAS	9,130.10	2.256
TEMPORARY OFF SITE PARKING	10,140.88	2.573
REMAINING SITE AREA	15,120.12	3.736
TOTAL SITE AREA	34,661.0	8.565

**ZONING**

BUILDING HEIGHT	REQUIRED	PROVIDED
GRADE (GEODETIC ELEVATION - ASL)	30 STOREYS / 90.0M	28 STOREYS / 90.0M
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0M	22.7M
DENSITY - MINIMUM 350 UNITS/HECTARE	206 UNITS	316 UNITS
FRONT YARD SETBACK	3.0M/3.0M	110.75M
CORNER YARD SETBACK (EAST / WEST)	3.0M/3.0M	134.85M/12.5M
REAR YARD SETBACK (GROUND TO 6th FLOOR)	0.0M	16.10M
REAR YARD SETBACK (ABOVE 7th STOREY)	12.0M	18.10M
AMENITY AREA - TOTAL PER UNIT	6.0M <sup>2</sup>	14.4M <sup>2</sup>
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0M <sup>2</sup>	3.00M <sup>2</sup>
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	117.15M <sup>2</sup>	170.9M <sup>2</sup>
VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT)	NOT REQUIRED	289
VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)	30	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	158	309
AISSLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0M/6.7M	6.7M

**GROSS FLOOR AREA (OTTAWA ZONING DEFINITION)**

FLOOR	m <sup>2</sup>	ft <sup>2</sup>
UG 02-01	0	0
FLOOR 01	503.6	5,421
FLOOR 02	1,339.6	14,419
FLOOR 03-05	1,339.6 m <sup>2</sup> x 3	4,018.8
FLOOR 06	1,224.1	13,176
FLOOR 07	631.4	6,796
FLOOR 08 - FLOOR 28	725.2 m <sup>2</sup> x 21	15,229.8
TOTAL	22,347.3	247,003

**TYP. FLOOR PLATE (INCLUDING EXTERIOR WALLS)**  
869.4 m<sup>2</sup> / 9,358 ft<sup>2</sup>

**UNIT STATISTICS**

UNIT TYPE	UNITS
1B	58
1B+D	82
2B	80
2B+D	61
3B	35
TOTAL	316

**VEHICULAR PARKING SPACES REQUIRED - AREA 'Z' ON SCHEDULE 1A**

TYPE	SPACES
VISITOR	0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30
RESIDENTIAL	N/A
TOTAL	30

**VEHICULAR PARKING SPACES PROVIDED**

TYPE	SPACES
VISITOR	0.1 SPACES PER UNIT (316 UNITS)
RESIDENTIAL	0.55 SPACES PER UNIT (316 UNITS)
TOTAL	205

**EXISTING SURFACE PARKING LOT**  
TOTAL: 112

**TOTAL: 1.03 PER UNIT (316 UNITS) = 319**

**ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)**

TYPE	SPACES
TYPE 'A'	3
TYPE 'B'	4
TOTAL	7

**ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)**

TYPE	SPACES
TYPE 'A'	3
TYPE 'B'	5
TOTAL	8

**STANDARD PARKING SPACE**  
2.6m X 5.2m

**PARALLEL PARKING SPACE**  
2.6m X 6.7m

**SMALL PARKING SPACE**  
2.4m X 4.6m

**ACCESSIBLE PARKING SPACE 'TYPE A'**  
3.4m X 5.2m

**ACCESSIBLE PARKING SPACE 'TYPE B'**  
2.4m X 5.2m

**LOADING SPACE**  
3.5m X 7.0m

**BICYCLE PARKING SPACES REQUIRED**

TYPE	SPACES
RESIDENTIAL	0.5 PER UNIT (316 UNITS)
TOTAL	158

**BICYCLE PARKING SPACES PROVIDED**

TYPE	SPACES
RESIDENTIAL	INTERIOR
TOTAL	EXTERIOR
TOTAL	1.0 PER UNIT (309 UNITS) = 316

**AMENITY AREA**

TYPE	m <sup>2</sup>	ft <sup>2</sup>
GRADE EXTERIOR - COMMUNAL	170.9	1,839
INTERIOR - COMMUNAL	582.9	6,275
07F EXTERIOR - COMMUNAL	202.1	2,175
TOTAL COMMUNAL	955.9	10,289
BALCONIES / TERRACE - PRIVATE	3,599.5	38,744
TOTAL	4,555.4	49,033

**REQUIRED (316 UNITS X 6 m<sup>2</sup>) = 1,896.0 sq. m.**  
**REQUIRED COMMUNAL @ 50% = 948.0 sq. m.**

**SITE COVERAGE**

TYPE	m <sup>2</sup>	%
BUILDING FOOTPRINT	1,815.4	34.8%
DRIVING SURFACE	1,225.8	22.3%
LANDSCAPE AREA	2,284.3	42.9%
TOTAL BUILDING A	5,325.5	100%

**REFUSE REQUIREMENT (316 UNITS)**

TYPE	COMPACTED RATIO	CUBIC YARDS
GARBAGE	0.053 yd <sup>3</sup> /UNIT	17
RECYCLING GMP	0.018 yd <sup>3</sup> /UNIT	6
RECYCLING FIBER	0.038 yd <sup>3</sup> /UNIT	12
COMPOST	240L PER 50 UNITS	7 BINS

**TURNER FLEISCHER**  
Turner Fleischer Architects Inc.  
67 Lesmill Road  
Toronto, ON, M5B 2T8  
1 416 425 2222  
turnerfleischer.com

**SITE PLAN SYMBOLS**

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- SPOT ELEVATION
- GASHYDRO METER

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

- VISITOR PARKING SPACE
- RESIDENTIAL PARKING SPACE

**MINIMUM PERMITTED PARKING DIMENSIONS**

**TYPICAL PARKING DIMENSIONS**

aisle width: MIN 6.7m

**TYPICAL PARKING SPACE:**  
MIN 2.6 x 5.2 x 2.1 m HIGH

**TYPICAL BARRIER FREE SPACE**  
MIN 3.66 x 5.2 x 2.1m HIGH

\* UNDERGROUND WILL BE DESIGNED/CONSTRUCTED AT 15kPa BRIDGE STANDARD

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**Morguard**

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**SITE PLAN / ROOF PLAN - OVERALL SITE**

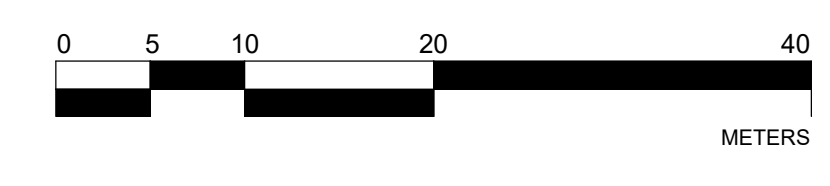
PROJECT NO: 18.050 P01  
PROJECT DATE: 2026-04-30  
DRAWN BY: RYT  
CHECKED BY: HHO  
SCALE: 1:400

**ONTARIO ASSOCIATION OF ARCHITECTS**  
RUSSELL L FLEISCHER  
LICENCE 5004

DRAWING NO: SPA005B  
REV: 5

2026-04-30 1:20:53 PM

1 ROOF OF MPH WHOLE SITE  
SPA005B 1:400





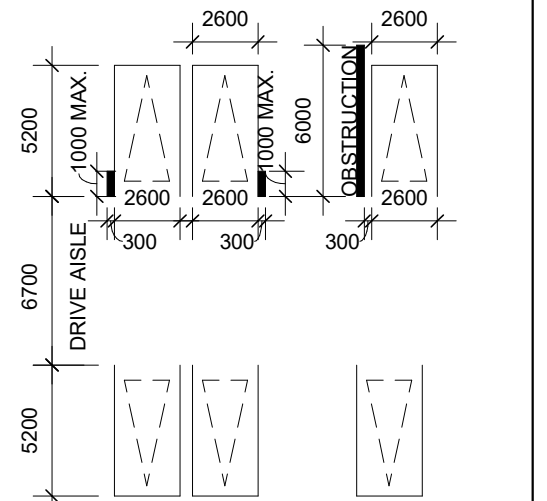
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V VISITOR PARKING SPACE  
R RESIDENTIAL PARKING SPACE

