

REFER TO TCR BY IFS

- Existing Tree TO REMAIN / PROTECT
- Existing Tree TO REMOVE
- Protection for Existing Trees
- LANDSCAPE PLAN
- Proposed Deciduous Tree
- Shrub Planting Bed
- Turf Sod and Topsoil
- Concrete Monolithic Curb
- Concrete
- Patio Slabs
- Parking Garage
- Fence
- Bike Rack Anchor to Concrete
- Fire Hydrant
- FD Siamese Connection
- Light Standard
- BELOW/ABOVE GRADE SERVICES REFER TO CIVIL/CUP
- U/G Water Service
- U/G Storm Service
- U/G Sanitary Service
- U/G Gas Service
- U/G TelCo Service
- U/G Hydro Service
- O/H Hydro Service

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NOT To Be Used For Construction Unless Indicated by Revision: "FOR LANDSCAPE CONSTRUCTION"

Contractor is Responsible for Verification of Site Locations of all Utilities. Report any Discrepancies Between Site and Drawing Immediately to Gino J. Aiello. Do NOT Proceed Until Clarified.

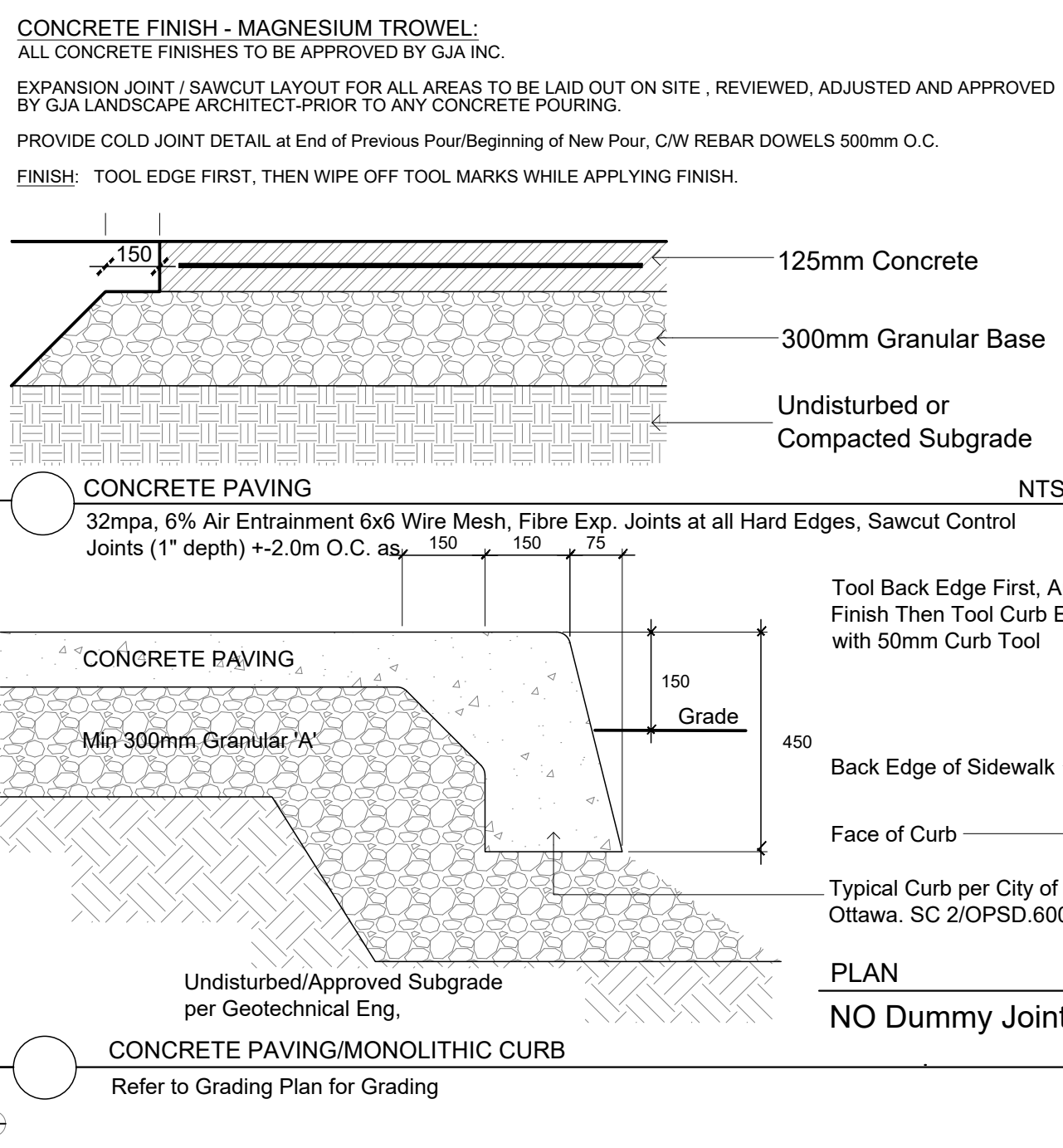
TURF AREAS TO BE SOD C/W 150MM DEPTH TOPSOIL ON APPROVED SUBGRADE | SOD TO BE #1 GRADE TURFGRASS NURSERY SOD per NSGA - Fine Fescue/Kentucky Bluegrass Sod | PLANTING MIX TO BE APPROVED BY LANDSCAPE ARCHITECT | PLANT MATERIAL TO MEET CNLA STANDARDS/BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING ALL MATERIALS & WORK TO BE MAINTAINED UNTIL FINAL ACCEPTANCE. (MOWING TURF, WEEDING BEDS, WATERING TURF & PLANTS) & INCLUDE 1 YEAR WARRANTY FROM DATE OF FINAL ACCEPTANCE | PROVIDE WATERING OF ALL PLANT MATERIAL AS REQUIRED FOR PROPER ESTABLISHMENT, UNTIL END OF WARRANTY PERIOD | REFER TO CIVIL ENGINEER'S DRAWING FOR ELEVATIONS / GRADING |

