

GENERAL NOTES

1. ALL TOPOGRAPHY, GROUND ELEVATIONS AND SURVEY DATA ARE SHOWN FOR INFORMATION PURPOSES ONLY AND IMPLY NO GUARANTEE OF ACCURACY. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. THIS PLAN HAS BEEN PREPARED IN REFERENCE TO THE PLAN OF SURVEY AS COMPLETED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. A SIGNED COPY WAS NOT AVAILABLE, BUT NOTES PROVIDED ON THE SUPPLIED PLAN SPECIFY THE SURVEY WAS COMPLETED ON JULY 12, 2022.
3. THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.
4. LAYOUT BY OTHERS.
5. ALL DISTURBED AREAS ARE TO BE SEED AS SOON AS FEASIBLE. NO BARE TOPSOIL SHALL REMAIN. ALL DISTURBED AREAS INTENDED TO BE FINISHED AS GRASS ARE TO BE TREATED WITH A MIN. 100mm TOPSOIL AND SEED (OR SOD).
6. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
7. DISTURBED AREAS WITHIN THE CITY ROAD ALLOWANCE ARE TO BE RESTORED TO THE SATISFACTION OF THE CITY.
8. GRADING NOT TO EXTEND BEYOND PROPERTY LINES.
9. SUITABILITY OF SUBGRADE CONDITIONS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER (OR SUITABLE PROFESSIONAL) PRIOR TO FOOTING INSTALLATION. FROST PROTECTION REQUIRED WHERE DEPTH OF COVER < 1.5m. FROST PROTECTION DESIGN BY OTHERS.
10. ALL PARKING LOT AND GRADING WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE CITY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
11. CONTACT THE CITY FOR INSPECTION AT KEY MILESTONES. REFERENCE SHALL BE MADE TO THE SITE PLAN AGREEMENT AND/OR BUILDING PERMIT FOR INSPECTION PRIESTS IN REFERENCE TO THE PLAN OF SURVEY.
12. ALL WORKS ARE TO BE PERFORMED IN ACCORDANCE WITH CURRENT CODES AND STANDARDS.
13. ANY CHANGES MADE TO THIS PLAN ARE TO BE VERIFIED AND APPROVED BY SHADE GROUP INC. AND ARE SUBJECT TO APPROVAL FROM THE APPROPRIATE APPROVAL AGENCIES.
14. THE LOCATION OF THE WELL AND SEPTIC HAS BEEN SHOWN FOR ILLUSTRATION PURPOSES ONLY. THE SUITABILITY OF THE WELL LOCATION IS TO BE VERIFIED BY OTHERS, WHILE THE DESIGN OF THE SEPTIC IS TO BE COMPLETED BY OTHERS. WELL IS TO BE MIN. 15m FROM ANY SEPTIC SYSTEM (BOTH ON-SITE AND ON ADJACENT PROPERTIES).

EROSION AND SEDIMENT CONTROL NOTES

1. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

INFILTRATION GALLERY NOTES

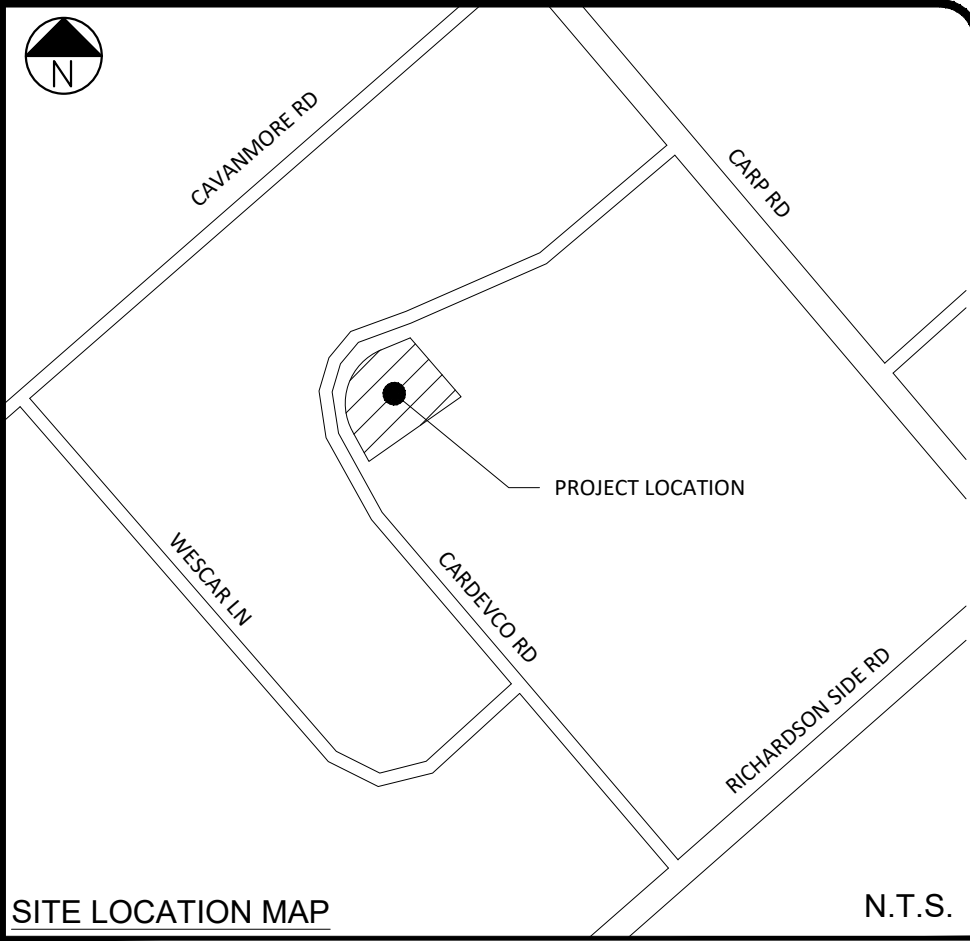
1. INFILTRATION GALLERY TO BE EXCAVATED TO SPECIFIED BOTTOM ELEVATION.
2. CONTRACTOR TO BACKFILL WITH 50mm CLEARSTONE TO SPECIFIED ELEVATION.
3. CONTRACTOR TO CAP CLEARSTONE WITH 40mil HDPE GEOMEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (TITAN 40HD- 40mil SMOOTH HDPE GEOMEMBRANE OR APPROVED EQUIVALENT).
4. CAP WITH GRANULAR 'A'. PLACEMENT OF GRANULAR 'A' AND ANY COMPACTOR REQUIREMENTS TO BE COMPLETED IN CONSULTATION WITH GEOTECHNICAL ENGINEER.