### MINIMUM PERMITTED PARKING DIMENSIONS

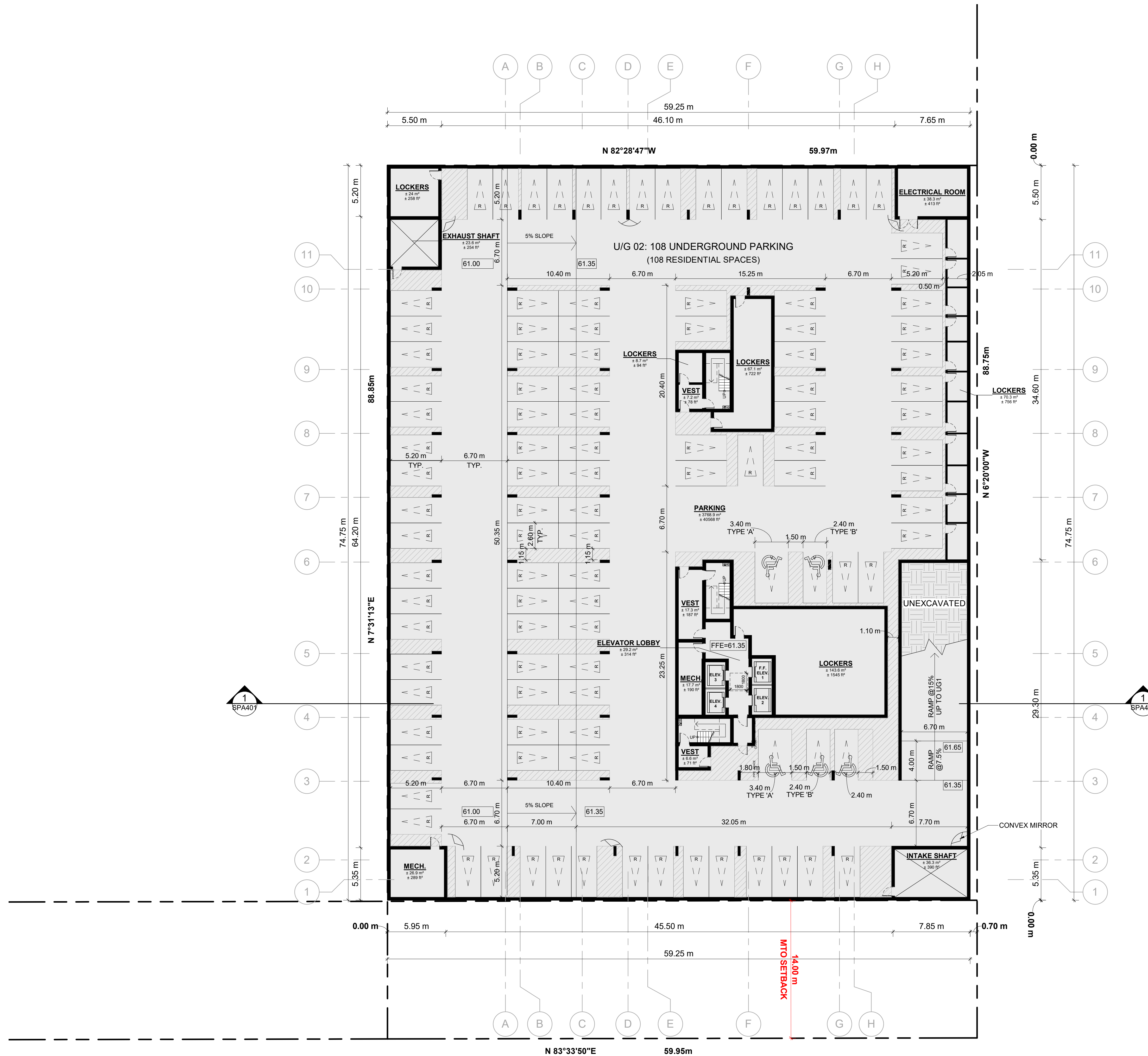
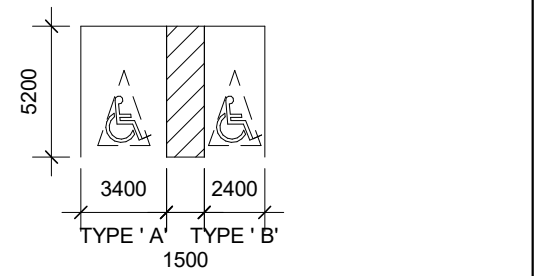
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TYPICAL PARKING SPACE:  
MIN 2.6 x 5.2 x 2.1 m HIGH



#### TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH



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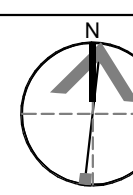
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DRAWING  
**UNDERGROUND LEVEL 02**

PROJECT NO.	18.050 P01
PROJECT DATE	2026-04-30
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1:200



DRAWING NO.	SPA101	REV	5
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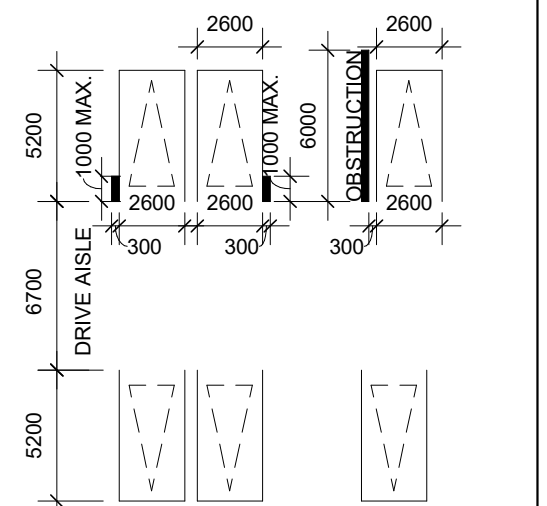
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R RESIDENTIAL PARKING SPACE

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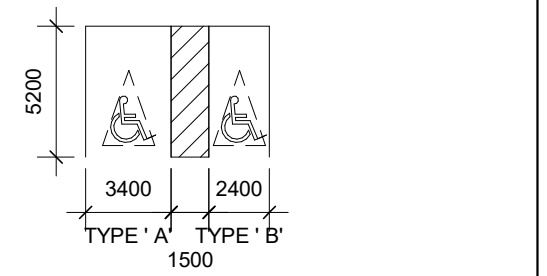
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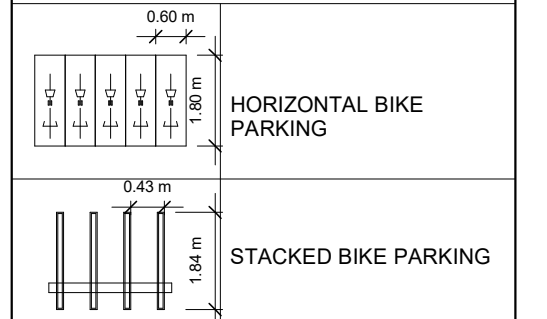


#### TYPICAL BARRIER FREE SPACE

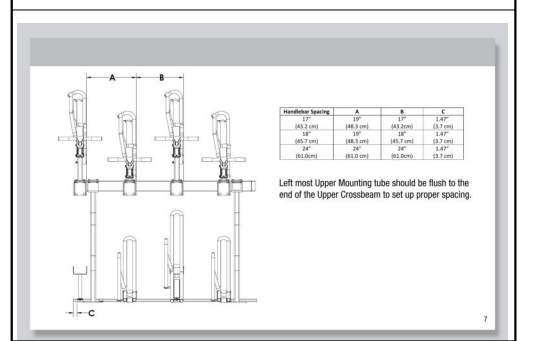
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### BIKE PARKING LEGEND



#### STACKED BIKE PARKING DIAGRAM



#	DATE	DESCRIPTION	BY
5	2025-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2025-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU

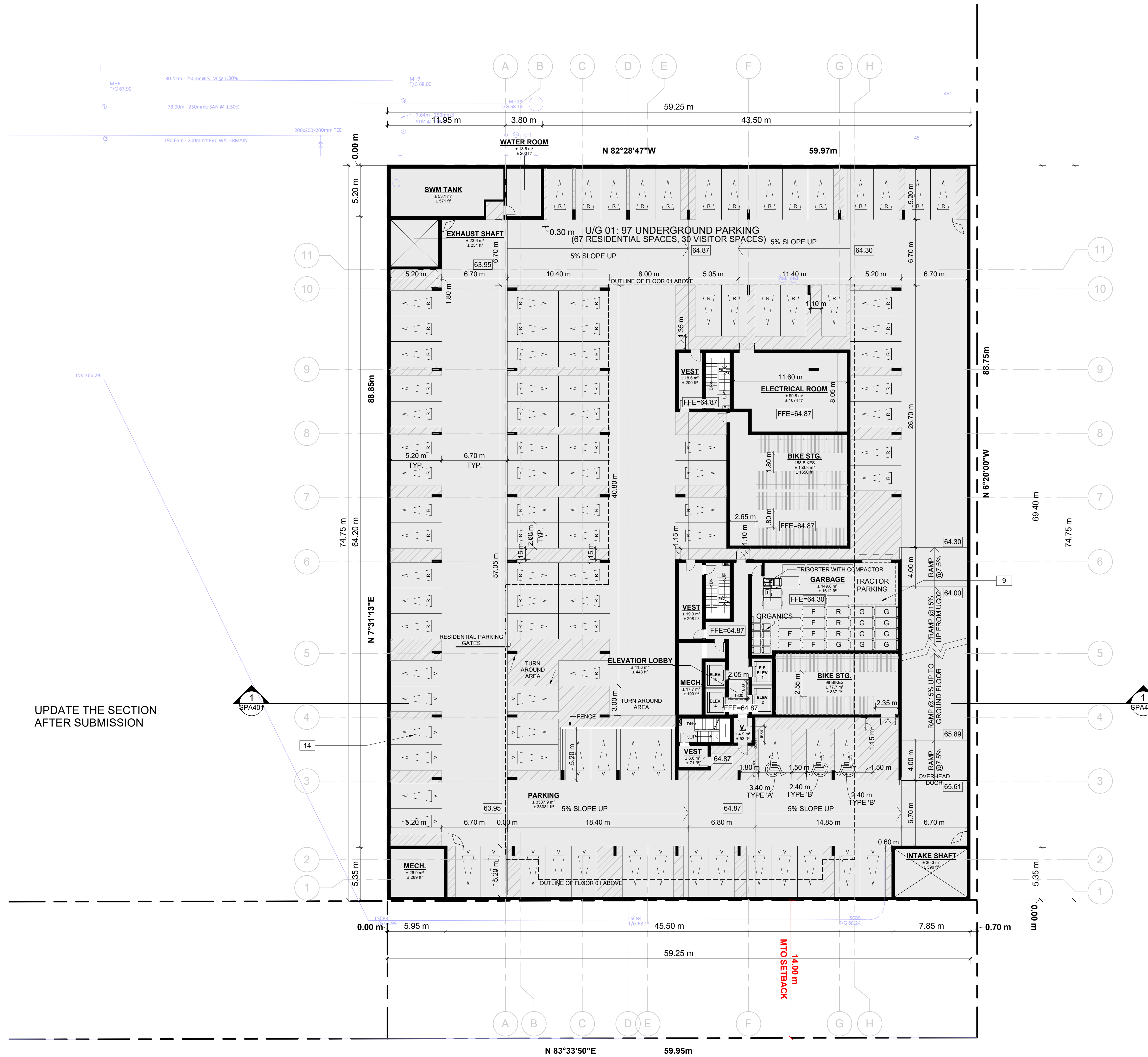


PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**UNDERGROUND LEVEL 01**

PROJECT NO. 18.050 PD1	
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1:200	

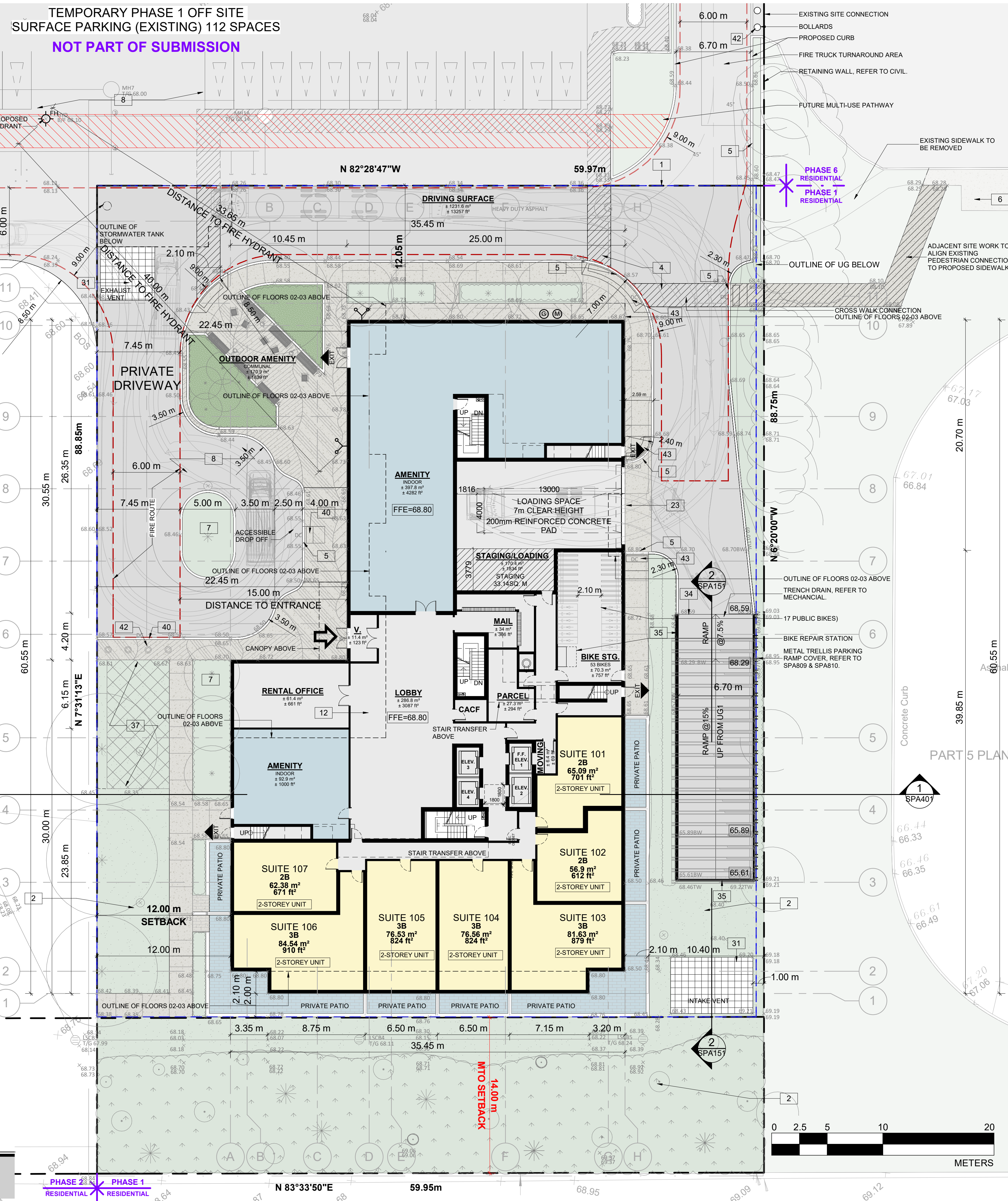
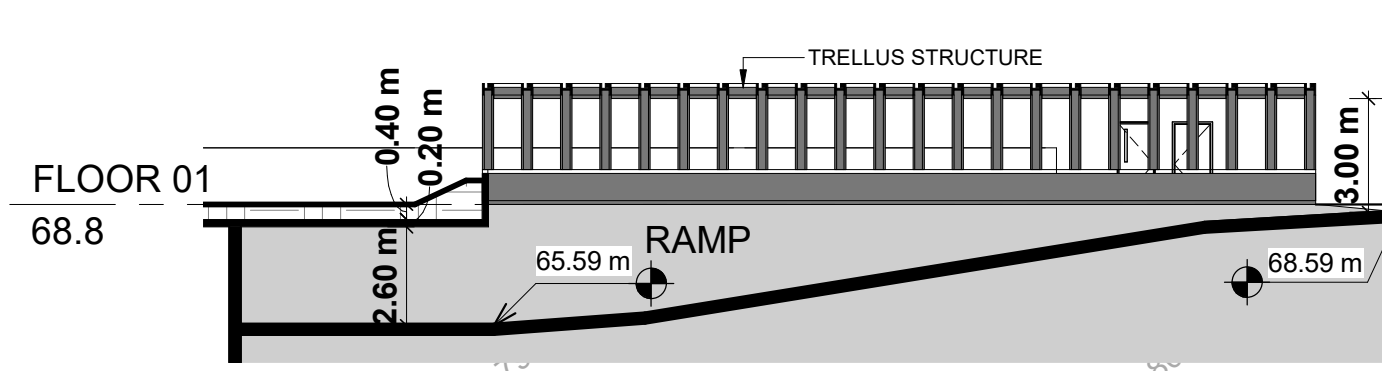
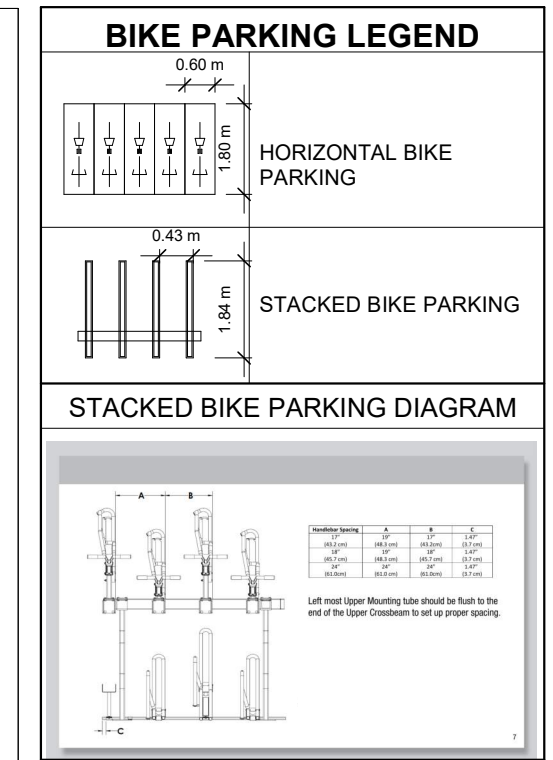
DRAWING NO. SPA102	REV 5
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1 UG1  
SPA102  
1 : 200