The Landscape Plan is to be read in conjunction with the grading, servicing, site and survey plan | Bare root material to be planted in season only | All plant material locations to be staked on site by the landscape contractor and checked by the landscape architect prior to planting | All trees to be preserved on or directly adjacent to the site will be protected | Plant material are to be installed a minimum of 3.0m away from any part of any hydro transformer, 3.0m corridor between a fire hydrant and the curb, a 2.5m radius beside or behind a fire hydrant, 2.0m from any servicing/utility line or structure |

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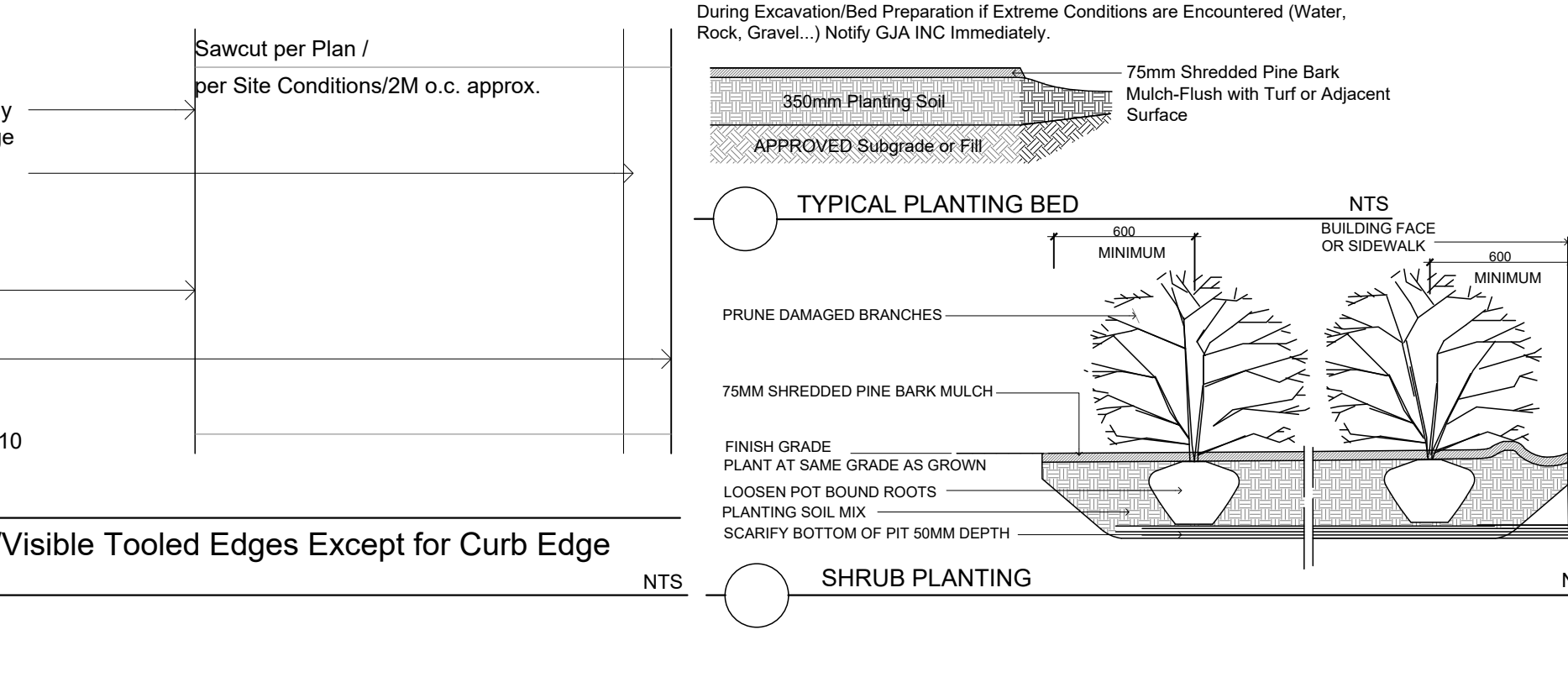


