

20054 NAVAN DEVELOPMENT - BLOCK 14

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20054 NAVAN DEVELOPMENT - BLOCK 14

ARCHITECTURE

FOR CITY REVIEW

2024-07-17



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SITE INFORMATION & DEVELOPMENT STATISTICS		
LOTS		PIN 04756 - 1337
ZONING		GM(2546) H(14.5)
SITE AREA		
TOTAL SITE AREA:	~5,732.75 m ²	(0.57ha)
UNITS		
BUILDING A:		48 UNITS
BUILDING B:		36 UNITS
RESIDENTIAL SPACES:		~894 m ²
TOTAL NUMBER OF UNITS:		84 UNITS
TOTAL COMMERCIAL SPACES:		~894 m ²
SPECIFIC PROVISIONS	REQUIRED	PROVIDED
MAXIMUM DENSITY	NO MAX.	147 units/net ha
MINIMUM LOT WIDTH	NO MIN.	-
MINIMUM LOT AREA	NO MIN.	5,732.75 m ²
MAXIMUM BUILDING HEIGHT	14.5 m	16 m
SETBACKS		
MINIMUM FRONT YARD:	3 m	3 m
MINIMUM CORNER SIDE YARD:	3 m	3 m
MINIMUM INTERIOR SIDE YARD:		
NON-RESIDENTIAL OR MIXED-USE:	5 m	5 m
MID-RISE RESIDENTIAL :	3 m	3 m
MINIMUM REAR YARD:		
FROM A RESIDENTIAL ZONE:	7.5 m	7.5 m
FOR A RESIDENTIAL BUILDING:	7.5 m	7.5 m
PARKING RATES	REQUIRED	PROVIDED
BUILDING A:		
R12 - APARTEMENTS	1.0 p/unit = 48	48 (UNDERGROUND)
VISITOR:	0.2 p/unit = 9.6	10 (UNDERGROUND)
BUILDING B:		
R12 - APARTEMENTS	1.0 p/unit = 36	36 (UNDERGROUND)
VISITOR:	0.2 p/unit = 7.2	8 (UNDERGROUND)
N79 - RETAIL STORE:	3.4 p/100 m ² GFA = 30.4	32 (EXTERIOR)
		TOTAL: 134
GROSS FLOOR AREA		
BUILDING A:		
RESIDENTIAL:		3,927 m ²
BUILDING B:		
RESIDENTIAL:		3,027 m ²
COMMERCIAL:		899 m ²
		TOTAL: 3,926 m ²

NUMBER OF CAR PARKING				NUMBER OF BIKE PARKING		
TYPE OF PARKING	LEVEL	NUMBER	SYMBOL	TYPE	LEVEL	NUMBER
PARKING - COMMERCIAL	GROUND	32	C	BIKE - COMMERCIAL	LEVEL 1	4
PARKING - RESIDENTIAL	LEVEL U1	84	R	BIKE - RESIDENTIAL	LEVEL U1	36
PARKING - VISITOR	LEVEL U1	18	V	BIKE - RESIDENTIAL	GROUND	6
TOTAL		134				42

STATISTICS - NUMBER OF UNITS - BUILDING A				STATISTICS - AMENITY AREA - BUILDING A			
TYPE	NUMBER	AV. AREA	DISTRIBUTION	TYPE	AREA	REQUESTED	
1 BED	26	57 m ²	54%	AMENITY COMMUNAL	145 m ²	[48*6]*0.5=144m ²	
2 BED	22	89 m ²	46%	AMENITY PRIVATE	606 m ²	[48*6]*0.5=144m ²	
	48	146 m ²			751 m ²		

STATISTICS - NUMBER OF UNITS - BUILDING B				STATISTICS - AMENITY AREA - BUILDING B			
TYPE	NUMBER	AV. AREA	DISTRIBUTION	TYPE	AREA	REQUESTED	
1 BED	18	57 m ²	50%	AMENITY COMMUNAL	145 m ²	[36*6]*0.5=108m ²	
2 BED	18	88 m ²	50%	AMENITY PRIVATE	454 m ²	[36*6]*0.5=108m ²	
	36	145 m ²			599 m ²		

GROSS FLOOR AREA						
LEVEL	GFA	PARKING	COMMERCIAL	COMMON	RESIDENTIAL	BALCONIES
LEVEL U1	3472 m ²	3472 m ²	0 m ²	0 m ²	0 m ²	0 m ²
	3472 m ²	3472 m ²	0 m ²	0 m ²	0 m ²	0 m ²

BUILDING A						
LEVEL	GFA	PARKING	COMMERCIAL	COMMON	RESIDENTIAL	BALCONIES
LEVEL 1	977 m ²	0 m ²	0 m ²	140 m ²	888 m ²	151 m ²
LEVEL 2	983 m ²	0 m ²	0 m ²	115 m ²	868 m ²	151 m ²
LEVEL 3	983 m ²	0 m ²	0 m ²	115 m ²	868 m ²	151 m ²
LEVEL 4	983 m ²	0 m ²	0 m ²	115 m ²	868 m ²	151 m ²
ROOF	0 m ²	0 m ²	0 m ²	0 m ²	0 m ²	145 m ²
	3927 m ²	0 m ²	0 m ²	485 m ²	3442 m ²	751 m ²

BUILDING B						
LEVEL	GFA	PARKING	COMMERCIAL	COMMON	RESIDENTIAL	BALCONIES
LEVEL 1	977 m ²	0 m ²	899 m ²	78 m ²	0 m ²	0 m ²
LEVEL 2	983 m ²	0 m ²	115 m ²	115 m ²	868 m ²	151 m ²
LEVEL 3	983 m ²	0 m ²	0 m ²	115 m ²	868 m ²	151 m ²
LEVEL 4	983 m ²	0 m ²	0 m ²	115 m ²	868 m ²	151 m ²
ROOF	0 m ²	0 m ²	0 m ²	0 m ²	0 m ²	145 m ²
	3924 m ²	0 m ²	899 m ²	423 m ²	2603 m ²	599 m ²

STATISTICS - UNITS DESCRIPTION						
UNIT TYPE	BEDROOM	KITCHEN SINK	BATH SINK	TOILETS	SHOWER/TUB	SHOWER
BUILDING A						
TYPE A	2 BED	1	2	2	1	1
TYPE B	1 BED	1	2	1	1	1
TYPE C	1 BED	1	2	2	1	1
TYPE D	1 BED	1	1	1	1	1
TYPE E	2 BED	1	3	2	1	1
TYPE F	2 BED	1	2	2	1	1
TYPE G	1 BED	1	2	2	1	1
TYPE H	2 BED	1	2	2	1	1
TYPE I	2 BED	1	3	2	1	1
TYPE J	2 BED	1	3	2	1	1
BUILDING B						
TYPE A	2 BED	1	2	2	1	1
TYPE B	1 BED	1	2	1	1	1
TYPE C	1 BED	1	2	2	1	1
TYPE D	1 BED	1	1	1	1	1
TYPE E	2 BED	1	3	2	1	1
TYPE F	2 BED	1	2	2	1	1
TYPE H	2 BED	1	2	2	1	1
TYPE I	2 BED	1	3	2	1	1
TYPE J	2 BED	1	3	2	1	1