UNIT BREAKDOWN					
LEVEL	1B	1B+D	2B	2B+D	3B
FLOOR 01			3		4
FLOOR 02	2	8	2	4	2
FLOOR 03-05	6	24	6	12	6
FLOOR 06	6	6	3	1	2
FLOOR 07	2	2	3	2	
FLOOR 08 - FLOOR 28	42	42	62	42	22
<b>SUB TOTAL</b>	<b>58</b>	<b>82</b>	<b>79</b>	<b>61</b>	<b>36</b>
<b>GRAND TOTAL</b>	<b>140</b>	<b>140</b>			

- DRAWINGS NOTES**
- PHASE 1 LIMITS
  - BUILDING SETBACKS
  - PROPOSED ROAD WIDENING
  - HARD SURFACE PAVING. REFER TO LANDSCAPE PLAN FOR PATTERN AND TYPE
  - DEPRESSED CURB AND SIDEWALK TO CITY STANDARDS, REFER TO CIVIL
  - EXISTING STREET CURB AND SIDEWALK
  - SOFT LANDSCAPING, REFER TO LANDSCAPE PLAN
  - ASPHALT DRIVING SURFACE / PARKING LOT WITH BARRIER CURB
  - INTERNAL GARBAGE ROOM
  - 2.0m WIDE CONCRETE SIDEWALK
  - OUTLINE OF PRIVATE BALCONY ABOVE
  - OUTLINE OF TOWER ABOVE
  - STRUCTURAL SUPPORT FOR BUILDING ABOVE
  - VISITOR / SHORT TERM PARKING SPACE 2.6 x 5.2m
  - EXISTING TREE TO BE REMOVED
  - EXISTING STORM GRATE
  - EXISTING UTILITY KIOSK
  - PROPOSED SERVICES
  - RETAINING WALL, REFER TO CIVIL FOR HEIGHT
  - EXISTING CONCRETE / ASPHALT ISLAND
  - EXISTING UTILITY / LIGHT POLE
  - 1.2 x 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
  - 3.5 x 7.0m LOADING SPACE
  - SIAMESE CONNECTION
  - EXISTING CROSSWALK WITH DEPRESSED CURBS
  - EXISTING CONCRETE JERSEY BARRIER
  - EXISTING CONCRETE OVERPASS
  - GUARDRAIL WITH METAL PIPE RAILING
  - EXISTING FIRE HYDRANT
  - INTAKE / EXHAUST GRILL
  - BICYCLE PARKING SPACE WITH RACK
  - OUTLINE OF BELOW GRADE PARKING DECK
  - HEATED GARAGE RAMP WITH TRENCH DRAIN
  - GARAGE RAMP WALL
  - RELOCATE UTILITY / LIGHT POLE AS NEEDED
  - TEMPORARY SNOW STORAGE. SNOW WILL BE REMOVED FROM THE SITE AS REQUIRED
  - PRIVACY FENCE
  - WASHED PEA-STONE SURFACE
  - DEPRESSED CURB
  - ACCESS TO INTERNAL CISTERN
  - REMOVABLE CONCRETE BOLLARDS
  - TACTILE WALKING SURFACE INDICATORS



**2 RAMP SECTION**  
1 : 200

**1 FLOOR 01**  
1 : 200

**PROJECT INFORMATION**  
Zoning By-law 2008-250 Consolidation TD3

**NET OVERALL SITE AREA BREAKDOWN**

AREA TYPE	m <sup>2</sup>	ACRE
SITE AREA - BLDG A	5,325.54	1.316
TOTAL PARKLAND AREA	3,433.40	0.848
FUTURE ROAD WIDENING AREA	371.16	0.092
TOTAL PHASE 1 & ASSOCIATED AREAS	9,130.10	2.256
TEMPORARY OFF SITE PARKING	10,140.88	2.573
REMAINING SITE AREA	15,120.12	3.736
TOTAL SITE AREA	34,661.0	8.565

**ZONING**

	REQUIRED	PROVIDED
BUILDING HEIGHT	30 STOREYS / 90.0M	28 STOREYS / 90.0M
GRADE (GEODETIC ELEVATION - ASL)	0.0M	68.80M
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0M	22.7M
DENSITY - MINIMUM 350 UNITS/HECTARE	206 UNITS	316 UNITS
FRONT YARD SETBACK	3.0M	110.75M
CORNER YARD SETBACK (EAST / WEST)	3.0M/3.0M	134.85M/12.5M
REAR YARD SETBACK (GROUND TO 6th FLOOR)	0.0M	16.10M
REAR YARD SETBACK (ABOVE 7th STOREY)	12.0M	18.10M
AMENITY AREA - TOTAL PER UNIT	6.0M <sup>2</sup>	14.4M <sup>2</sup>
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0M <sup>2</sup>	3.00M <sup>2</sup>
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	117.15M <sup>2</sup>	170.9M <sup>2</sup>
VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - MAX 1.5/PER UNIT)	NOT REQUIRED	289
VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)	30	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	158	309
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0M/6.7M	6.7M

**GROSS FLOOR AREA (OTTAWA ZONING DEFINITION)**

	m <sup>2</sup>	ft <sup>2</sup>
UG 02-01	0	0
FLOOR 01	503.6	5,421
FLOOR 02	1,339.6	14,419
FLOOR 03-05	1,339.6 m <sup>2</sup> x 3	4,018.8
FLOOR 06	1,224.1	13,176
FLOOR 07	631.4	6,796
FLOOR 08 - FLOOR 28	725.2 m <sup>2</sup> x 21	15,229.8
<b>TOTAL</b>	<b>22,347.3</b>	<b>247,003</b>

**TYP. FLOOR PLATE (INCLUDING EXTERIOR WALLS)**

	m <sup>2</sup>	ft <sup>2</sup>
UG 02-01	0	0
FLOOR 01	503.6	5,421
FLOOR 02	1,339.6	14,419
FLOOR 03-05	1,339.6 m <sup>2</sup> x 3	4,018.8
FLOOR 06	1,224.1	13,176
FLOOR 07	631.4	6,796
FLOOR 08 - FLOOR 28	725.2 m <sup>2</sup> x 21	15,229.8
<b>TOTAL</b>	<b>22,347.3</b>	<b>247,003</b>

**UNIT STATISTICS**

	UNITS
1B	58
1B+D	82
2B	80
2B+D	61
3B	35
<b>TOTAL</b>	<b>316</b>

**VEHICULAR PARKING SPACES REQUIRED - AREA 'Z' ON SCHEDULE 1A**

	VISITOR	RESIDENTIAL	TOTAL
VEHICULAR PARKING SPACES REQUIRED - AREA 'Z' ON SCHEDULE 1A	0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30	N/A	30
<b>TOTAL</b>			<b>30</b>

**VEHICULAR PARKING SPACES PROVIDED**

	VISITOR	RESIDENTIAL	TOTAL
VEHICULAR PARKING SPACES PROVIDED	0.1 SPACES PER UNIT (316 UNITS)	0.55 SPACES PER UNIT (316 UNITS)	205
EXISTING SURFACE PARKING LOT			112
<b>TOTAL</b>			<b>319</b>

**ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)**

	TYPE 'A'	TYPE 'B'	TOTAL
ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)	3	4	7
<b>TOTAL</b>			<b>7</b>

**ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)**

	TYPE 'A'	TYPE 'B'	TOTAL
ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)	3	5	8
<b>TOTAL</b>			<b>8</b>

**STANDARD PARKING SPACE**

	2.6m X 5.2m	2.4m X 6.7m	3.4m X 5.2m	2.4m X 5.2m	3.5m X 7.0m
STANDARD PARKING SPACE	2.6m X 5.2m	2.4m X 6.7m	3.4m X 5.2m	2.4m X 5.2m	3.5m X 7.0m
PARALLEL PARKING SPACE					
SMALL PARKING SPACE					
ACCESSIBLE PARKING SPACE 'TYPE A'					
ACCESSIBLE PARKING SPACE 'TYPE B'					
LOADING SPACE					
<b>TOTAL</b>					

**BICYCLE PARKING SPACES REQUIRED**

	RESIDENTIAL	TOTAL
BICYCLE PARKING SPACES REQUIRED	0.5 PER UNIT (316 UNITS)	158
<b>TOTAL</b>		<b>158</b>

**BICYCLE PARKING SPACES PROVIDED**

	RESIDENTIAL	INTERIOR	EXTERIOR	TOTAL
BICYCLE PARKING SPACES PROVIDED	158	0	0	158
<b>TOTAL</b>				<b>158</b>

**AMENITY AREA**

	m <sup>2</sup>	ft <sup>2</sup>
GRADE EXTERIOR - COMMUNAL	170.9	1,839
INTERIOR - COMMUNAL	582.9	6,275
07F EXTERIOR - COMMUNAL	202.1	2,175
<b>TOTAL COMMUNAL</b>	<b>955.9</b>	<b>10,289</b>
BALCONIES / TERRACE - PRIVATE	3,599.5	38,744
<b>TOTAL</b>	<b>4,555.4</b>	<b>49,033</b>