TREE SCHEDULE - 1531 ST LAURENT KTS PROPERTIES

CODE	SITE	OFF SITE	TOTAL	BOTANICAL NAME	COMMON NAME	BBB SPECIMEN	NATIVE TO CANADA	FORECASTED SPREAD BY 5yr (Diameter of Crown/Canopy)	Canopy Cover Contribution/Tree in Square Metres	Total Canopy Cover
AG	3	1	4	Aesculus glabra	Ohio Buckeye	50mm cal	YES	10.0M	75	314
AC	10	0	10	Amelanchier canadensis	Tree Serviceberry	50mm cal	YES	5.0M	25	200
BP	3	0	3	Betula populifolia	Gray Birch	50mm cal	YES	5.0M	25	60
CC	0	3	3	Carpinus caroliniana	Hornbeam Bluebeech	50mm cal	YES	5.0M	25	60
GB	0	3	3	Ginkgo biloba	Walden Tree	50mm cal	YES	10.0M	75	235.5
MH	0	3	3	Malus 'Harvest Gold'	Harvest Gold Crabapple	50mm cal	YES	5.0M	25	60
SR	0	6	6	Syringa reticulata	Japanese Tree Lilac	50mm cal	YES	5.0M	25	120
VL	3	0	3	Viburnum lentago	Nannyberry	50mm cal	YES	5.0M	25	60
TOTAL	19	16	35	Total Forecasted Canopy Cover Contribution Estimate for Proposed Trees in sq. m.						795.5

SITE AREA +-sq. m. 5000
TOTAL FORECASTED CANOPY COVER OF Proposed Trees as Percentage of Site Area 15.91%

ADD EXISTING TREE CANOPY 175 Square Metres x 1.5
TOTAL FORECASTED TREE CANOPY EXISTING PLUS PROPOSED TREES 262.5
ROW AREA PROPERTY LINE TO CURB +-sq. m. 1500
TOTAL AREA (SITE PLUS ROW) +-sq. m. 6500
TOTAL FORECASTED CANOPY COVER OF Proposed and Existing Trees as Percentage of Site PLUS ROW Area 16.28%



*****ADDITIONAL LANDSCAPE PLAN NOTES *****

LANDSCAPING ON CITY OF OTTAWA PROPERTY TO BE TO CITY OF OTTAWA DETAILS / STANDARDS. L1-L6, L17

TREES ON CITY OF OTTAWA PROPERTY TO CARRY A 2 YEAR WARRANTY. REFER TO SITE PLAN FOR LOCATIONS AND DIMENSIONS OF BUILDING, ROADS, PARKING, CURBS, SETBACKS, EASEMENTS, LEGAL DESCRIPTION ...

