

PLAN SYMBOLS LEGEND

ACCESS POINT (ENTRY)

ACCESS POINT (EXIT)

HARDSCAPES

PROPOSED FIRE HYDRANT AND VALVE

FIRE ROUTE SIGNAGE

SITE DEVELOPMENT NOTES

GENERAL NOTES:

SNOW SITE STORAGE:

- THE MAJORITY OF THE SITE IS OCCUPIED BY THE BUILDINGS

- GROUND SNOW ACCUMULATION WITHIN THE PROPERTY THAT IS SUBJECT TO VEHICULAR AND PEDESTRIAN TRAFFIC WILL BE ALONG:

* LIFESTYLE STREET SIDEWALKS (A PRIVATE ROAD),

* ENTRANCE/DROP-OFF AND PARKING,

* REAR SERVICE ENTRY DRIVEWAY INTO THE FACILITY

- THE ABOVE NOTED AREAS ARE WITHIN THE PRIVATE PROPERTY AND WILL BE SUBJECT TO PRIVATE SERVICE SNOW REMOVAL/MAINTENANCE

EASEMENTS:

AN EASEMENT WILL BE ESTABLISHED TO ALLOW FOR NECESSARY UTILITY AND VEHICULAR ACCESS THRU 520 MARCH ROAD FUTURE DEVELOPMENT.

PLAN OF SURVEY OF BLOCK 8 AND PART OF BLOCK 1 REGISTERED PLAN 4M-642 AND PART OF LOTS 8 AND 9 CONCESSION 4 GEOGRAPHIC TOWNSHIP OF MARCH CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebæk Ltd

LOT AREA	53,160 m ²
LOT FRONTAGE (LEGGET DRIVE)	296.3 m
LOT FRONTAGE (MARCH ROAD)	371.3 m
LOT COVERAGE	25.2%
BUILDING HEIGHT	46 m 8 FLOORS + MECH PENTHOUSE (CITY OF OTTAWA ZONING BY-LAW 2008-250)
BUILDING HEIGHT (OBC)	35.4 m
TOTAL GROSS FLOOR AREA	69,104 m ²
GROUND FLOOR AREA	
LAB BUILDING	7,724 m ²
LINK BUILDING	1,842 m ²
OFFICE BUILDING	1,431 m ²
RETAIL	2,322 m ²
TOTAL GROUND FLOOR AREA	13,319 m ²

PROJECT:	NOKIA OTTAWA CAMPUS
ADDRESS:	520, 570 MARCH RD, KANATA OTTAWA ON K2K 2T6
AGENT:	GREG WINTERS, NOVATECH
APPLICANT:	NOKIA CORPORATION