**REQUIRED (316 UNITS X 6 m<sup>2</sup>) = 1,896.0 sq. m.**  
**REQUIRED COMMUNAL @ 50% = 948.0 sq. m.**

**SITE COVERAGE**

	m <sup>2</sup>	%
BUILDING FOOTPRINT	1,815.4	34.8%
DRIVING SURFACE	1,225.8	22.3%
LANDSCAPE AREA	2,284.3	42.9%
<b>TOTAL BUILDING A</b>	<b>5,325.5</b>	<b>100%</b>

**REFUSE REQUIREMENT (316 UNITS)**

	COMPACTED RATIO	CUBIC YARDS
GARBAGE	0.053 yd <sup>3</sup> /UNIT	17
RECYCLING GMP	0.018 yd <sup>3</sup> /UNIT	6
RECYCLING FIBER	0.038 yd <sup>3</sup> /UNIT	12
COMPOST	240L PER 50 UNITS	7 BINS

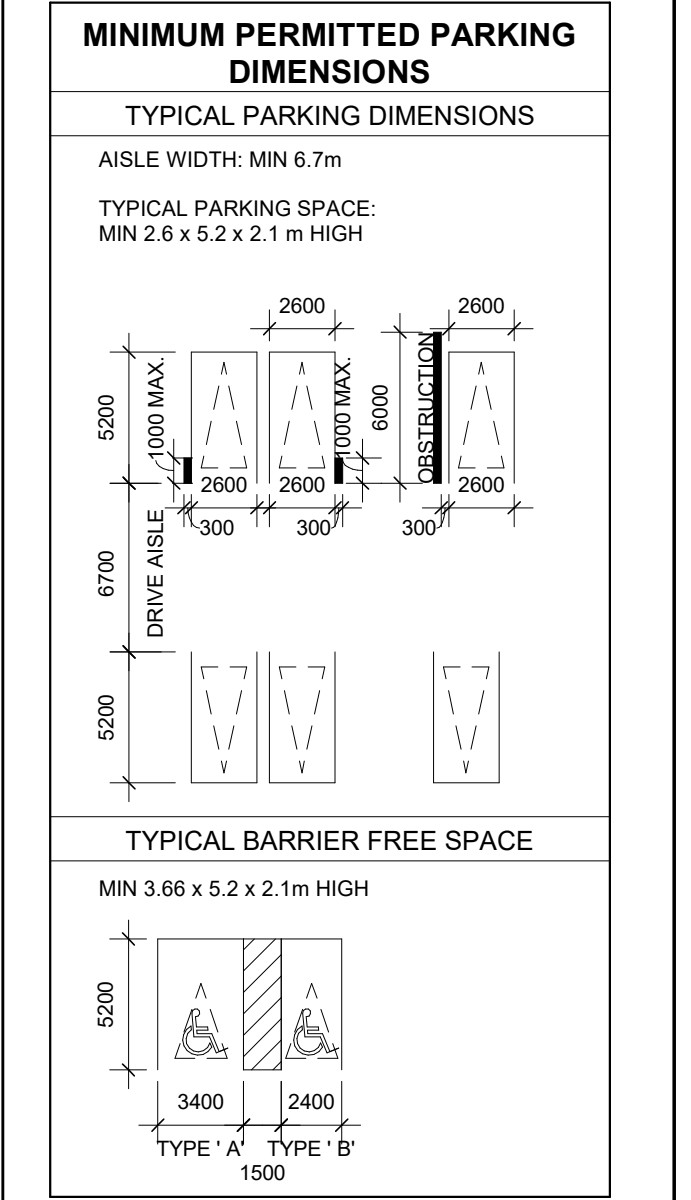
**TURNER FLEISCHER**

Turner Fleischer Architects Inc.  
67 Lesmill Road  
Toronto, ON, M5B 2T8  
1-416-423-2222  
turnerfleischer.com

**SITE PLAN SYMBOLS**

- PRIMARY RESIDENTIAL ENTRANCE
- SECONDARY RESIDENTIAL ENTRANCE
- EXIT
- FIRE HYDRANT
- SIAMESE CONNECTION
- CONVEX MIRROR
- SPOT ELEVATION
- GASHYDRO METER

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT  
R. RESIDENTIAL PARKING SPACE  
R. RESIDENTIAL PARKING SPACE



**REVISIONS**

#	DATE	ISSUED FOR	DESCRIPTION	BY
1	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4		HHO
2	2026-04-13	ISSUED FOR SITE PLAN APPROVAL #3		HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2		AYU
4	2024-11-01	ISSUED FOR SITE PLAN APPROVAL #1		AYU
5	2024-01-30	ISSUED FOR PRE-CONSTRUCTION		AYU

**Morguard**

**PROJECT**  
PROPOSED 28-STOREY RESIDENTIAL BUILDING  
PHASE 1 - 500 CONVENT ROAD, OTTAWA, ON.  
FILE #007-12-24-0151  
PLAN #19272

**DRAWING**  
FLOOR 01

PROJECT NO: 18.050 P01  
PROJECT DATE: 2026-04-30  
DRAWN BY: RYT  
CHECKED BY: HHO  
SCALE: 1:200

**ONTARIO ASSOCIATION OF ARCHITECTS**  
RUSSELL FLEISCHER  
LICENCE 5004

DRAWING NO: SPA151  
REV: 5



#	DATE	DESCRIPTION	BY
5	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**FLOOR 02**

PROJECT NO.	18.050 P01
PROJECT DATE	2026-04-30
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1 : 200



DRAWING NO.	SPA152	REV	5
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#	DATE	DESCRIPTION	BY
5	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU

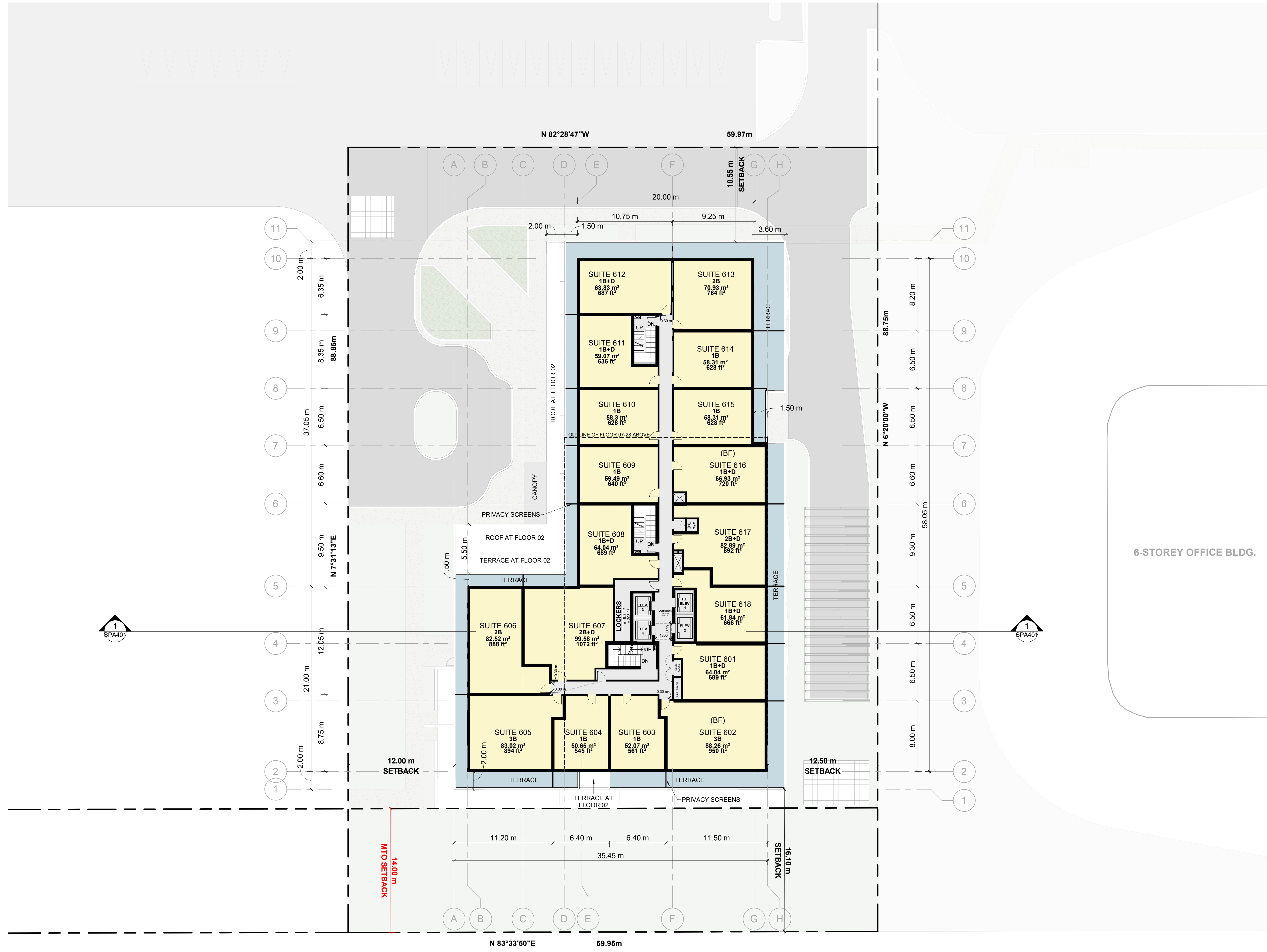


PROJECT  
**PROPOSED 28-STORY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**FLOOR 03 - 05**

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

DRAWING NO. <b>SPA153</b>	REV <b>5</b>
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6-STOREY OFFICE BLDG.