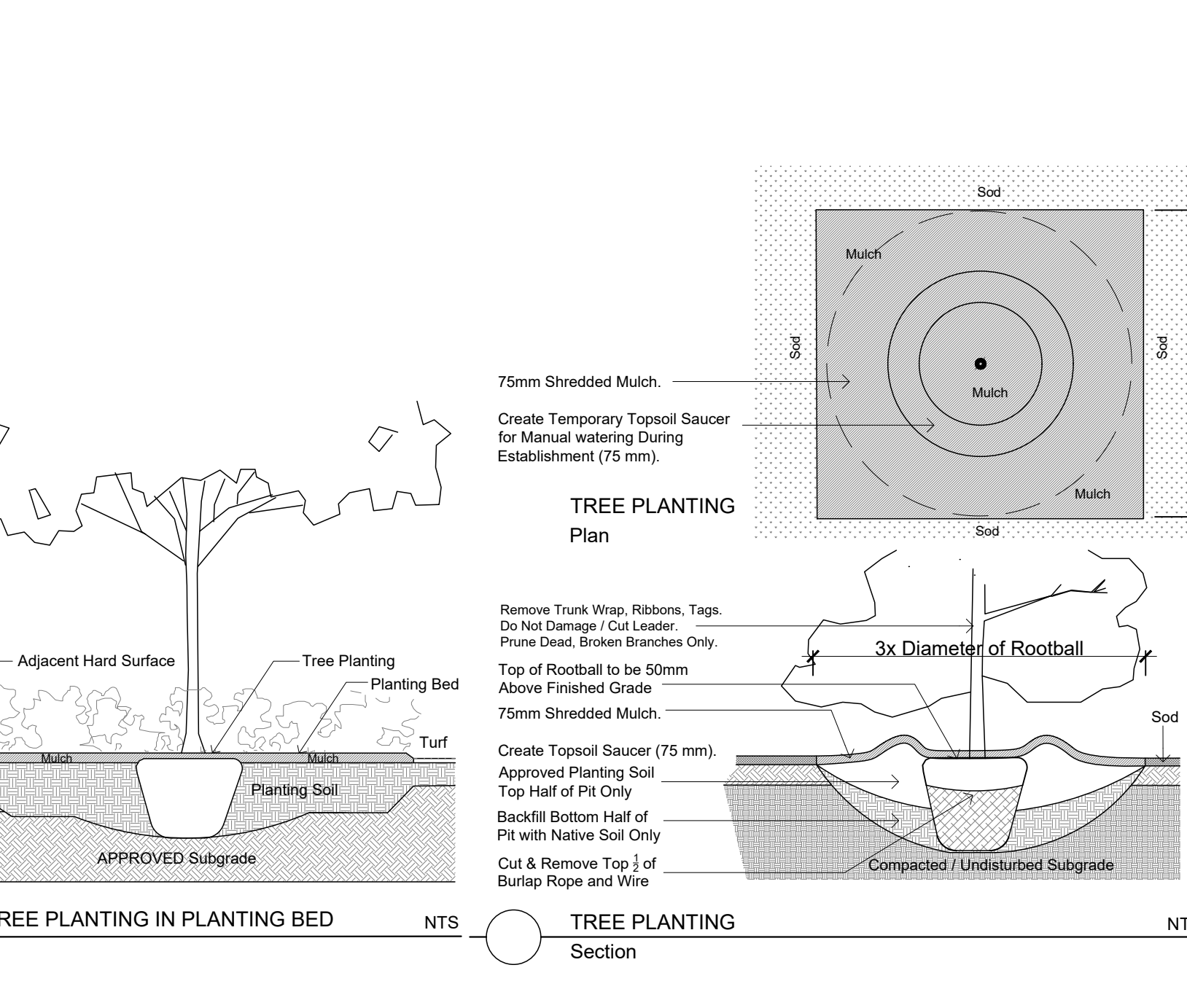
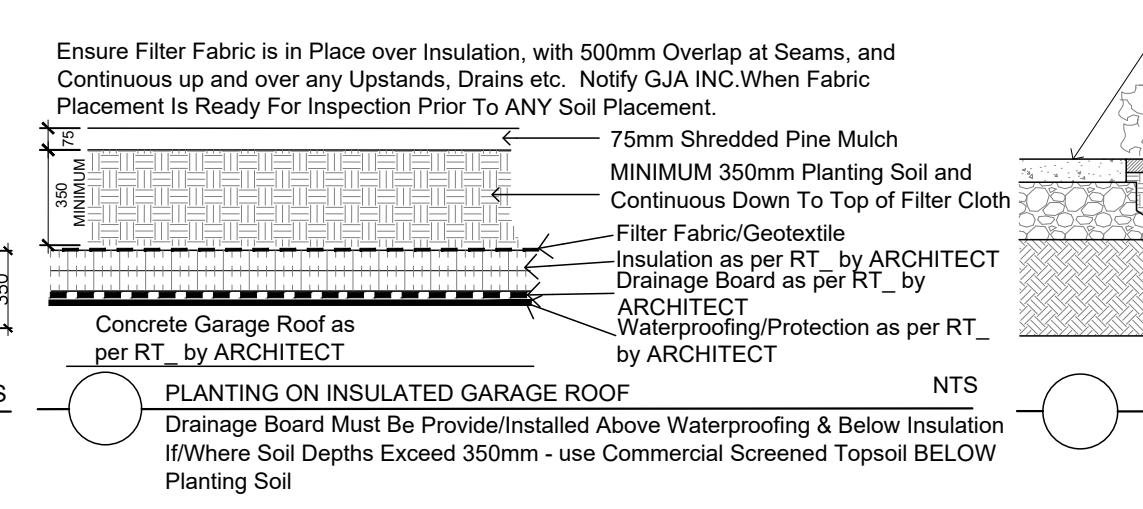
EXISTING AND PROPOSED SITE SERVICING IS SHOWN ON THE LANDSCAPE PLAN TO PROVIDE AN AWARENESS TO REVIEWERS AND CONTRACTORS OF THEIR INTENDED LOCATION AND SEPARATION OF TREES/SERVICES/PROPOSED LANDSCAPING. DETERMINE AS BUILT LOCATIONS OF SERVICES PRIOR TO PLANTING AND ADJUST ACCORDINGLY TO RESPECT REQUIRED SETBACKS

