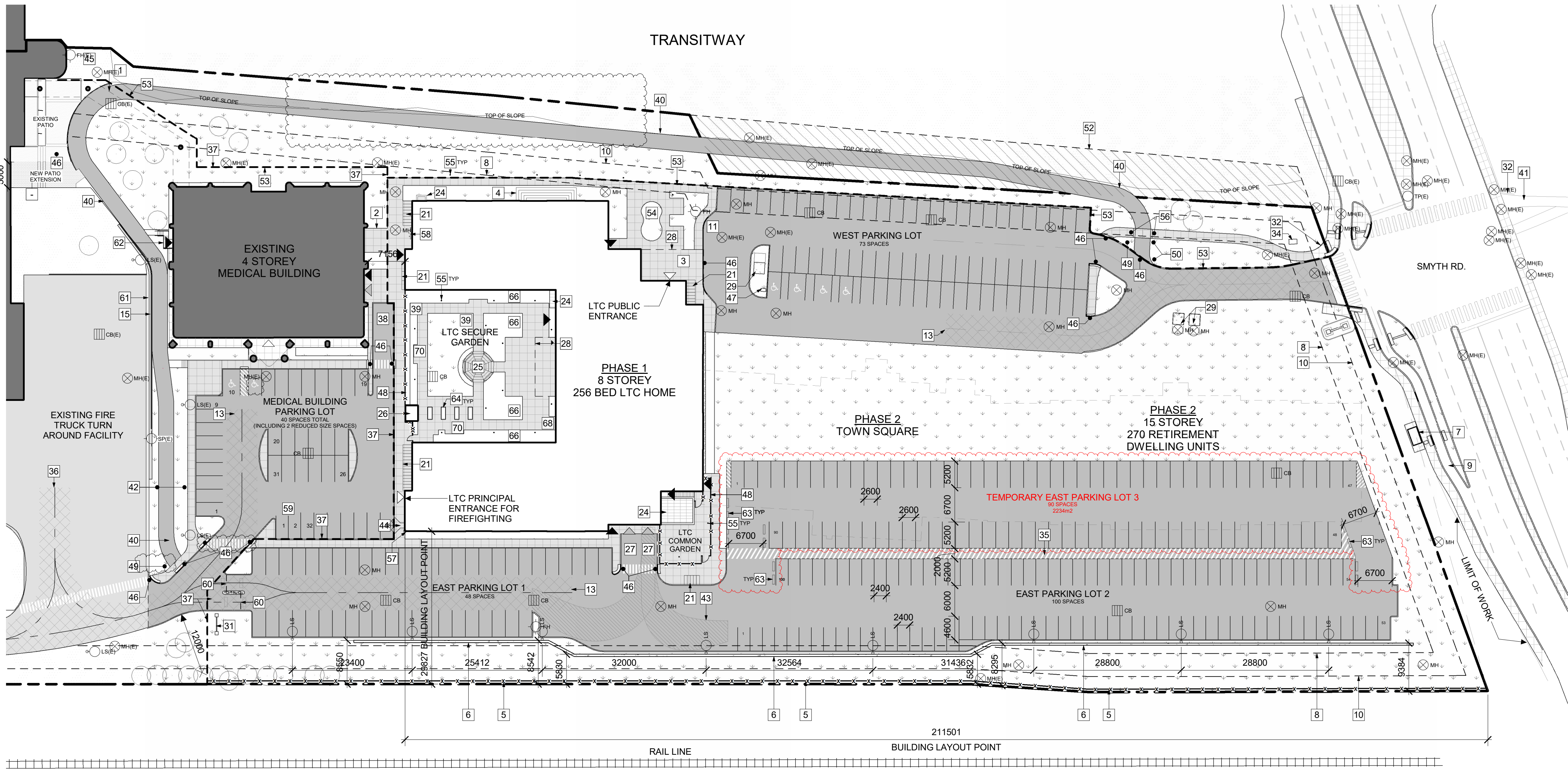




1 INTERIM SITE PLAN (PHASE 1A)

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PHASE 1 SITE PLAN LEGEND:

- 1 EXISTING RAISED PEDESTRIAN LINK
- 2 POTENTIAL PEDESTRIAN LINK
- 3 LTC PORCH
- 4 STONE RETAINING WALL
- 5 NEW 1829mm HIGH CHAIN LINK FENCE
- 6 TRAIN PROTECTION BARRIER PER APPROVED SITE PLAN
- 7 EXISTING BUS SHELTER (RELOCATED)
- 8 MINIMUM BUILDING SETBACK
- 9 END OF FUTURE BIKE LANE
- 10 3m LANDSCAPE BUFFER
- 11 LAY-BY
- 12 FUTURE GAMES COURT. REFER TO LANDSCAPE PLAN
- 13 END OF FIRE ROUTE
- 14 FUTURE EXERCISE STATION. REFER TO LANDSCAPE PLAN
- 15 NEW STONE STRONG SYSTEMS WALL PER DETAILS
- 21 BICYCLE PARKING
- 24 AREAWAY
- 25 GAZEBO
- 26 8' x 10' SHED
- 27 LOADING ZONE
- 28 OVERHANG ABOVE
- 29 HYDRO BOX
- 31 SIGNAGE
- 32 EXISTING ROAD BARRIER
- 34 EXISTING UTILITY COVER AT SURFACE
- 35 TEMPORARY ASPHALT ACCESS AISLE
- 36 EXISTING FIRE TRUCK TURNAROUND FACILITY
- 37 BOUNDARY OF LEASED PARCEL
- 38 EXISTING LOADING / GARBAGE AREA
- 39 SOD