#	DATE	DESCRIPTION	BY
5	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**FLOOR 06**

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

DRAWING NO. <b>SPA154</b>	REV <b>5</b>
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#	DATE	DESCRIPTION	BY
5	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



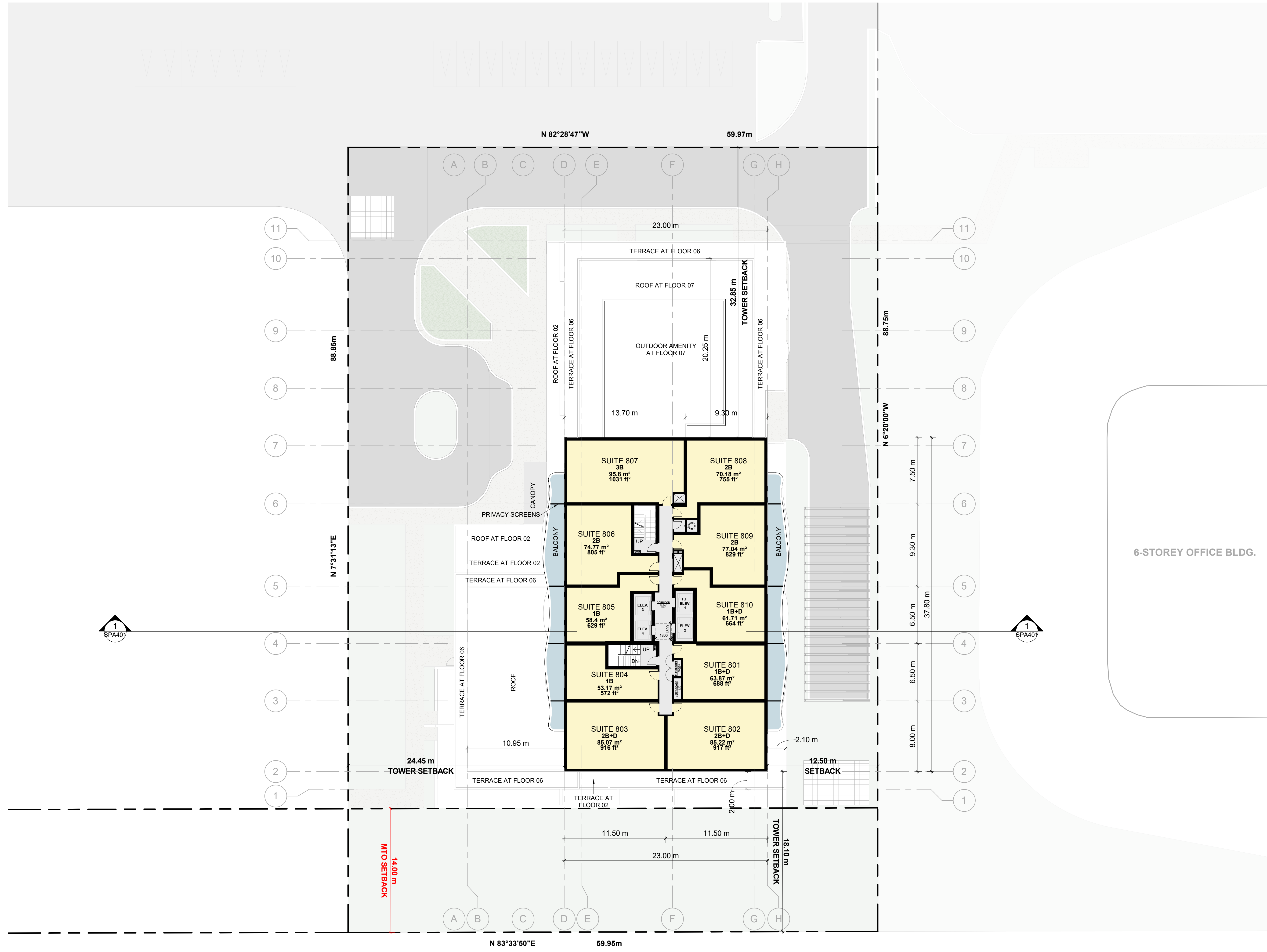
**PROJECT**  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

**DRAWING**  
**FLOOR 07**

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

DRAWING NO. <b>SPA155</b>	REV <b>5</b>
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6-STOREY OFFICE BLDG.

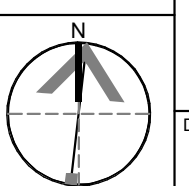
#	DATE	DESCRIPTION	BY
5	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



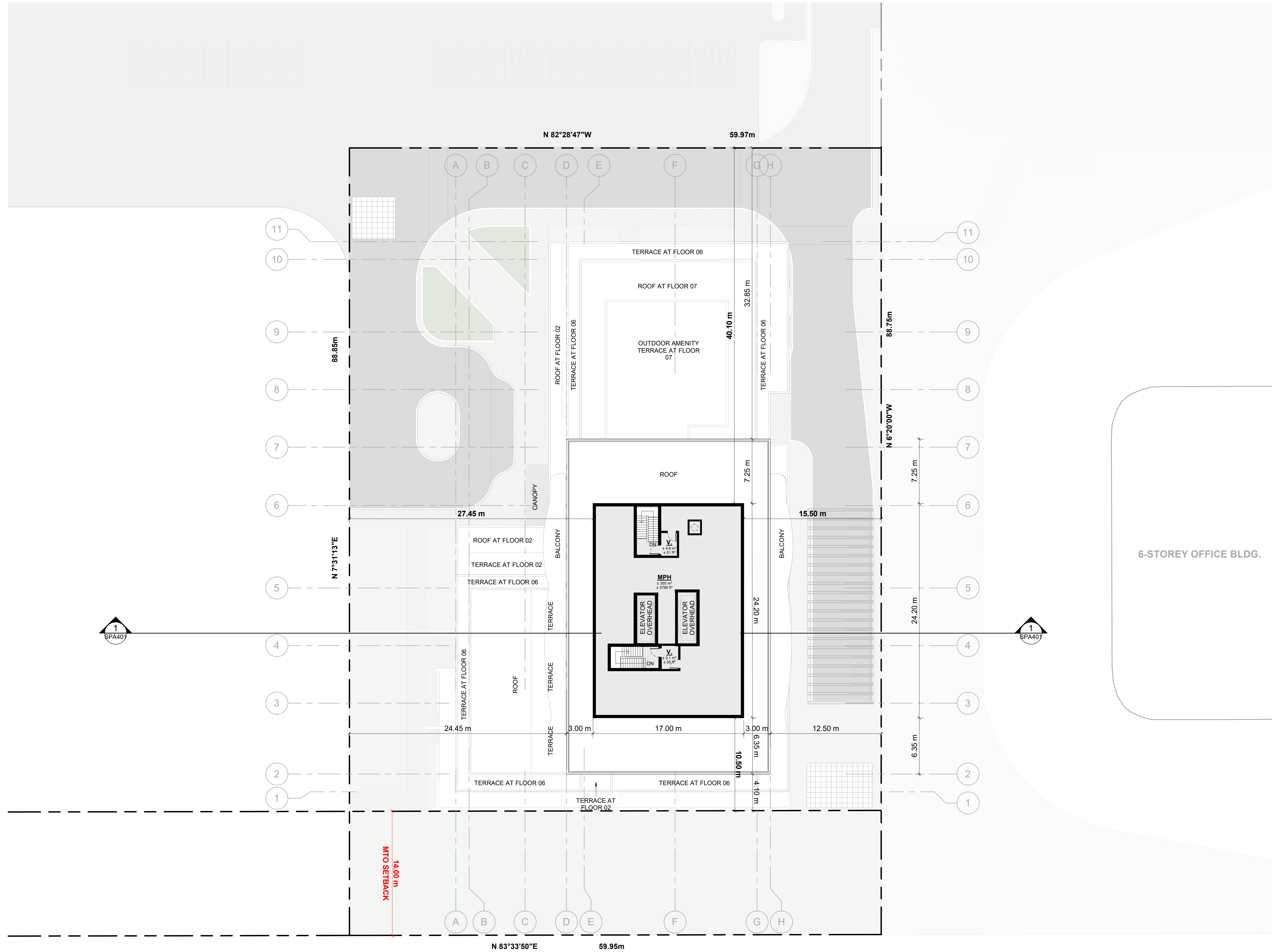
PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**FLOOR 08 - 28**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE  
1 : 200