REVISIONS	
NO	DESCRIPTION

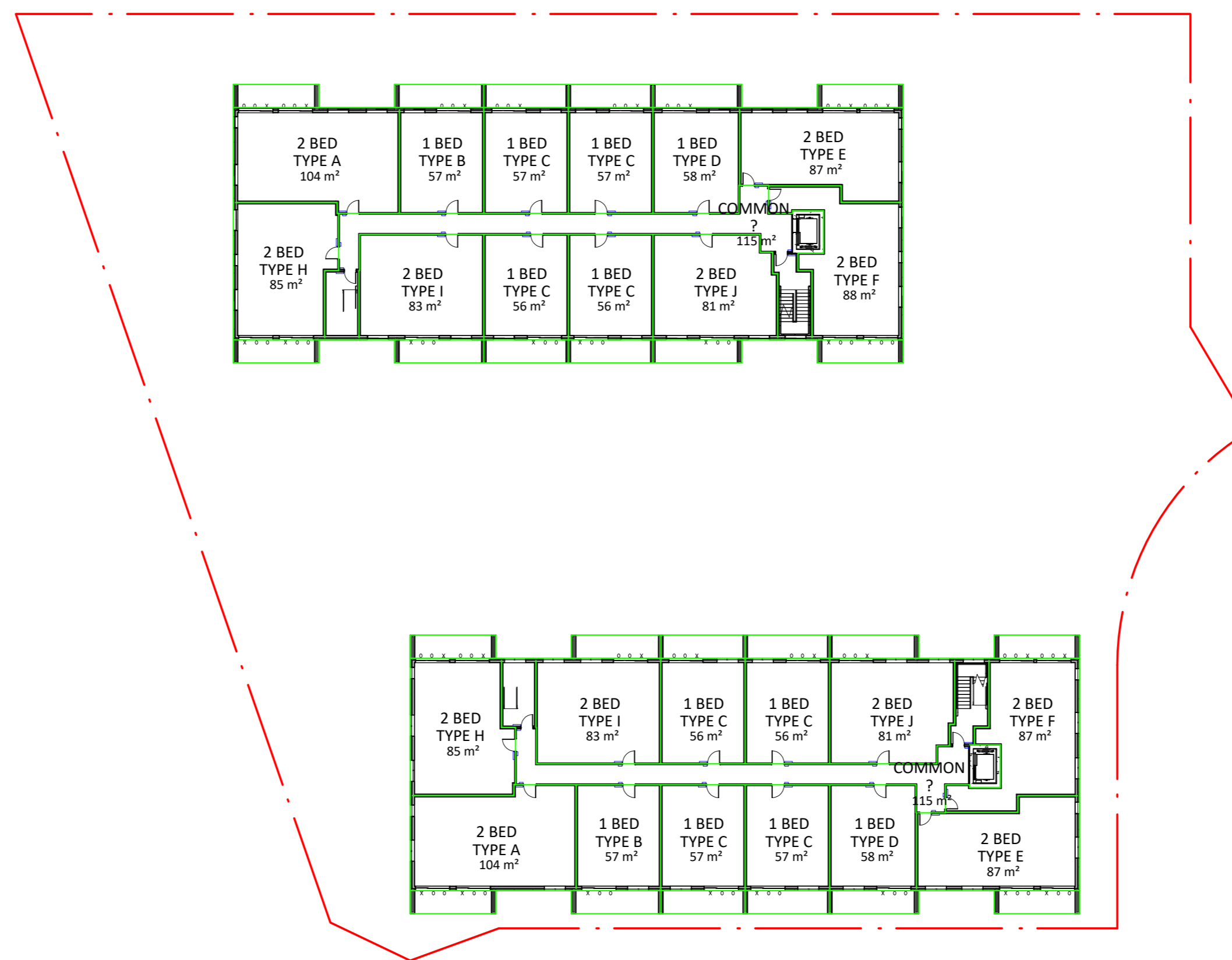
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	DRAWN
	P.POMERLEAU
PROJECT No	CHECKED
20554	P.MARTIN
	SHEET TITLE