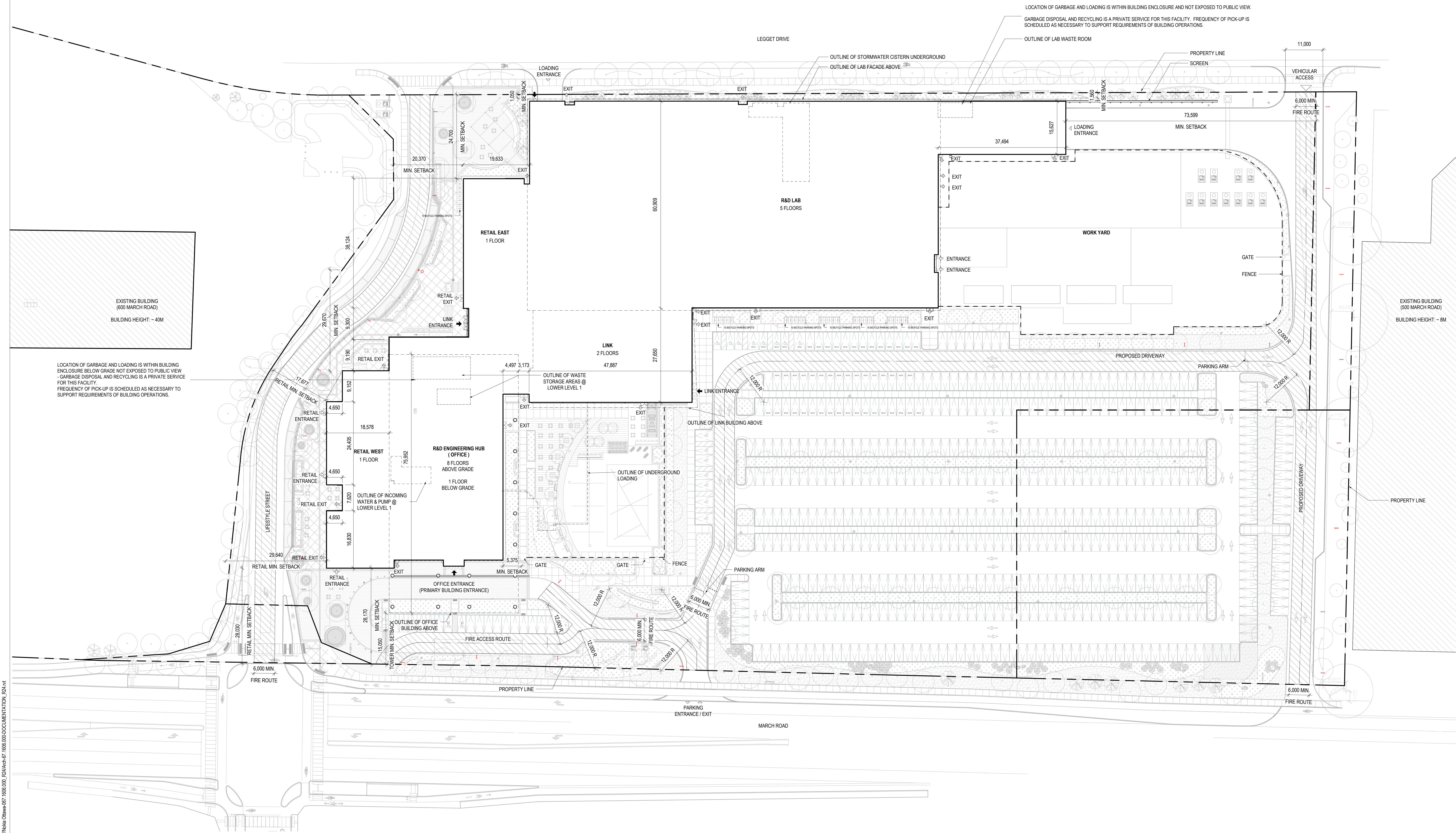
ZONING PERFORMANCE STANDARDS		CITY OF OTTAWA ZONING BY-LAW 2008-250		MC (2845)		PROVIDED	
				REQUIRED			
MINIMUM LOT SETBACK (m) EAST		0m		17.6 m		17.6 m	
MINIMUM LOT SETBACK (m) NORTH		0m		71.6 m		71.6 m	
MINIMUM LOT SETBACK (m) SOUTH		0m		71.6 m		71.6 m	
MINIMUM LOT SETBACK (m) WEST		2m		15.05 m		15.05 m	

PROVISIONS - CITY OF OTTAWA ZONING BY-LAW 2008-250	PARKING RATE	AREA	REQUIRED	PROVIDED		TOTAL
				INDOOR	OUTDOOR	
MINIMUM BICYCLE PARKING SPACES RATES (OFFICE) *	1/250 m ²	24,807 m ²	98	56	42	98
MINIMUM BICYCLE PARKING SPACE RATES (LAB) *	1/1500 m ²	38,280 m ²	27	16	11	27
MINIMUM BICYCLE PARKING SPACE RATES (RETAIL)	1/250 m ²	2,453 m ²	13	9	7	15
		TOTAL	140	80	60	140
MINIMUM LOADING SPACES RATES (OFFICE)	2: 15000-24999 m ²	24,807 m ²	2	2	-	2
MINIMUM LOADING SPACE RATES (LAB)	2: 25000 m ²	38,280 m ²	2	3	-	3
MINIMUM LOADING SPACE RATES (RETAIL)	1: 2000-4999 m ²	2,453 m ²	1	2	-	2