DRAWING NO. **SPA156** REV **5**



#	DATE	DESCRIPTION	BY
5	2025-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2025-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 CONVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**MPH**

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

DRAWING NO. <b>SPA157</b>	REV <b>5</b>
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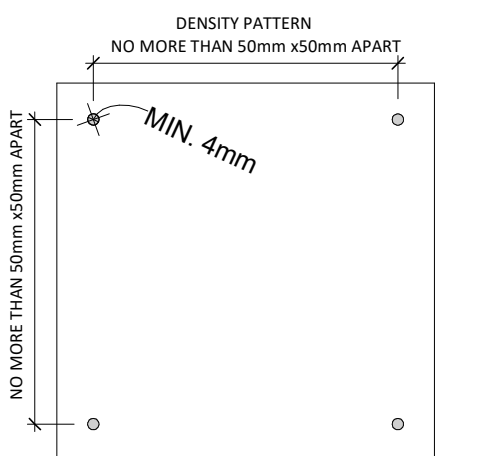
### EXTERIOR FINISH LEGEND

1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (MINIMUM 90% OF GLASS AREA AT FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

#### PROVISION OF VISUAL MARKERS

- VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
  - MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS.
  - VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
  - INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
  - LOW REFLECTANCE OR OPAQUE MATERIALS
  - BUILDING-INTERGRADED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.



#### DETAIL NOTES:

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

#	DATE	DESCRIPTION	BY
3	2025-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2025-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
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1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 CONVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

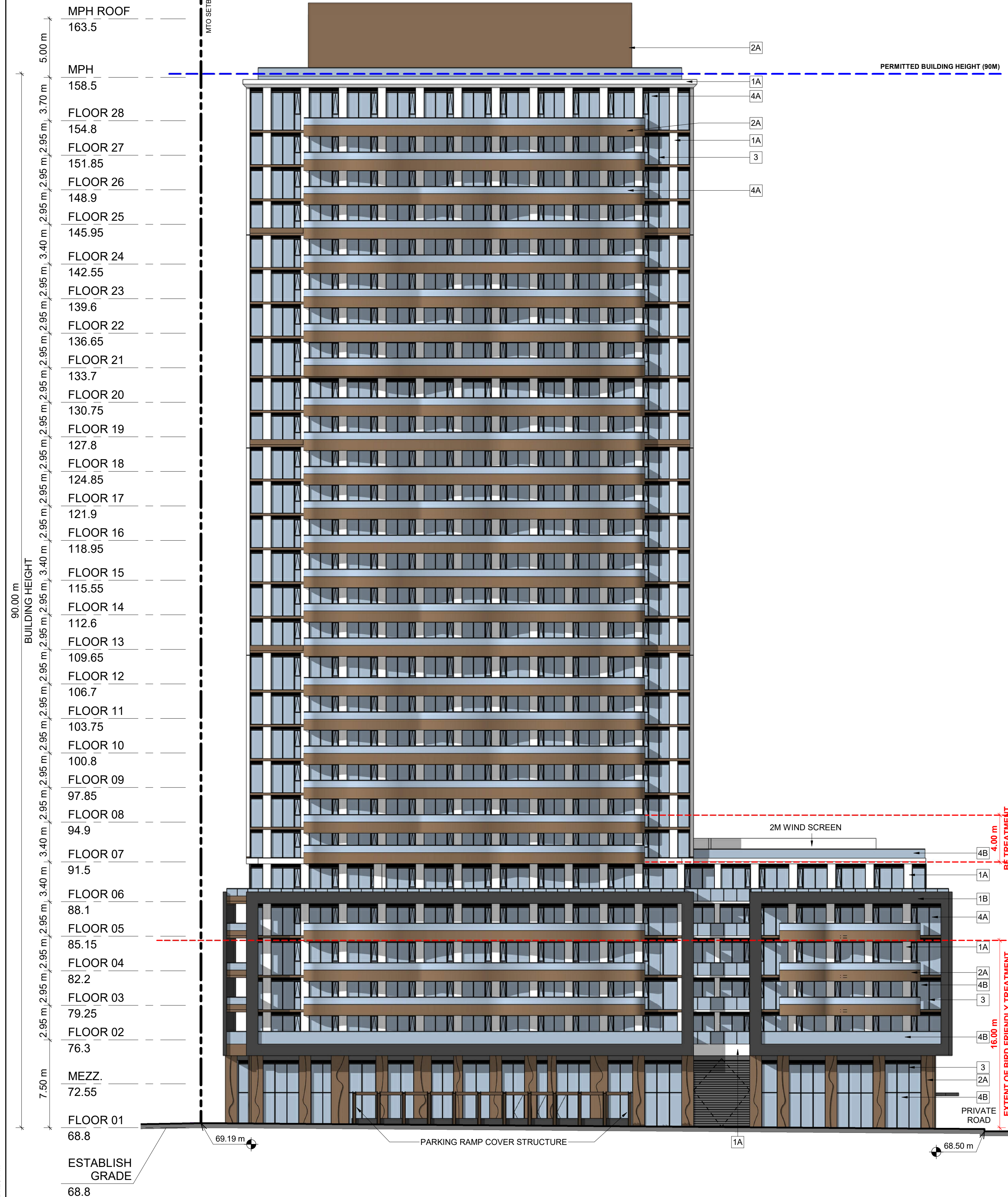
DRAWING  
**ELEVATIONS**

PROJECT NO.	18.050 P01
PROJECT DATE	2026-04-30
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1:200



DRAWING NO. **SPA301** REV. **5**

## BLDG A 28-STOREY TOWER



1 EAST ELEVATION  
1:200

## BLDG A 28-STOREY TOWER



2 NORTH ELEVATION  
1:200

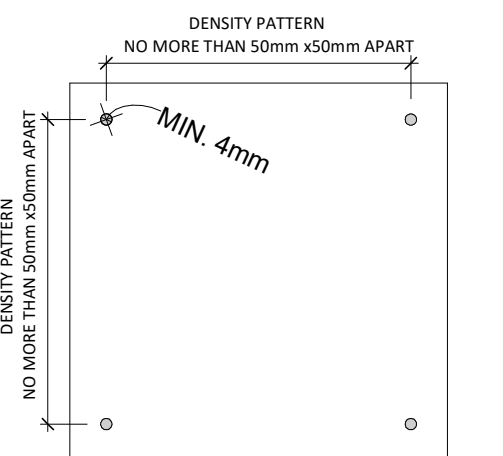
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### EXTERIOR FINISH LEGEND

1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (MINIMUM 90% OF GLASS AREA AT FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

- PROVISION OF VISUAL MARKERS  
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.  
METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
  - MUST BE APPLIED TO THE EXTERIOR (FIRST SURFACE OF THE GLASS).
  - VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
  - INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
  - LOW REFLECTANCE OR OPAQUE MATERIALS
  - BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.



### DETAIL NOTES:

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

#	DATE	DESCRIPTION	BY
3	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
2	2026-01-13	APPROVED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

