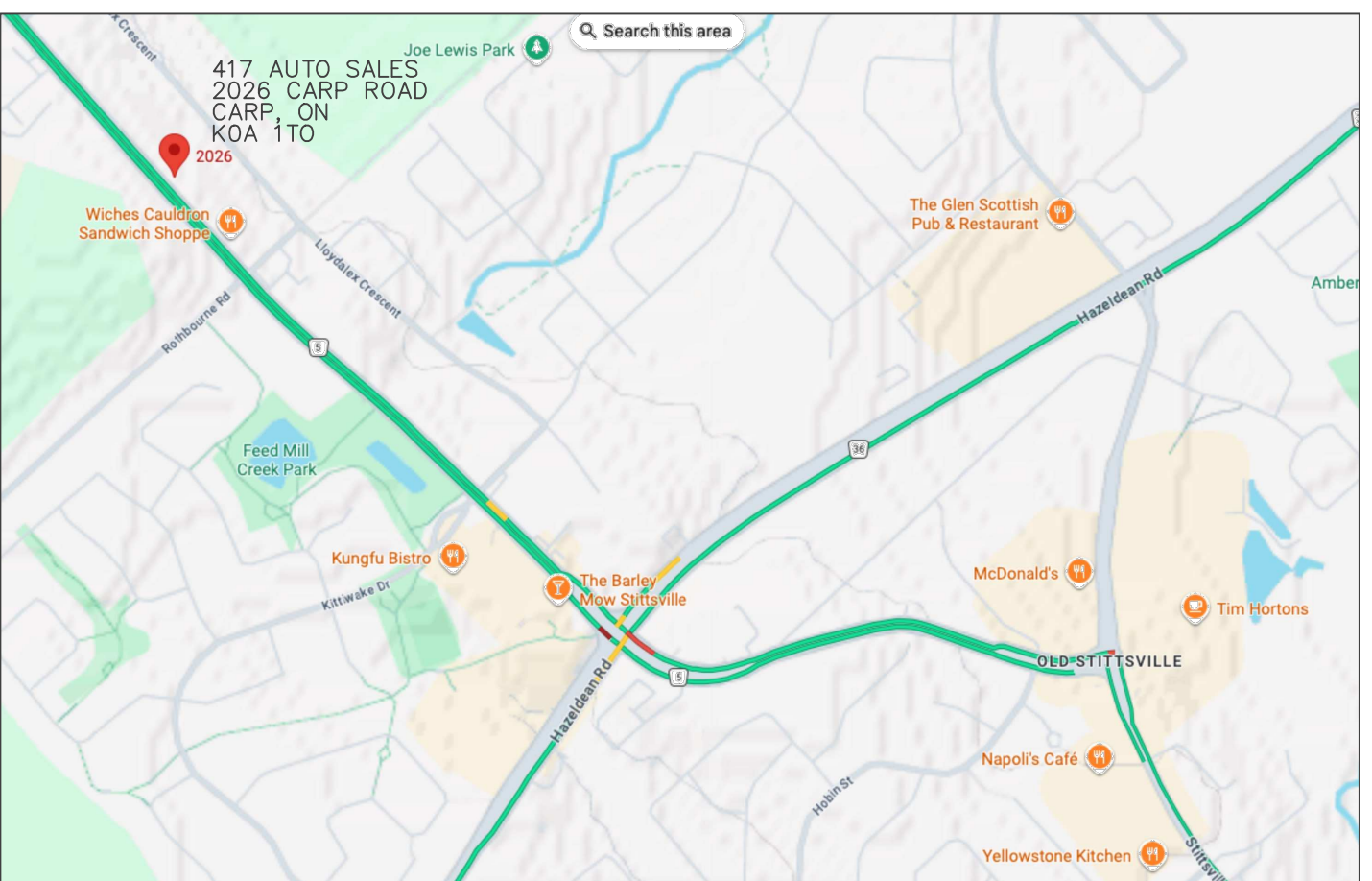
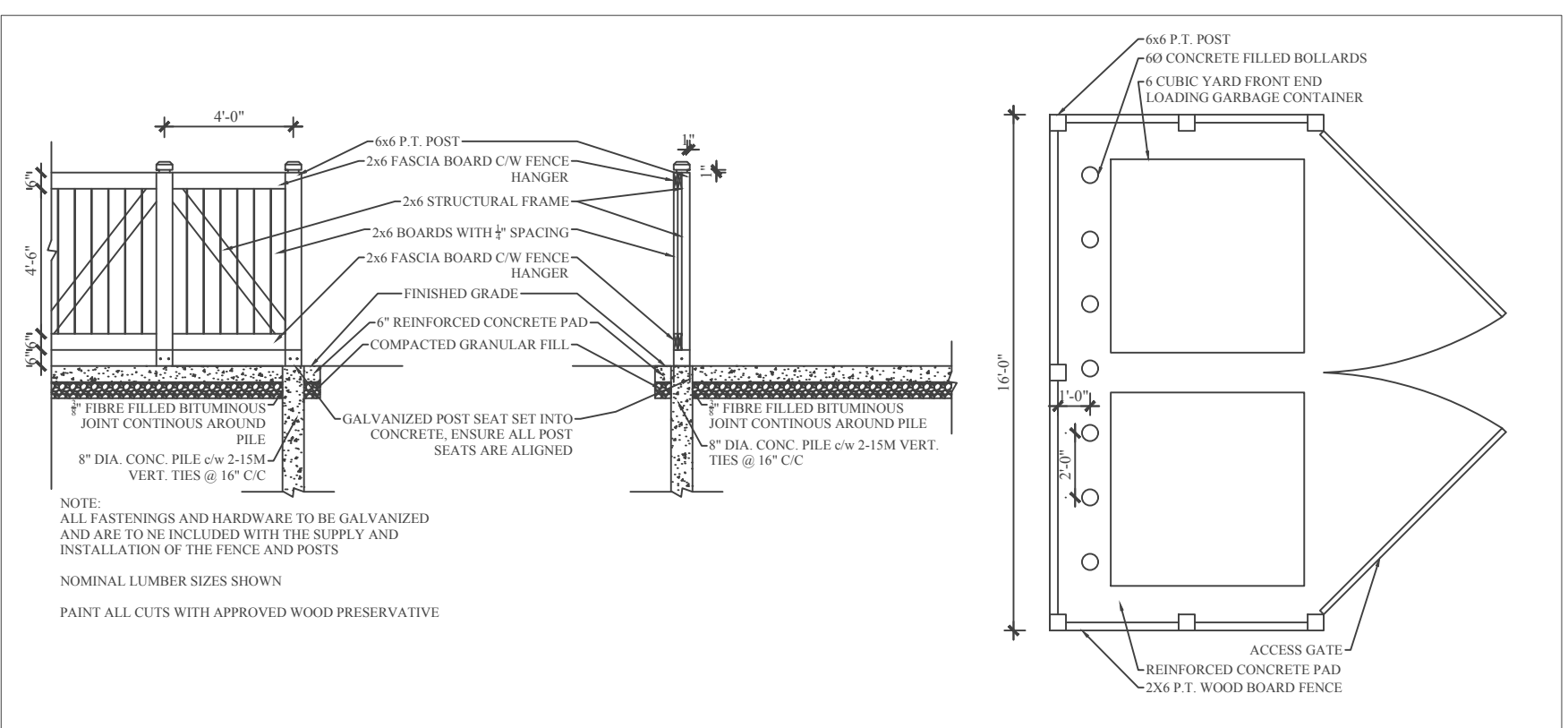