SHRUBS 1531 ST LAURENT KTS

Code	Qty	Botanical Name	Common Name	Size	Condition
AC	50	Amelanchier canadensis	Serviceberry	100cm Ht.	Pot
HK	250	Hypericum kalmianum	Kalm St. John's Wort	30cm Ht.	Pot
SP	200	Hypericum prolificum	Shrubby St. John's Wort	40cm Ht.	Pot
SA	180	Sorarea alba	Meadowweet	30cm Ht.	Pot
SB	450	Sorarea bumalda 'Dart's Red'	Dart's Red Spirea	30cm Ht.	Pot
VI	40	Viburnum lentago	Nannyberry	100cm Ht.	Pot
TC	130	Texas coccinea 'Nana'	Dwarf Japanese Yew	40cm top	Pot

OTHER 1531 ST LAURENT KTS

Code	Qty	Botanical Name	Common Name	Condition
AR	75	Arctostaphylos uva-ursi	Bearberry	9cm Pot
GR	125	Geranium macrorrhizum	Bigroot Geranium	9cm Pot
GS	135	Geranium psalmistum 'Gerard'	Rozanne Geranium	9cm Pot
PT	100	Parthenocissus tricuspidata	Boston Ivy	9cm Pot
VS	75	Panicum virgatum	Switch Grass	9cm Pot



CONSULTANT TEAM

ROLE	COMPANY	CONTACT
DEVELOPER	KTS PROPERTIES	(613) 704 6991
SURVEYOR	FAMILY SMITH AND DENIS SURVEYORS 2022	(613) 727 8226
PLANNER	FOTINI	(613) 730 5709
ARCHITECT	FIGURE	(613) 695 6122
CIVIL	EGP-GROUP	(613) 836-2184
FORESTRY	IFS ASSOCIATES	(613) 838 9717
LANDSCAPE ARCHITECT	GJA INC.	(613) 286-6130

3 SPC SUBMISSION 3 2025 11 06

2 SPC SUBMISSION 2 2024 07 15

1 SPC SUBMISSION 1 2023 05 31

0 REVIEW/COORDINATION 2023 05 00

PROPERTY OWNER
KTS PROPERTIES
101-265 CARLING AVENUE OTTAWA
KTSPROPERTIES.CA

GJA INC.
LANDSCAPE ARCHITECT
GJAL.COM | 613 286 6130 | GINO@GJAL.COM
100 DUNDAS STREET WEST SUITE 100 OTTAWA ONTARIO | K1T 0G2

MIXED-USE BUILDINGS
1531 ST. LAURENT BLVD, OTTAWA, ON
K1G 1A1

Landscape Plan
Scale: 1:200