SURFACE PARKING PROVISIONS SCHEDULE - SPA			
TYPE	REQUIRED	PROVIDED	
Standard Parking - Space Ottawa: 2600 x 5200 - Standard EV - L3	-	1	A) A BUILDING OR STRUCTURE
Standard Parking - Space Ottawa: 2600 x 5200 - Standard EV - L2	-	45	B) A SECURE AREA SUCH AS A SUPERVISED PARKING LOT OR ENCLOSURE WITH SECURE ENTRANCE, OR
Standard Parking - Space Ottawa: 2600 x 5200 - Standard	-	486	C) BICYCLE LOCKERS
Standard: 531			
Accessible Parking - Space Ottawa: 3400 x 5200 - Accessible Type A - EV - L3		1	*A MINIMUM OF 50% OF THE BICYCLE PARKING
Accessible Parking - Space Ottawa: 3400 x 5200 - Accessible Type A - EV - L2		1	SPACES REQUIRED BY THIS BY-LAW MUST BE
Accessible Parking - Space Ottawa: 3400 x 5200 - Accessible Type A		5	HORIZONTAL SPACES AT GROUND LEVEL. (BY-LAW 2021-215)
Accessible Parking - Space Ottawa: 2400 x 5200 - Accessible Type B - EV - L3		1	
Accessible Parking - Space Ottawa: 2400 x 5200 - Accessible Type B - EV - L2		2	
Accessible Parking - Space Ottawa: 2400 x 5200 - Accessible Type B		5	
Accessible: 15			
TOTAL PARKING: 546			

*WHERE THE NUMBER OF BICYCLE PARKING SPACES REQUIRED FOR A SINGLE OFFICE OR RESIDENTIAL BUILDING EXCEEDS FIFTY (50) SPACES, A MINIMUM OF 50% OF THAT REQUIRED TOTAL MUST BE LOCATED WITHIN:

PROVISIONS	REQUIRED	PROVIDED
MINIMUM BUILDING HEIGHT	4 FLOORS, 14 M	8 FLOORS PLUS MECH PENTHOUSE, 46 M
MINIMUM BUILDING HEIGHT DOES NOT APPLY TO ABOVE GRADE PARKING STRUCTURES	N/A. THE PARKING IN THE BUILDING IS NOT A SEPARATE PARKING STRUCTURE	N/A
MAXIMUM BUILDING HEIGHT	30 FLOORS AND 94 M	8 FLOORS PLUS MECH PENTHOUSE, 46 M
PARKING	NO PARKING IS REQUIRED	546
TOWER DEFINITION	FOR THE PURPOSE OF THE BELOW PROVISIONS, A TOWER IS DEFINED AS THE PORTION OF THE BUILDING ABOVE THE PODIUM, 32 METERS IN HEIGHT OR GREATER, 29 M.	ONLY THE R&D ENGINEERING HUB (OFFICE) TOWER IS DEFINED AS A TOWER. N/A (ONLY 1 TOWER)
MINIMUM SEPARATION BETWEEN TWO TOWERS	4 FLOORS AND 14 M.	THE R&D ENGINEERING HUB (OFFICE) PODIUM IS 1 FLOORS AND 5.5 M HIGH
BUILDINGS ON LOTS THAT SHARE A LOT LINE WITH LEGGET DRIVE OR AN INTERNAL PRIVATE STREET SHALL HAVE A MAXIMUM PODIUM HEIGHT OF		STEPBACK (E) ABUTTING LEGGET DR 4.575M MINIMUM
TOWERS ARE REQUIRED TO HAVE A STEP BACK FROM THE PODIUM OF THE BUILDING:	1. FOR A BUILDING ABUTTING PRIVATELY OWNED PUBLIC SPACE, LEGGET DRIVE, OR A PUBLIC PARK, MINIMUM STEP BACK REQUIRED, INCLUDING BALCONIES: 3 M, AND 2. IN ALL OTHER CASES, MINIMUM STEP BACK REQUIRED, INCLUDING BALCONIES: 1.5 M	STEPBACK (N) ABUTTING PRIVATE DIR PUBLIC SPACE 3.0 MINIMUM.
BALCONY PROJECTIONS	NOTWITHSTANDING SECTION 65 FOR PERMITTED PROJECTIONS, BALCONIES ARE NOT PERMITTED TO PROJECT BEYOND THE FRONT WALL OF THE PODIUM.	COMPLIES. NO BALCONIES PROJECT BEYOND THE FRONT WALL OF THE PODIUM.



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Date Description

11 2025-08-05 RE-ISSUED FOR SPA

26 2025-10-02 RE-ISSUED FOR SPA

Seal / Signature

ONTARIO ASSOCIATION OF ARCHITECTS

DANNY PRESABACCO

1982

Project Name

NOKIA OTTAWA CAMPUS

Project Number

67.1606.000

Description

ARCHITECTURAL SITE PLAN - GROUND LEVEL

Scale

As indicated

Ref North

A001

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Plan #159202

10/2/2025 5:30:45 PM Autodesk Civil 3D\Nokia Ottawa\667.1606.000_024\Drawings\2. ARCHITECTURAL SITE PLAN - GROUND LEVEL.dwg

City Project no: D07-12-204-0749