STATISTICS	



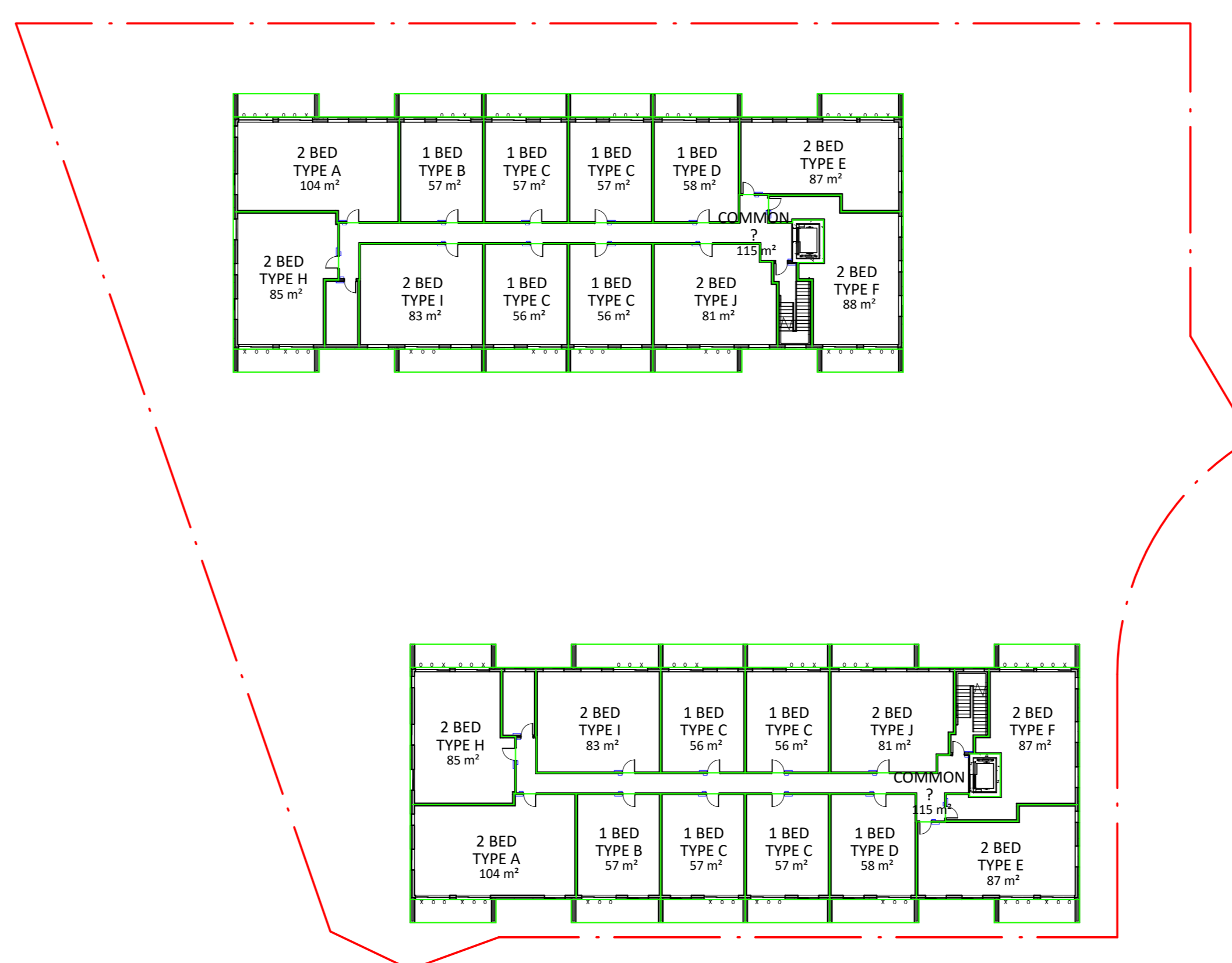
3 LEVEL U1
1:350



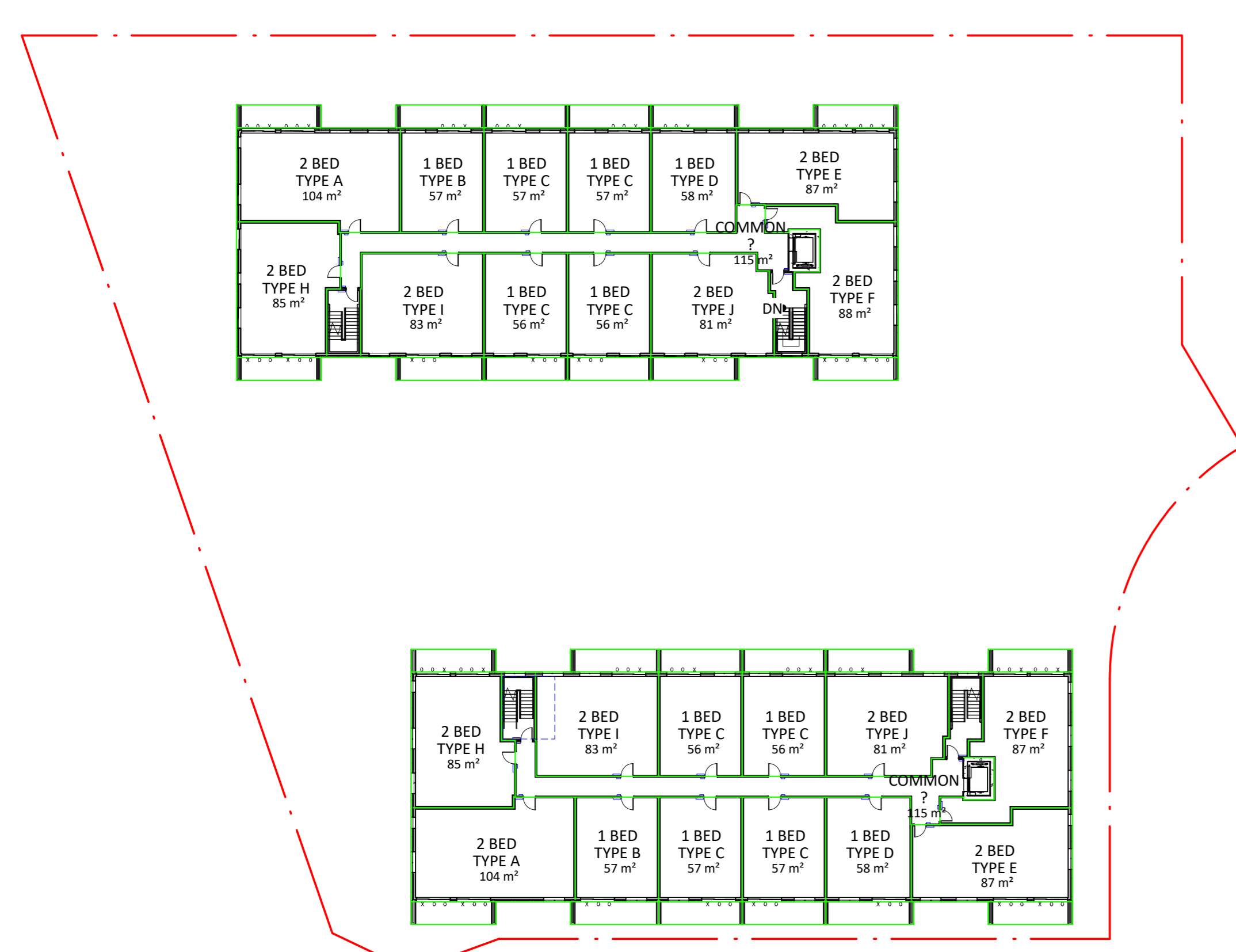
3 LEVEL 3
1:350



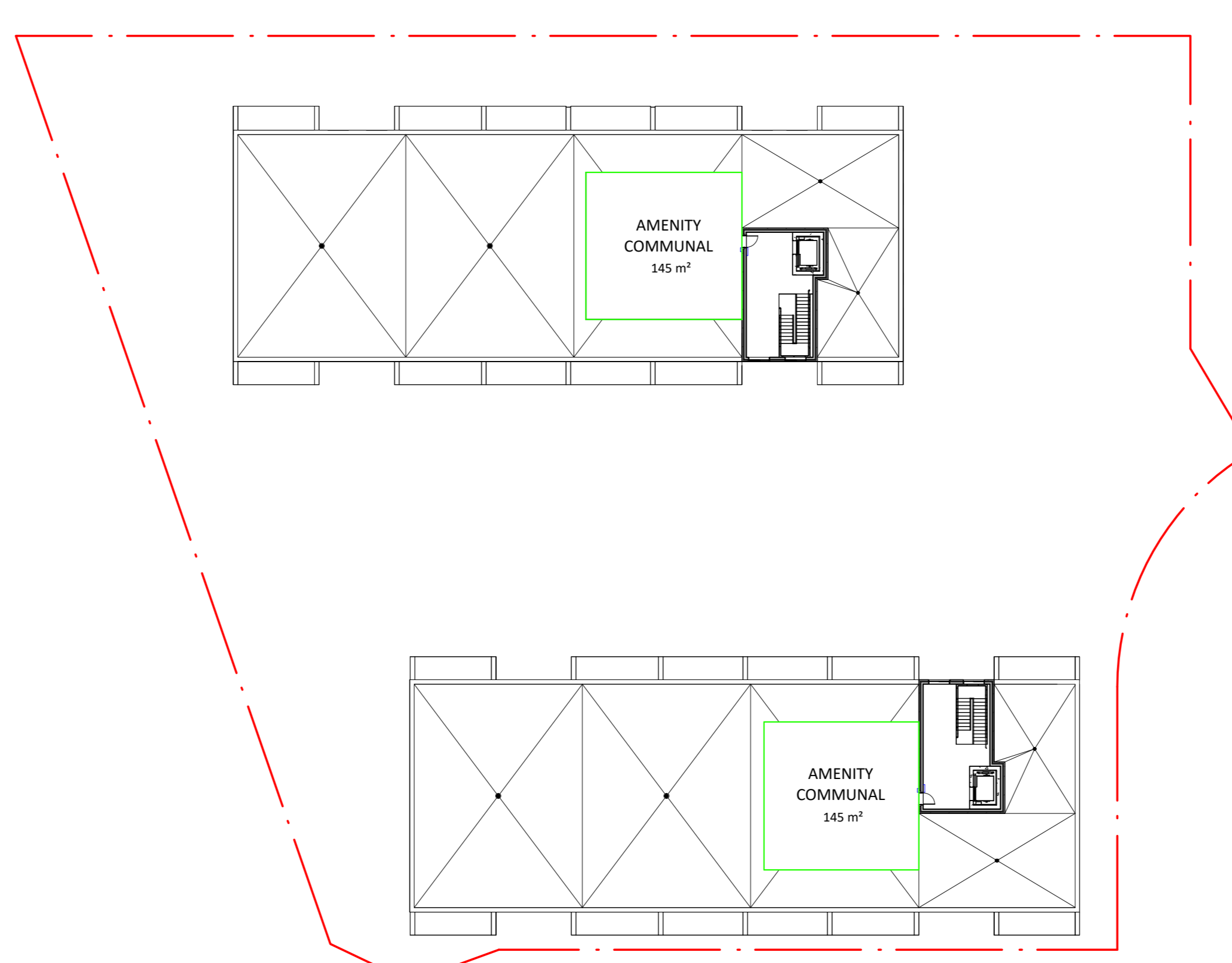
1 LEVEL 1
1:350



4 LEVEL 4
1:350



2 LEVEL 2
1:350



6 ROOF
1:350



LOTS AREAS		LOTS AREAS	
LOT NUMBER	AREAS (M2)	LOT NUMBER	AREAS (M2)
B01-1	394	B06-4	154
B01-2	184	B06-5	163
B01-3	184	B06-6	154
B01-4	189	B06-7	369
B01-5	189	B07	2,002
B01-6	184	B08-1	525
B01-7	184	B08-2	174
B01-8	299	B08-3	184
B02-1	281	B08-4	174
B02-2	176	B08-5	184
B02-3	184	B08-6	174
B02-4	184	B08-7	234
B02-5	174	B09-1	234
B02-6	233	B09-2	174
B03-1	250	B09-3	184
B03-2	182	B09-4	184
B03-3	182	B09-5	174
B03-4	182	B09-6	234
B03-5	182	B10-1	234
B03-6	182	B10-2	174
B03-7	250	B10-3	184
B04-1	233	B10-4	184
B04-2	174	B10-5	174
B04-3	184	B10-6	487
B04-4	174	B11-1	748
B04-5	184	B11-2	286
B04-6	174	B11-3	265
B04-7	278	B11-4	246
B05-1	368	B11-5	242
B05-2	154	B11-6	242
B05-3	163	B11-7	321
B05-4	163	B12	240
B05-5	154	B13	1,232
B05-6	206	B14	5,728
B06-1	206	B16	7,811
B06-2	154	B17	5,312
B06-3	163		

