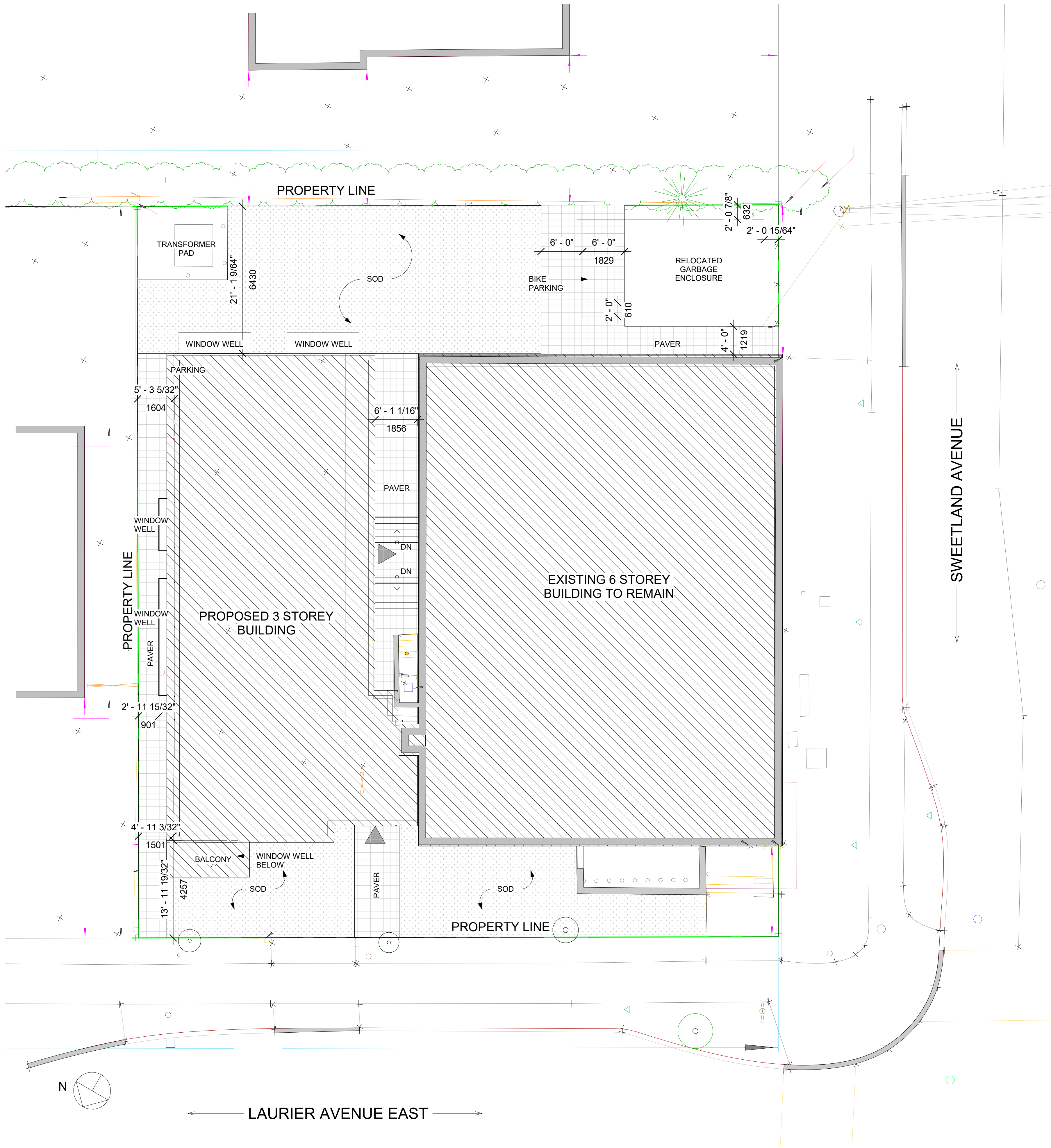




280 LAURIER AVE. E.			
SITE PLAN OF SURVEY LOT 5 AND PART OF LOT 6 (SOUTH LAURIER AVENUE) REGISTERED PLAN 14349, CITY OF OTTAWA		SURVEY INFO TAKEN FROM LOT 5 AND PART OF LOT 6 (SOUTH LAURIER AVENUE) REGISTERED PLAN 14349, CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. COMPLETED FEBRUARY 5, 2021	
R4UD (480)- RESIDENTIAL FOURTH DENSITY ZONE (SEC. 161-162) CITY OF OTTAWA; DWELLING TYPE: NEW ADDITION TO EXISTING 6 STOREY MID RISE APARTMENT BUILDING (RENTALS)			
ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	450 m²	895.5 m²	
B) MINIMUM LOT WIDTH	15 m	27.95 m	
C) MINIMUM LOT DEPTH	N/A	32 m	
D) MINIMUM FRONT YARD SET BACK	AVERAGE (4.5m+4.01m) /2 =4.255m	4.25 m	
E) MINIMUM CORNER YARD SET BACK	AVERAGE (3m+0m) /2 =1.5m	0 m (EXISTING)	
F) MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m	1.5 m	
G) MINIMUM REAR YARD SET BACK	1.2 m	6.43 m	
H) * MINIMUM REAR YARD AREA (SEE BY-LAW PROVISION AMENDMENTS OUTLINED BELOW)	30% of 27.95 m x 30% of 32 m = 80.5 m²	79.4 m²	MINOR VARIANCE
I) MAXIMUM BUILDING HEIGHT	14.5 m	13 m	
J) VEHICLE PARKING (RESIDENTS)	44x0.5=22	0	
VEHICLE PARKING (VISITOR)	44x0.1=4.4	0	
VEHICLE PARKING (TOTAL)	26.4	0	MINOR VARIANCE
K) BIKE SPACES	56x0.5=28	36 (STACKED) INDOOR +7 OUTDOOR	
	REQUIREMENT	PROVIDED	EXISTING
L) AMENITY AREA	0	101.2 m² @ BACK & 15.6 m² BALCONIES TOTAL = 116.8 m²	