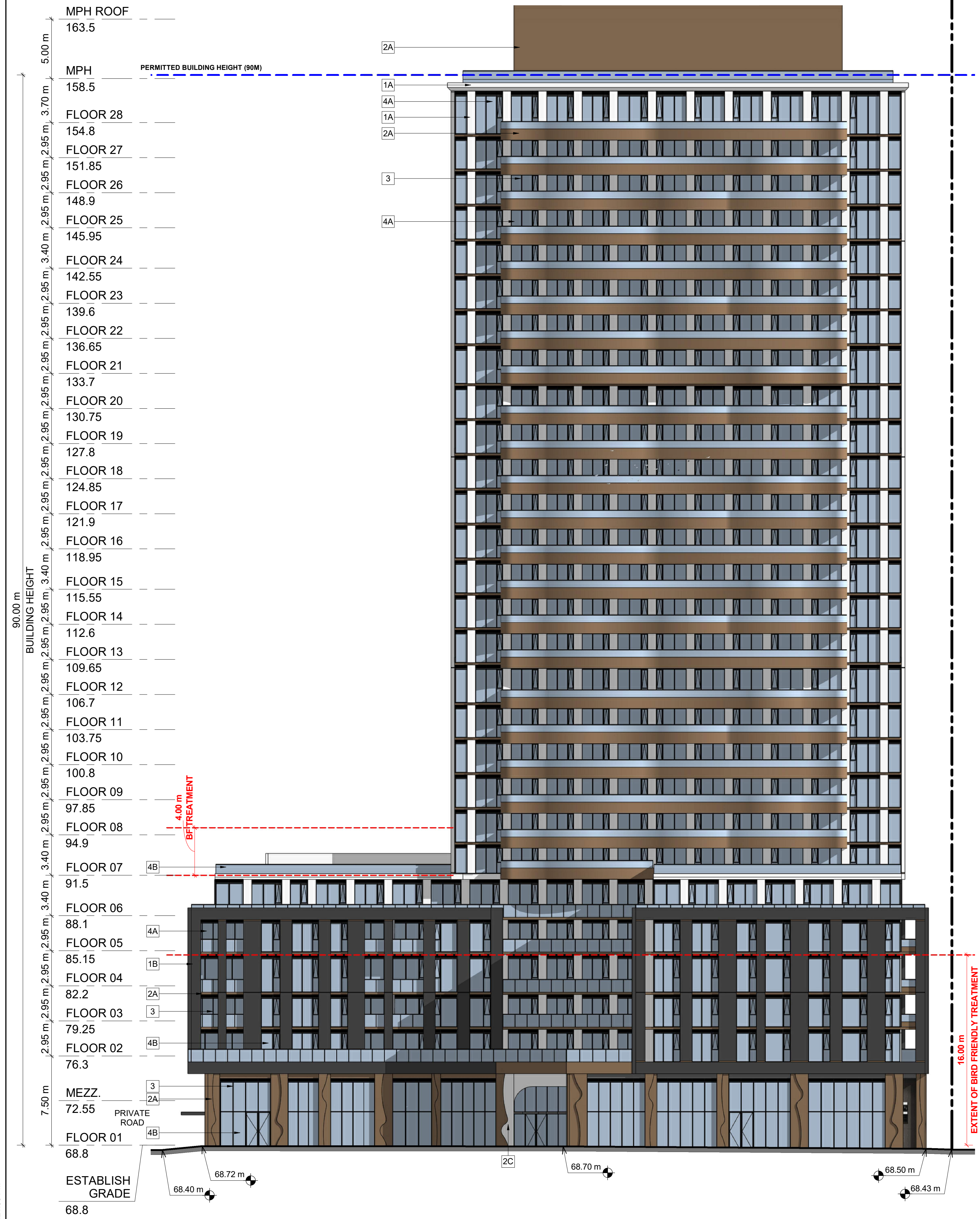
DRAWING  
**ELEVATIONS**

PROJECT NO.	18.050 P01
PROJECT DATE	2026-04-30
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1:200



DRAWING NO.	SPA302
REV.	5

## BLDG A 28-STOREY TOWER



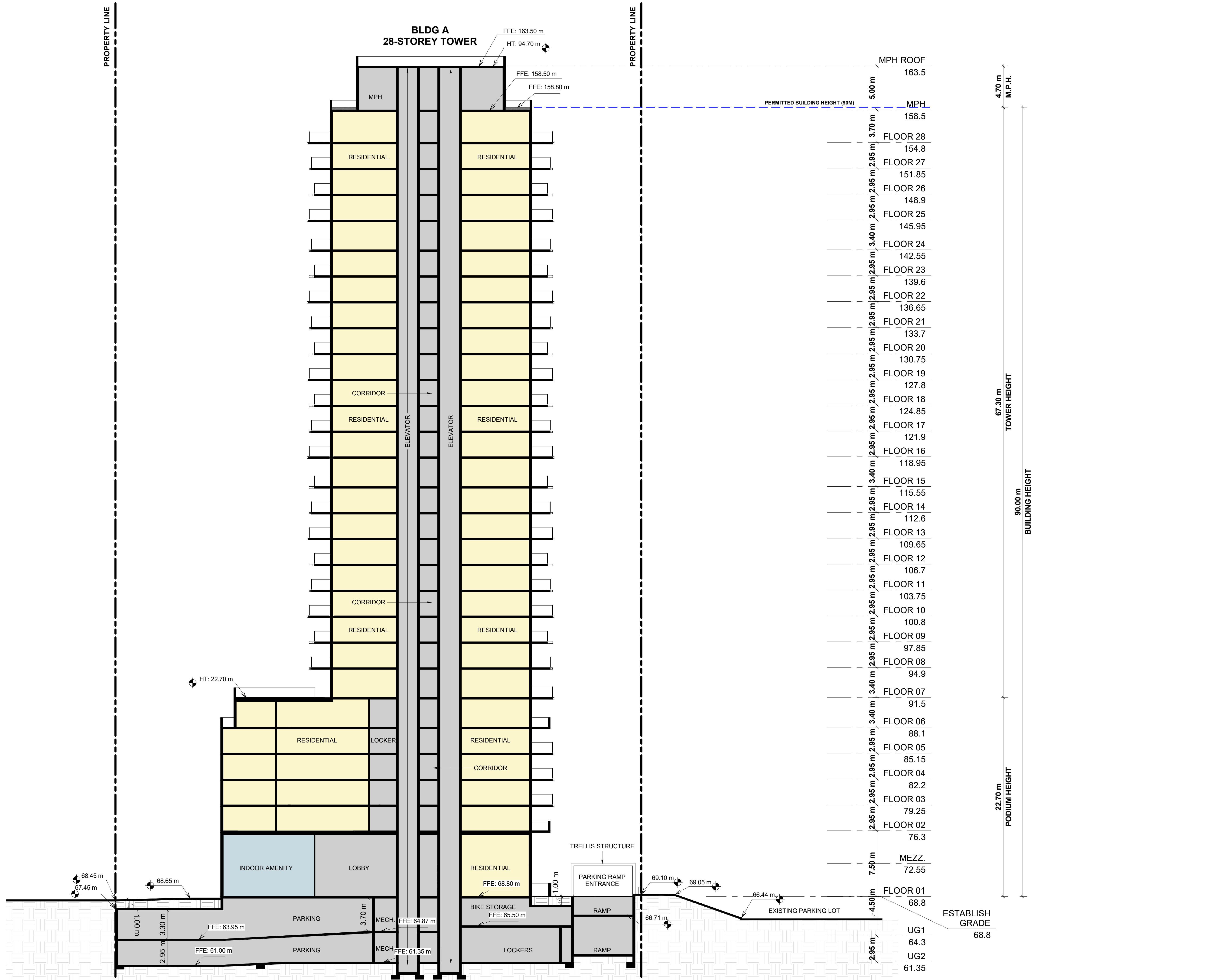
2 WEST ELEVATION  
1:200

## BLDG A 28-STOREY TOWER



1 SOUTH ELEVATION  
1:200

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1 EAST-WEST SECTION  
SPA401 1 : 200

#	DATE	DESCRIPTION	BY
3	2025-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2025-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**EAST-WEST SECTION**

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-04-30	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

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VIEW FROM TRANS-CANADA HWY LOOKING NORTH WEST

4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JYU
#	DATE	DESCRIPTION	BY



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA801 REV. 4

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VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

#	DATE	DESCRIPTION	BY
4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JYU



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA802 REV. 4

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VIEW FROM TRANS-CANADA HWY LOOKING NORTH

#	DATE	DESCRIPTION	BY
4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JATJ
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JATJ



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVE**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA803 REV. 4

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VIEW LOOKING SOUTH WEST FROM EXISTING BUS STOP

4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JYU
#	DATE	DESCRIPTION	BY



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA804 REV. 4

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VIEW LOOKING FROM THE WEST

#	DATE	DESCRIPTION	BY
5	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
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HHO  
SCALE



DRAWING NO. SPA805 REV. 5

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VIEW LOOKING WEST FROM EXISTING 6-STOREY OFFICE BUILDING

#	DATE	DESCRIPTION	BY
3	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA806 REV. 5



VIEW LOOKING TOWARDS MAIN ENTRANCE AND DROP-OFF AREA

#	DATE	DESCRIPTION	BY
4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	ATU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
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DRAWING NO. SPA807 REV. 4

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VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JYU
#	DATE	DESCRIPTION	BY



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
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HHO  
SCALE



DRAWING NO. SPA808 REV. 4

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VIEW LOOKING SOUTH WEST TOWARDS THE PARKING RAMP TRELLIS STRUCTURE

4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JYU
#	DATE	DESCRIPTION	BY



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES - PARKING RAMP**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA809 REV. 4

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VIEW LOOKING WEST TOWARDS THE PARKING RAMP TRELLIS STRUCTURE

4	2026-04-30	ISSUED FOR SITE PLAN APPROVAL #4	HHO
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JYU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JYU
#	DATE	DESCRIPTION	BY



PROJECT  
**PROPOSED 28-STOUREY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING  
**3D PERSPECTIVES - PARKING RAMP**

PROJECT NO.  
18.050 P01  
PROJECT DATE  
2026-04-30  
DRAWN BY  
RYT  
CHECKED BY  
HHO  
SCALE



DRAWING NO. SPA810 REV. 4