SITE PLAN LEGEND			
[Symbol]	EXISTING BUILDING	[Symbol]	LOT LINE
[Symbol]	NEW BUILDING	[Symbol]	SETBACKS
[Symbol]	NEW BUILDING WITH COMMERCIAL SPACE AT-GRADE	[Symbol]	NEW TREE
[Symbol]	GRASS	[Symbol]	FIREWALL
[Symbol]	ASPHALT	[Symbol]	SIDEWALK

SITE INFORMATION & DEVELOPMENT STATISTICS			
LOTS		PIN	
		04756-0303	
		04756-0315	
		04756-0316	
		04756-1337	
ZONING		GM(2546) H(14.5)	
SITE AREA			
TOTAL SITE AREA:		~53,441.14 m ²	(5.34ha)
TOTAL DEVELOPABLE AREA:		~45,956.28 m ²	(4.59ha)
NET SITE AREA:		~38,956.28 m ²	(3.89ha)
UNITS			
TOWNHOUSES:			67 UNITS
BLOCK 01:			
1 X RESIDENTIAL APARTMENT BUILDING			48 UNITS
1 X MIXED USE BUILDING			36 UNITS
RESIDENTIAL:			~899 m ²
COMMERCIAL SPACES:			
BLOCK 02:			
1 X RESIDENTIAL APARTMENT BUILDING			47 UNITS
1 X MIXED USE BUILDING			36 UNITS
RESIDENTIAL:			~899 m ²
COMMERCIAL SPACES:			
BLOCK 03:			
2 X RESIDENTIAL APARTMENT BUILDING			96 UNITS
TOTAL NUMBER OF UNITS:			330 UNITS
TOTAL COMMERCIAL SPACES:			~1,798 m ²
	REQUIRED	PROVIDED	
MAXIMUM DENSITY	NO MAX.	84.8 units/net ha	
MINIMUM LOT WIDTH	NO MIN.	5.8 m	
MINIMUM LOT AREA	NO MIN.	174 m ²	
MAXIMUM BUILDING HEIGHT	14.5 m	14.5 m	
SETBACKS			
MINIMUM FRONT YARD:	3 m	3 m	
MINIMUM CORNER SIDE YARD:	3 m	3 m	
MINIMUM INTERIOR SIDE YARD:			
NON-RESIDENTIAL OR MIXED-USE:	5 m	5 m	
LOW-RISE RESIDENTIAL:	1.2 m	1.2 m	
MID-RISE RESIDENTIAL:	3 m	3 m	
MINIMUM REAR YARD:			
ABUTTING A STREET:	3 m	3 m	
FROM A RESIDENTIAL ZONE:	7.5 m	7.5 m	
FOR A RESIDENTIAL BUILDING:	7.5 m	7.5 m	
PARKING RATES			
R9 - TOWNHOUSES:	1 p/unit = 67	67 (GARAGES)	
VISITOR:	0	67 DRIVE AISLES	
BLOCK 14:			
R12 - APARTEMENTS	1.0 p/unit = 84	84 (UNDERGROUND)	
VISITOR:	0.2 p/unit = 17	18 (UNDERGROUND)	
N79 - RETAIL STORE:	3.4 p/100 m ² GFA = 30.6	32 (EXTERIOR)	
		TOTAL: 134	
BLOCK 15:			
R12 - APARTEMENTS	1.0 p/unit = 83	83 (UNDERGROUND)	
VISITOR:	0.2 p/unit = 16.6	16 (UNDERGROUND)	
N79 - RETAIL STORE:	3.4 p/100 m ² GFA = 30.6	32 (EXTERIOR)	
		TOTAL: 131	
BLOCK 17:			
R12 - APARTEMENTS	1.0 p/unit = 96	96 (UNDERGROUND)	
VISITOR:	0.2 p/unit = 19.2	19 (15 EXT. + 4 UND.)	
		TOTAL: 115	
GROSS FLOOR AREA			
TOWNHOUSE A:		267 m ²	
TOWNHOUSE B:		239 m ²	
TOWNHOUSE C:		232 m ²	
TOWNHOUSE C (CORNER UNIT):		236 m ²	
TOWNHOUSE D:		225 m ²	
TOTAL MODEL 01 (ABBBBBBA)		1,968 m ²	
TOTAL MODEL 02 (ABBBBBBA)		1,729 m ²	
TOTAL MODEL 03 (ABBBBBBA)		1,490 m ²	
TOTAL MODEL 04 (CDDCCDC)		1,611 m ²	
TOTAL MODEL 05 (CDDCCDC)		1,386 m ²	
MIXED USE BUILDING (TOTAL OF 2 BUILDINGS):			
RESIDENTIAL:		3,927 m ²	
COMMERCIAL:		899 m ²	
RESIDENTIAL APARTMENT BUILDING (TOTAL OF 4 BUILDINGS):			
RESIDENTIAL:		3,927 m ²	
NOTE			
1. ASSUMES TYPICAL RESIDENTIAL FLOOR HEIGHT OF 3m.			
2. THE BASE PLAN (LOT LINES, EXISTING ROADS AND SURROUNDING AREAS) IS BASED ON THE TOPOGRAPHICAL PLAN OF SURVEY, SURVEYED STANTEC GEOMATICS LTD.			
3. DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.			

PROJECT

NAVAN ROAD DEVELOPMENT

2983, Navan Road, Orleans, ON K1C 7G4

OWNER

Heafey GROUP

788, BOUL. SAINT-JOSEPH, SUITE 100 GATINEAU, QC J8Y 4B8

ARCHITECTURAL

PMA ARCHITECTES

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3070, CHEMIN DES QUATRE-BORDEURS QUÉBEC (QC) G1W 2W4
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L'Atelier architectes

53, BOUL. SAINT-RAYMOND, GATINEAU, QC J8Y 1B8

ENGINEERS / PLANNER

J.L. Richards

ENGINEERS - ARCHITECTS - PLANNERS

1565 CARLING AVENUE, SUITE 700, OTTAWA, ON K2K 6R1

SURVEYOR

Stantec

1331 CLYDE AVENUE, SUITE 400, OTTAWA, ON K2C 3G4

KEY PLAN

ARCHITECT SEAL

REVISIONS

NO	DESCRIPTION	DATE
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NOTE

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	P.POMERLEAU
PROJECT NO	CHECKED
2054	P.MARTIN
SHEET TITLE	
GLOBAL SITE PLAN	