RURAL COMMERCIAL -RC[773r] P.I.N. 04487-0301		
PROVISIONS	REQUIRED	PROVIDED
MINIMUM LOT AREA (M <sup>2</sup> )	4000	1808.09
MINIMUM LOT WIDTH (M) [773r]	90 [773r]	39.62
MINIMUM FRONT YARD SETBACK (M) [773r]	10 [773r]	9.55 (EXISTING)
MINIMUM INTERIOR SIDE YARD SETBACK (M) [773r]	3 [773r]	2.65 & 19.12
MINIMUM REAR YARD SETBACK (M)	10	26.32
MAXIMUM HEIGHT (M)	11	APPROX. 4.5
MAXIMUM LOT COVERAGE (%)	25%	3.17%
LANDSCAPING OF YARDS	FRONT AND CORNER SIDE YARDS MUST BE LANDSCAPED EXCEPT FOR DRIVEWAYS CROSSING THOSE YARDS LEADING TO PARKING	
OUTDOOR STORAGE	OUTDOOR STORAGE PERMITTED IN INTERIOR, SIDE AND REAR YARD ONLY; MUST BE SCREENED AND CONCEALED FROM VIEW FROM ADJUTING STREETS AND FROM ADJUTING NON-COMMERCIAL OR NON-INDUSTRIAL ZONES	
MINIMUM PARKING SPACES (AUTOMOBILE DEALERSHIP)	SALES/SHOWROOM AREA: 2/100 M <sup>2</sup> GFA (2) SERVICE AREA: 1/50 M <sup>2</sup> GFA OTHER AREAS: 1/100 M <sup>2</sup> GFA	4 SPOTS PROVIDED N/A N/A
LANDSCAPE PROVISIONS FOR PARKING LOTS (s. 110)	15% OF AREA OF PARKING LOT MUST BE PROVIDED AS PERIMETER OR INTERIOR LANDSCAPED AREA	27.93%
LOCATION OF LANDSCAPE BUFFER FOR LOT WITH MORE THAN 100 SPACES (s. 110)	ADJUTING STREET: 3 M NOT ADJUTING STREET: 1.5 M	