- 40 NEW MULTI-USE PATHWAY. PAVEMENT MARKINGS PER FIGURE 4.19 OF THE OTM BOOK 18 PROVIDED.
- 41 EXISTING MULTI-USE PATHWAY
- 42 LANDSCAPE BUFFER BETWEEN PARKING AND EXISTING RECEIVING AREA
- 43 DELIVERY TRUCK TURNAROUND FACILITY
- 44 SIAMESE CONNECTION
- 45 EXISTING ACCESS TO TRANSIT STATION
- 46 TACTILE WALKING SURFACE INDICATOR (TWSI) C/W DEPRESSED CURB
- 47 COMMUNICATIONS PULLBOX
- 48 1.6m HT FENCE WITH LOCKING GATE
- 49 STOP SIGN
- 50 MULTI-USE PATHWAY SIGNAGE (MUP)
- 51 NO BIKES SIGNAGE
- 52 AREA OF SERVICES RELOCATION
- 53 PARKLAND DEDICATION SEPARATION LINE
- 54 COMMON GARDEN
- 55 NEW BOLLARD, OFFSET 0.5m FROM EDGE OF PAVER OR FENCE AS APPLICABLE.
- 56 TACTILE WALKING SURFACE INDICATOR (TWSI)
- 57 BUILDING LAYOUT POINT
- 58 GAS METER
- 59 COMPACT CAR PARKING SPACE (2.4m x 4.6m)
- 60 PARKING GATE
- 61 EXISTING HIGH CURB TO REMAIN WITH FENCE REMOVED
- 62 NEW LANDING, STEPS AND PATHWAY INTO EXISTING MEDICAL BUILDING
- 63 CONCRETE BARRIER
- 64 RAISED PLANTERS PER LANDSCAPE DOCUMENTS
- 65 WASTE RECEPTACLE PER LANDSCAPE DOCUMENTS
- 66 PLANTING PER LANDSCAPE DOCUMENTS
- 67 BARBEQUE AND GAS CONNECTION
- 68 HOSE BIB PER MECHANICAL
- 69 MAINTENANCE EDGE PER LANDSCAPE DOCUMENTS
- 70 BENCH SEATING PER LANDSCAPE DOCUMENTS

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED
- PHASE 1 LTC HOME SITE AREA = 11,100 sq m / 20,571 m² TOTAL = 54.0%

SITE PLAN LEGEND:

- EXISTING BUILDING TO REMAIN
- EXISTING GRASS/SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- EXISTING SIDEWALK
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING
- NEW GRASS / SOFT LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
- PROPOSED CONCRETE SIDEWALK
- AREA OF SERVICE RELOCATION
- CONCRETE PAD
- STONE DUST/SAND
- PEDESTRIAN CROSSWALK
- EXISTING PAVERS
- FIRE ROUTE
- HSU VEHICLE ACCESS ROUTE - ENTERING PARKING LOT
- HSU VEHICLE ROUTE - EXITING PARKING LOT
- OTHER ENTRANCE / EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE
- PROPERTY LINE
- FENCE - REFER TO LANDSCAPE PLANS
- RELOCATED UNDERGROUND SERVICES - REFER TO CIVIL FOR DETAILS
- LIMIT OF WORK
- BARRIER CURB & CURB DEPRESSION

- EXISTING LIGHT STANDARD
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING TRAFFIC LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING STANDPIPE
- BASE DIAMETER
- EXISTING TREE TO REMAIN
- PROPOSED LIGHT STANDARD
- PROPOSED MANHOLE
- PROPOSED UTILITY POLE
- FIRE ROUTE SIGN
- PROPOSED FIRE HYDRANT
- SIAMESE CONNECTION



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TEMPORARY PARCEL LOT 91C RESUBMISSION

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CSV ARCHITECTS

sustainable design - conception écolologique



SV - OTTAWA

1915, 1967 RIVERSIDE DRIVE, OTTAWA, ONTARIO

INTERIM SITE PLAN (PHASE 1A)

Project No.: 202090

Plot Date: 2020-03-04 3:36:29 PM

Drawn By: DF

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