SHEET NO
A100

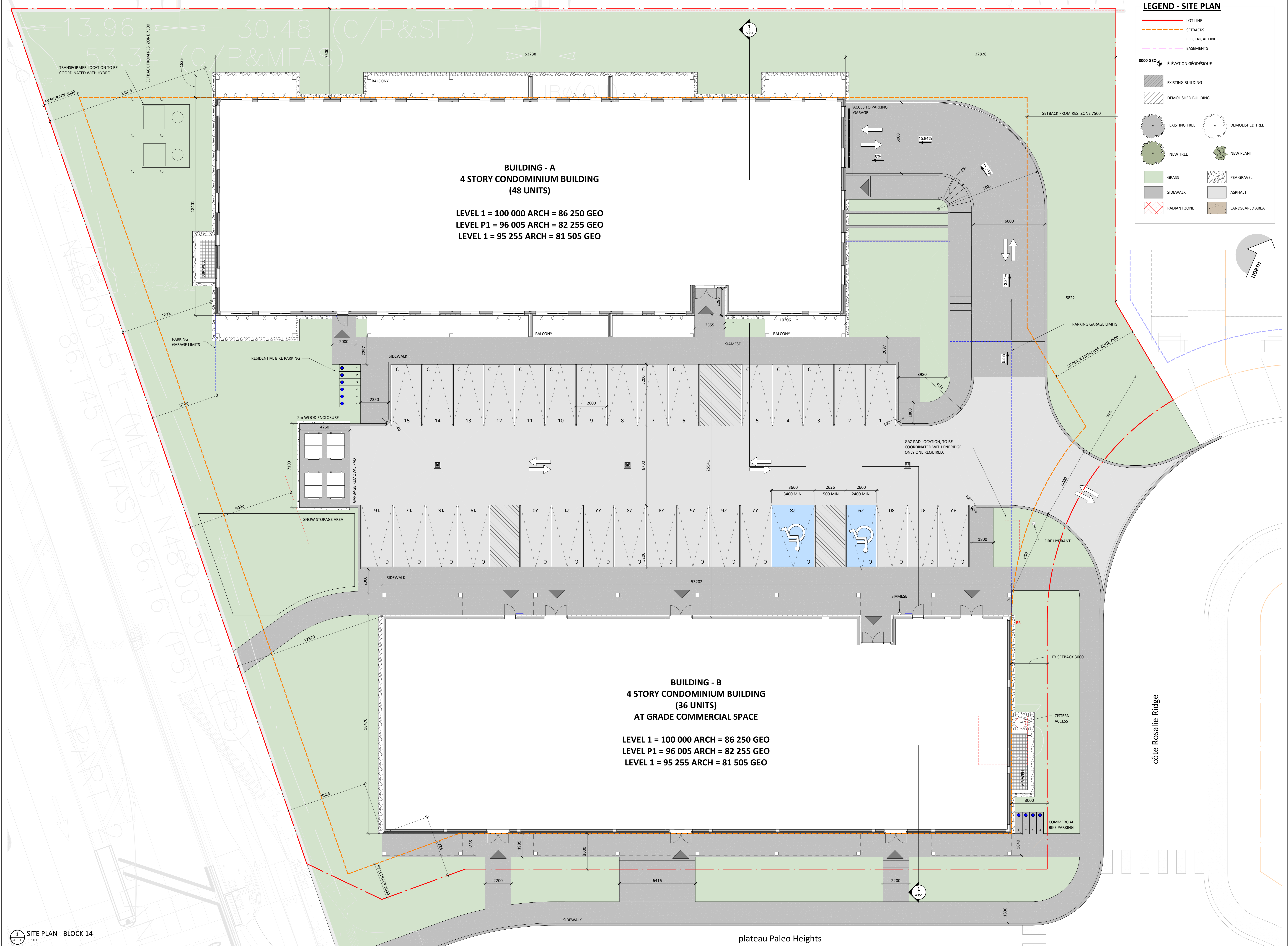
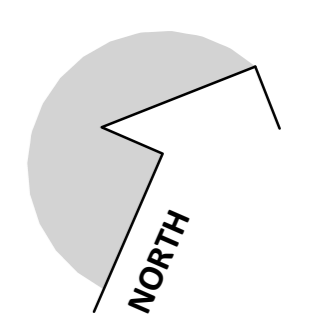
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2983, NAVAN ROAD - SITE PLAN
1:500

LEGEND - SITE PLAN

- LOT LINE
- SETBACKS
- ELECTRICAL LINE
- EASEMENTS
- 0000 GEO ELEVATION GÉODÉSIQUE
- EXISTING BUILDING
- DEMOLISHED BUILDING
- EXISTING TREE
- DEMOLISHED TREE
- NEW TREE
- NEW PLANT
- GRASS
- PEA GRAVEL
- ASPHALT
- LANDSCAPED AREA
- SIDEWALK
- RADIANT ZONE



BUILDING - A
4 STORY CONDOMINIUM BUILDING
(48 UNITS)

LEVEL 1 = 100 000 ARCH = 86 250 GEO
LEVEL P1 = 96 005 ARCH = 82 255 GEO
LEVEL 1 = 95 255 ARCH = 81 505 GEO

BUILDING - B
4 STORY CONDOMINIUM BUILDING
(36 UNITS)
AT GRADE COMMERCIAL SPACE

LEVEL 1 = 100 000 ARCH = 86 250 GEO
LEVEL P1 = 96 005 ARCH = 82 255 GEO
LEVEL 1 = 95 255 ARCH = 81 505 GEO

REVISIONS

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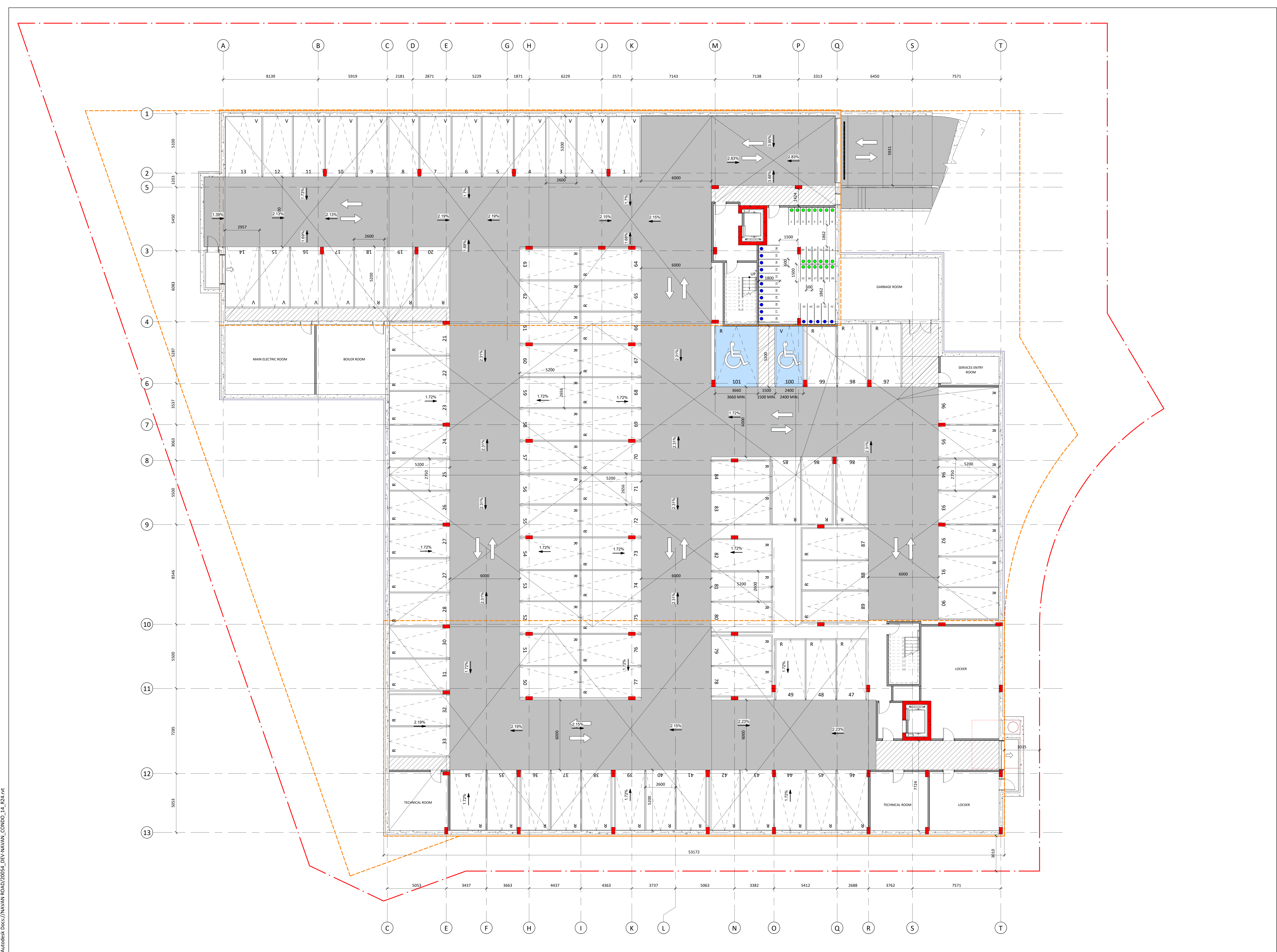
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PROJECT No	CHECKED
20554	P.MARTIN
	SHEET TITLE
	SITE PLAN