PERIMETER CONVEYANCE DRAIN NOTES

1. PERIMETER CONVEYANCE DRAIN TO BE EXCAVATED TO SPECIFIED BOTTOM ELEVATION.
2. CONTRACTOR TO LINE EXCAVATED TRENCH WITH 40mil HDPE GEOMEMBRANE INSTALLED PER MANUFACTURER'S SPECIFICATIONS (TITAN 40HD- 40mil SMOOTH HDPE GEOMEMBRANE OR APPROVED EQUIVALENT).
3. CONTRACTOR TO BACKFILL TRENCH WITH 50mm CLEARSTONE TO SPECIFIED ELEVATION.

ELEVATION NOTES

1. ELEVATIONS SHOWN ARE GEODETIC AND ARE REFERENCED TO CGVD28 GEODETIC DATUM.
2. BEARINGS ARE GRID, DERIVED FROM CANNET 2016 REAL TIME NETWORKS GPS OBSERVATIONS AND ARE REFERENCED TO THE CENTRAL MERIDIAN OF MTM ZONE 9 (76°30' WEST LONGITUDE) NAD-83 CSRS 2010.



SITE LOCATION MAP N.T.S.

SCALE BAR DO NOT SCALE DRAWING



ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE MARKED.

PAGE SIZE ARCH D SCALE 1:150

SHADE GROUP INC.
4625 MARCH ROAD
ALMONTE, ON
K0A 1A0

SITE BENCHMARK MAG NAIL AND WASHER IN UTILITY POLE ON NORTH SIDE OF CARDEVCO ROAD, DIRECTLY EAST OF ENTRANCE TO HARRIS REBAR. ELEVATION=117.72

LEGEND (IF APPLICABLE)

- PROPERTY BOUNDARY
- EX. LEGAL FABRIC
- PR. EASEMENT
- EX. ROAD CENTRE LINE
- EX. EDGE OF ASPHALT
- EX. EDGE OF SHOULDER
- EX. DITCH
- EX. OVERHEAD UTILITIES
- EX. CONTOUR AND ELEVATION
- EX. BUILDING
- EX. SPOT ELEVATION
- EX. TOP OF SLOPE
- PR. TOP OF SLOPE
- EX. DRAINAGE DIRECTION & SLOPE
- EX. UTILITY POLE
- PR. BUILDING
- PR. DESIGN ELEVATION
- PR. DRAINAGE DIRECTION & SLOPE
- MATCH EXISTING SPOT ELEVATION
- LOT CORNER GRADES
- PR. STORMWATER TRENCH
- PR. RETAINING WALL
- T/W - TOP OF WALL
- B/W - BOTTOM OF WALL
- PR. TREES
- PR. BOLLARDS
- GRASS COVER
- ASPHALT

REV. #	REVISION DESCRIPTION	DATE
07	REVISED PER CITY COMMENTS	JAN 30, 2026
06	REVISED PER CITY+MVCA COMMENTS	SEP 25, 2025
05	ISSUED FOR CONSTRUCTION	APR 1, 2025
04	REVISED PER CITY COMMENTS	JAN 27, 2025
03	REVISIONS TO FIRE TANKS + EASEMENT	NOV 25, 2024
02	REVISED PER CITY COMMENTS	NOV 30, 2023
01	REVISED PER CITY COMMENTS	AUG 17, 2023

STAMP

PROJECT TITLE	WHELAN TRUCK REPAIR - BUILDING ADDITION
PROJECT ADDRESS	158 CARDEVCO ROAD CARP, ON K0A 1L0
DRAWING TITLE	SITE GRADING AND DRAINAGE PLAN
DRAWING NO.	1 OF 3