2 LOCATION PLAN  
SCALE: NTS



3 REFUSE COLLECTION ENCLOSURE DETAIL  
SCALE: 3/16" = 1'-0"

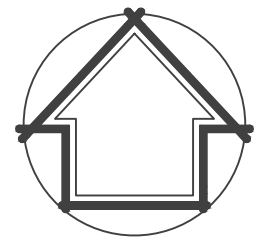
SITE PLAN LEGEND:		
	EXISTING TREE TO BE REMOVED	TURF PAVERS
	EXISTING TREE TO REMAIN	ASPHALT
	PROPOSED TREES	GRAVEL
	PROPOSED SHRUBS	PAVERS
	GRASS/SOFT LANDSCAPE	

REFER TO LANDSCAPE ARCHITECT'S PLANS FOR SPECIES OF TREES

LEGEND:

- EXTERIOR WALL MOUNTED LIGHT
- FIRE ROUTE SIGN
- ENTRANCE DOOR ARROW
- FENCE

**NOTES:**  
 LEGAL DESCRIPTION:  
 PART OF LOT 1, CONCESSION 2, GEOGRAPHIC TOWNSHIP OF HUNTLEY, CITY OF OTTAWA  
 P.I.N. 04487 - 0301  
 CIVIC ADDRESS:  
 2026 CARP ROAD, CARP ON KOA 110  
 SITE PLAN GENERAL NOTES:  
 THIS SITE PLAN & ALL EXISTING SITE INFO, ELEVATIONS, SERVICE LOCATIONS & PROPERTY INFORMATION IS BASED ON A SURVEY COMPLETED BY FARLEY, SMITH & DENIS SURVEYING LTD. FILE NO. 78-21, DATED APRIL 1, 2021..



PROJECT NORTH



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 bellarchitecture.ca

VERSION NO.	DATE
2	APRIL 2022

SEAL:

**NOTES:**  
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NO.	ITEM	DATE
5	REVISED FOR SITE PLAN CONTROL	04.07.24
4	REVISED FOR SITE PLAN CONTROL	06.11.23
3	REVISED FOR SITE PLAN CONTROL	11.05.23
2	ISSUED FOR SITE PLAN CONTROL	01.03.23
1	ISSUED FOR REVIEW	06.04.22
NO.	ITEM	DD.MM.YY
REVISIONS		DATE

PROJECT	SCALE
417 AUTO SALES 2026 CARP ROAD CARP, ON KOA 110	AS SHOWN
CLIENT NEIL CHADHA 417 AUTO SALES	DRAWN BY HS DATE APRIL 2022 CHKD BY JCB APPRD BY JCB PROJECT NO. 222-03
DRAWING	SHEET NO. <b>A.1</b>