Autodesk Docs://NAVAN ROAD/20554_DEV/NAVAN_CONDO_14_R24.rvt



REVISIONS

NO	DESCRIPTION	DATE
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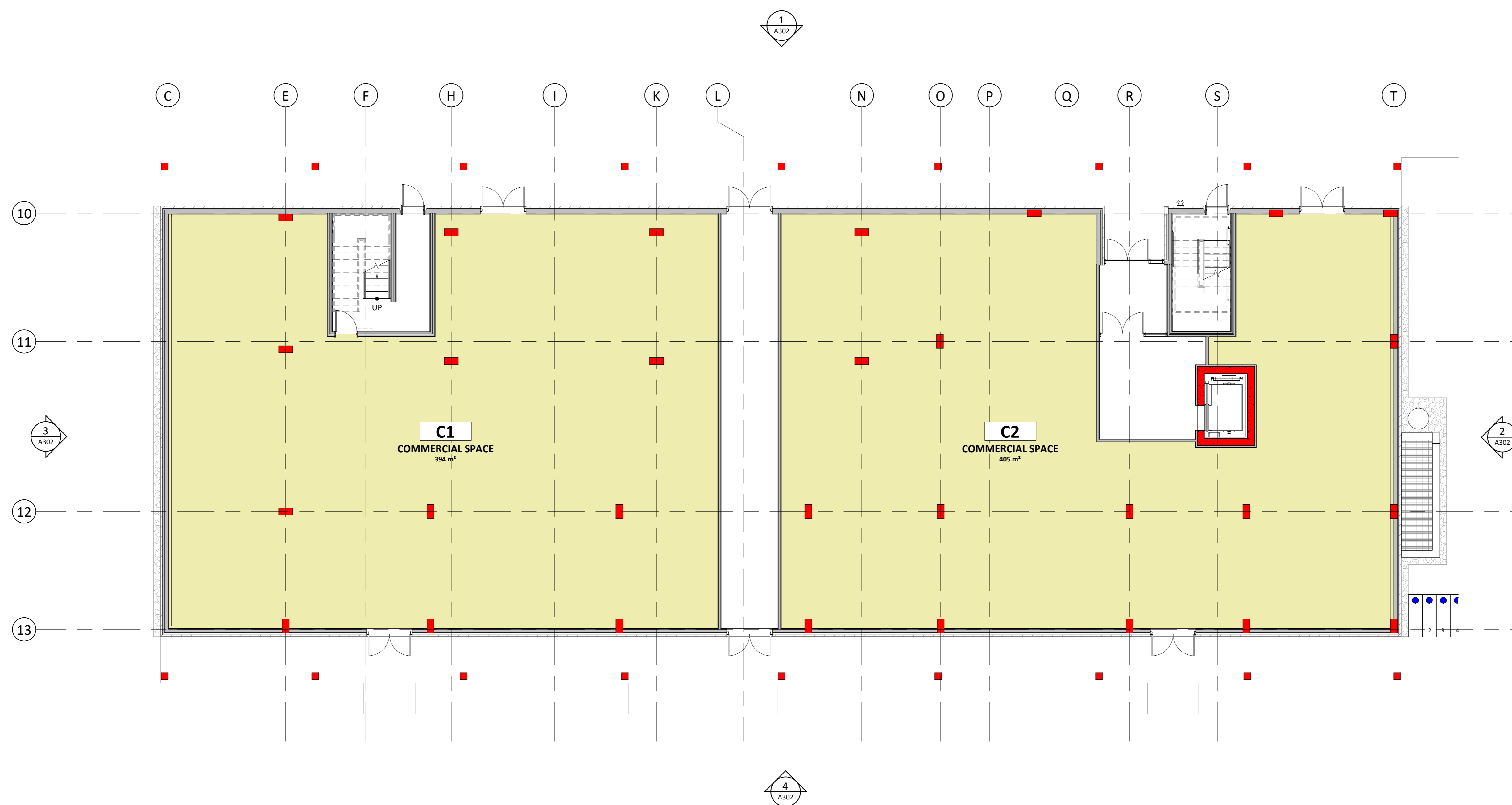
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DATE 2024-07-17	DESIGNED P.POMERLEAU
	DRAWN P.POMERLEAU
PROJECT No 2054	CHECKED P.MARTIN
	SHEET TITLE

LEVEL U1



1 GROUND FLOOR PLAN - BUILDING A
1:100



2 GROUND FLOOR PLAN - BUILDING B
1:100

REVISIONS

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-08
3	FOR CITY REVIEW	2024-11-14

NOTE

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DATE 2024-07-17	DESIGNED P.POMERLEAU
	DRAWN A. BUCHILLON
PROJECT No 20554	CHECKED P.MARTIN