BUILDING AREA			
FLOOR NAME	EXISTING	PROPOSED ADDITION	TOTAL
BASEMENT	341 m²	193.6 m²	534.6 m²
GROUND FLOOR	341 m²	193.6 m²	534.6 m²
SECOND FLOOR	341 m²	193.6 m²	534.6 m²
THIRD FLOOR	341 m²	193.6 m²	534.6 m²
FOURTH FLOOR	341 m²	0 m²	341 m²
FIFTH FLOOR	341 m²	0 m²	341 m²
SIXTH FLOOR	341 m²	0 m²	341 m²
TOTAL	2387 m²	774.4 m²	3161.4 m²

	BACHELOR	1 BED	2 BED	TOTAL
EXISTING BUILDING	29	11	0	40
PROPOSED ADDITION	15	1	3	19
TOTAL	44	14	3	59
REQUIRED 2 BEDROOM			4	
PROPOSED 2 BEDROOM			3	

SITE PLAN
SCALE: 1:100



(DESIGN ONLY)

OTTAWA CARLETON CONSTRUCTION GROUP LTD. - BCNR: 112782
337 SUNNYSIDE AVE, SUITE 101, OTTAWA, ON K1S 0R9

FERNANDO MATOS - BCNR: 22431
613-884-4425

QUALIFICATION INFO
The undersigned is a Professional Engineer and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2015
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BY-LAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED

GENERAL NOTES:

280 LAURIER AVE. E.

NEW ADDITION TO
EXISTING 6 STOREY BUILDING

CONSULTANTS		MDY
STRUCTURAL - MECHANICAL - ELECTRICAL -		
9		
8		
7		
6		
5		
4		
3		
2		
1		
NO.	REVISION/ISSUE	DATE
PROJECT:		
280 LAURIER AVE. E. NEW ADDITION TO EXISTING 6 STOREY BUILDING 280 LAURIER AVE. E. OTTAWA, ON K1N 6P5		
SITE PLAN		
DRAWN BY: L.T.		SHEET: A0
DATE: MARCH 29, 2021		
SCALE: AS NOTED		