SHEET TITLE
GROUND FLOOR BUILDING A & B



1 2nd TO 4th FLOOR PLAN - BUILDING A
1:100



2 2nd TO 4th FLOOR PLAN - BUILDING B
1:100

REVISIONS

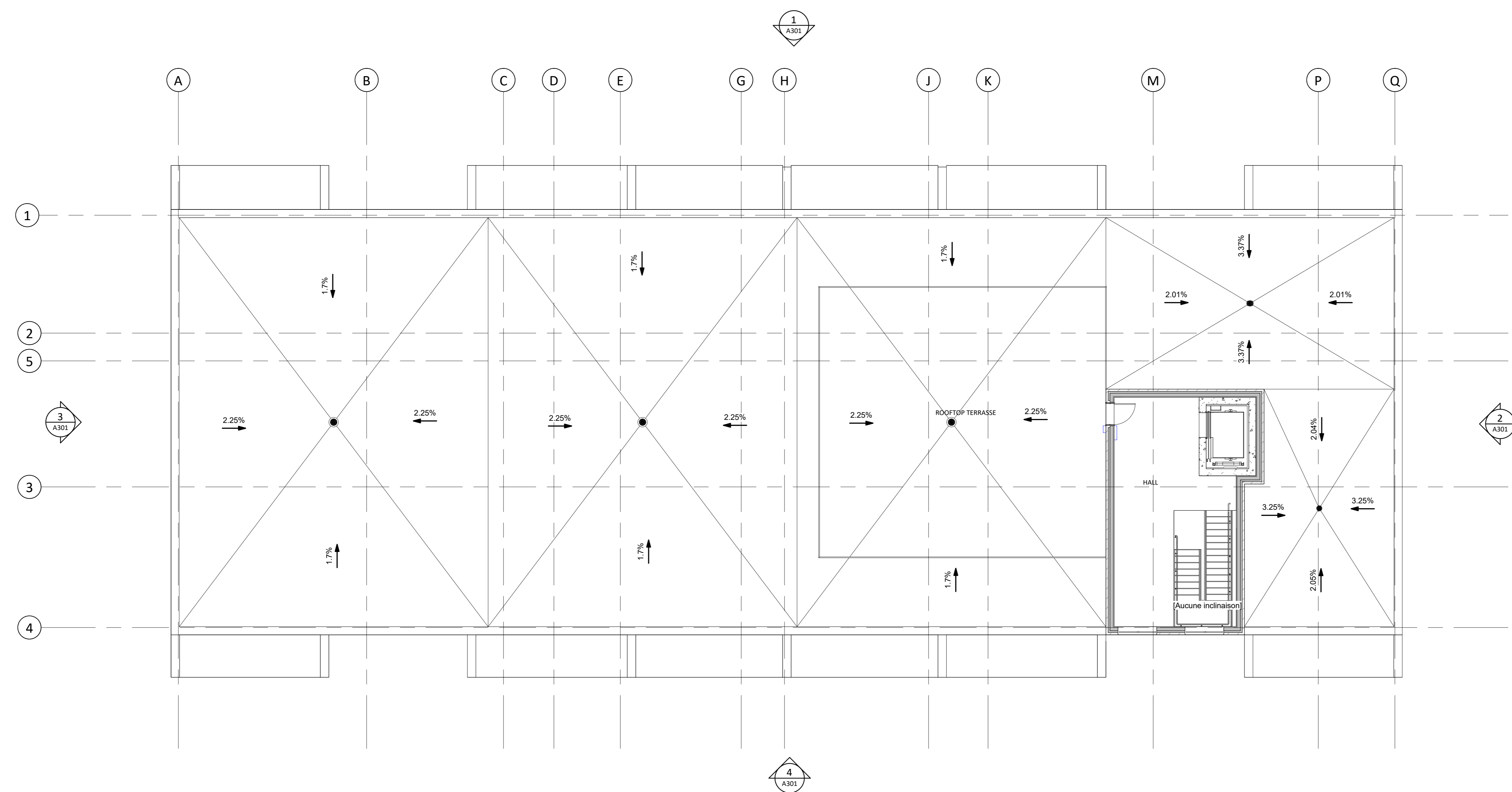
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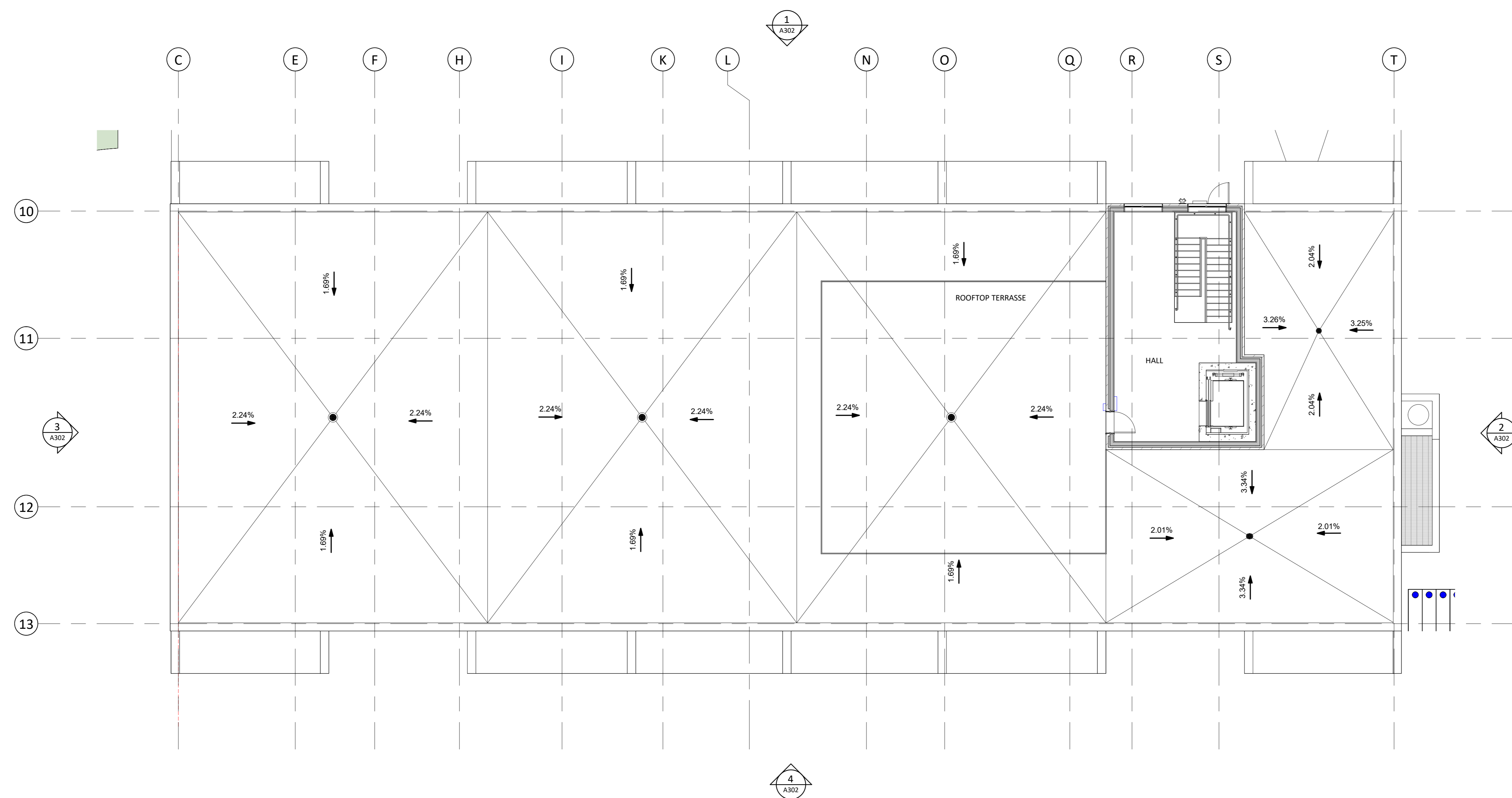
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DATE 2024-07-17	DESIGNED P.POMERLEAU
	DRAWN A. BUCHILLON
PROJECT No 20554	CHECKED P.MARTIN

SHEET TITLE
2nd TO 4th FLOOR BUILDING A & B



1 ROOF PLAN - BUILDING A
1:100



2 ROOF PLAN - BUILDING B
1:100

REVISIONS

Table with columns for NO, DESCRIPTION, and DATE. It contains three rows of revision data.

NOTE

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Table with columns for DATE, DESIGNED, DRAWN, PROJECT No, and CHECKED. It lists project details and personnel.

SHEET TITLE

ROOF PLAN BUILDING A & B



788, BOUL. SAINT-JOSEPH, SUITE 100 GATINEAU, QC J8Y 4B8



(418) 851-9954 INFO@PMAARCHITECTES.COM 3070, CHEMIN DES QUATRE-BORGEAIS QUÉBEC (QC) G1W 2W4 PMAARCHITECTES.COM



53, BOUL. SAINT-RAYMOND, GATINEAU, QC J8Y 1R8



ENGINEERS - ARCHITECTS - PLANNERS

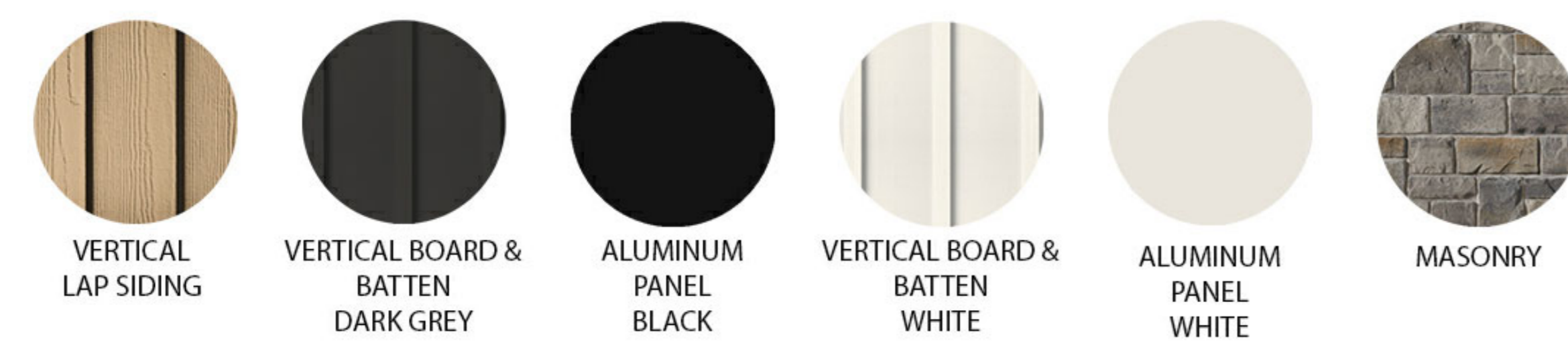
1565 CARLING AVENUE, SUITE 700, OTTAWA, ON K1Z 6R1



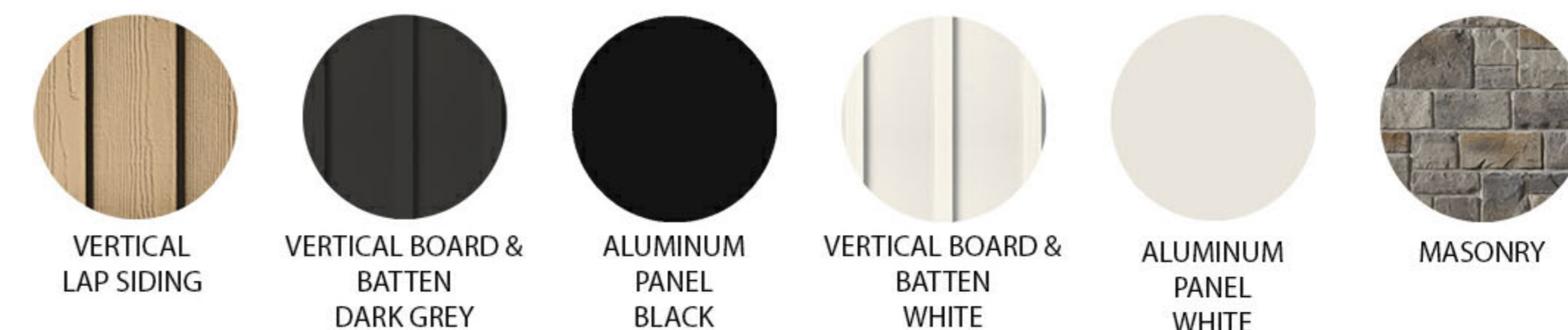
9 GURDWARA ROAD, UNIT 200, OTTAWA, ON K2E 7X6



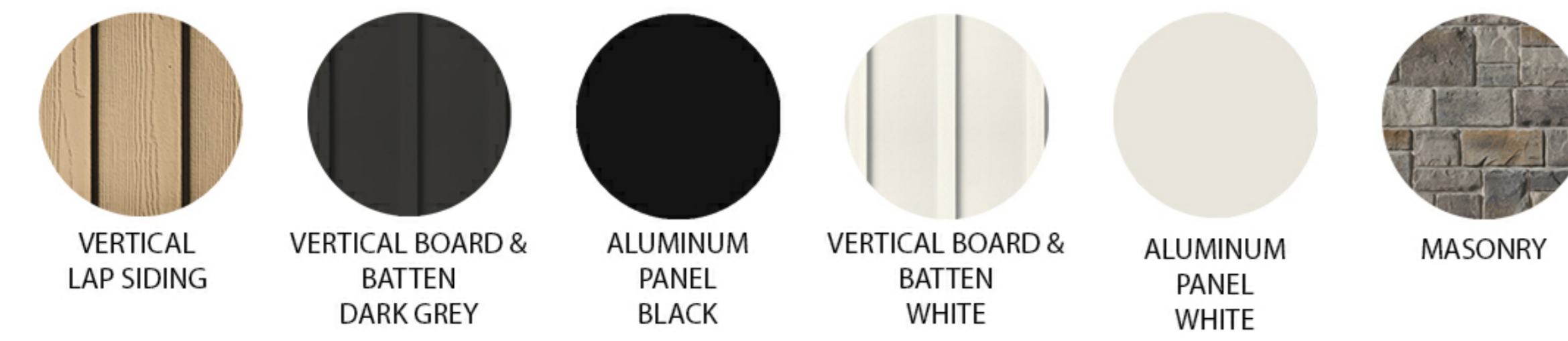
1331 CLYDE AVENUE, SUITE 400, OTTAWA, ON K2C 3G4



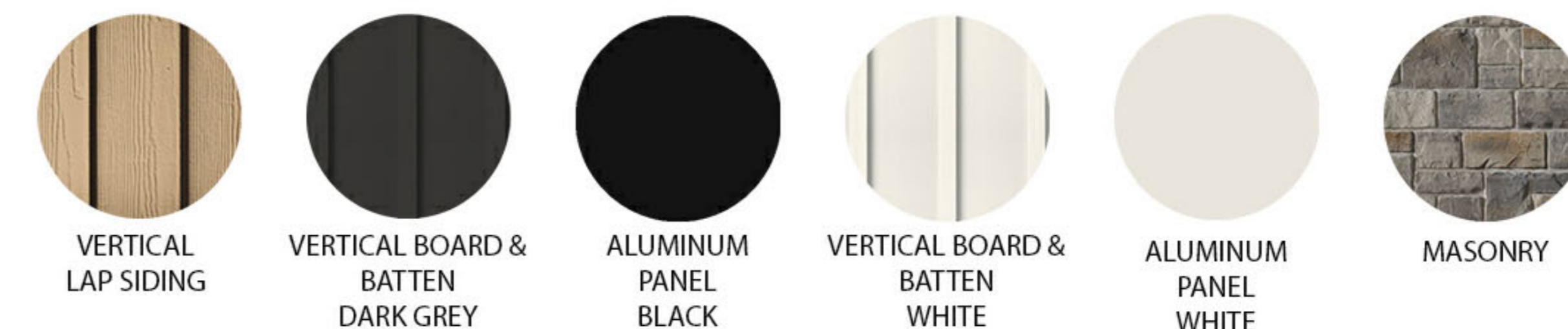
2 RIGHT ELEVATION - BUILDING B A302 1:100



1 FRONT ELEVATION - BUILDING B A302 1:100



3 LEFT ELEVATION - BUILDING B A302 1:100



4 REAR ELEVATION - BUILDING B A302 1:100

NO	DESCRIPTION	DATE
1	FOR CITY REVIEW	2024-07-17
2	FOR CITY REVIEW	2024-08-08
3	FOR CITY REVIEW	2024-10-16

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS.

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DO NOT USE FOR CONSTRUCTION

DATE	DESIGNED
2024-07-17	P.POMERLEAU
	DRAWN
	A. BUCHILLON
PROJECT No	CHECKED
20554	P.MARTIN
	SHEET TITLE
	ELEVATIONS - BUILDING B

