

BUILDING GFA SUMMARY		
	m2	ft2
TOTAL RESIDENTIAL GFA	28206	303608
TOTAL RETAIL GFA	300	3229
TOTAL GFA	28,506	306837

ZONING TABLE			
PROVISION	REQUIRED	PROVIDED	COMPLIANCE
MIN. LOT AREA	NO MINIMUM	1,411 m ²	✓
MIN. LOT WIDTH	NO MINIMUM	32.16 m	✓
MIN. FRONT YARD SETBACK	MIXED-USE BLDG. 0m	0 m	✓
MIN. CORNER SIDE YARD SETBACK	MIXED-USE BLDG. 0m	0 m	✓
MIN. REAR YARD	MIXED-USE BLDG NOT ADJUTING A RESIDENTIAL ZONE 0m	0 m	✓
BUILDING HEIGHT	MAX. 30m AND NO HIGHER THAN 12 STOREYS	126.0m (415 ft.)	✗
AMENITY AREA	MIN. 50% OF YDS MUST BE COMMONS, 500m ² ± (0.03MG TOTAL AND 1.01MG COME)	COMMONAL: 1,511 m ²	✗
MINIMUM RESID. VEHICLE PARKING	AREA 2: NO PARKING REQD.	166 SPACES	✓
MAXIMUM RES. VEHICLE PARKING	1/3 SPACES / DU 366 ± 1.75 % (DU)	166 SPACES	✓
MINIMUM VISITOR PARKING	0/1 SPACES / DU (AFTER FIRST 12 DU. MAX. 30 SPACES REQUIRED)	30 SPACES	✓
MIN. COMMERCIAL VEHICLE PARKING	AREA 2: NO PARKING REQD.	0 SPACES	✓
MIN. RESIDENTIAL VEHICLE PARKING	MIN. RES. BIKE/PARK. 0.5 SPACES / DU 366 ± 0.5 ± 156 SPACES	156 SPACES	✓
MIN. COMMERCIAL VEHICLE PARKING	1/250th GA 3356 ± 1.34 (± ROUNDED)	7 SPACES	✓
DRIVEWAY WIDTH	TWO-WAY FOR RESID.: 6.0m	6.0 m	✓
ASLE WIDTH	90-DEGREE PARKING SPACES: 6.0m	6.0 m	✓
PARKING SPACE SIZE	MAX. 40% OF RESID. SPACES CAN BE SMALL SIZE (4.0m x 10.0m) 75% SPACES	SMALL SIZE: PARK. 25	✓



**Part of Lots 1554, 1555,
1556 and 1557
Registered plan 38
City of Ottawa,**

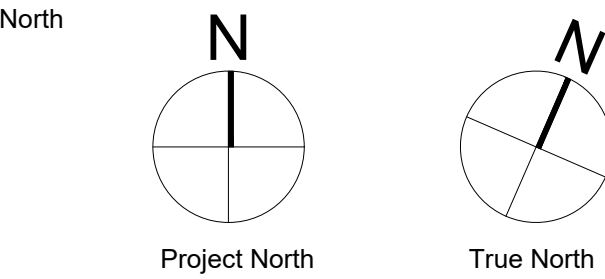
Surveyed by Annis O'Sullivan Vollebekk Ltd.

General Notes:

These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretations of these documents by the Contractor. Upon written application the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report before commencing work with the Contract Documents to the Architect before commencing work.

Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Mechanical drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect.



PROJECT TEAM

CLIENT	CLARDIGE HOMES
ARCHITECT	HARIRI PONTARINI ARCHITECTS
LANDSCAPE	JAMES B. LENNOX + ASSOCIATES
PLANNING	FOTENN PLANNING + DESIGN
STRUCTURAL	GOODEVE STRUCTURAL INC.
CIVIL/TRAFFIC	NOVATECH GROUP
GEOTECH	PATERSON GROUP INC.
WIND	GRADIENT WIND ENGINEERING
SURVEYOR	ANNIS O'SULLIVAN, VOLLEBEKK LTD.

5	RE-ISSUED FOR OPA, ZBA, AND SPA	OCT 18, 2024
4	RE-ISSUED FOR OPA, ZBA, AND SPA	FEB 24, 2024
3	RE-ISSUED FOR OPA, ZBA, AND SPA (DRAFT)	MAR 24, 2023
2	RE-ISSUED FOR OPA, ZBA, AND SPA (DRAFT)	NOV 08, 2022
1	ISSUED FOR OPA, ZBA, AND SPA	MAY 10, 2021
Rev.	Issue / Description	Date

Architect of Record:

HARIRI PONTARINI
ARCHITECTS

235 Carlaw Avenue
Suite 301
Toronto, Canada M4M 2S1
TEL 416 929 4901
FAX 416 929 8924
info@hp-arch.com
hariripontarini.com

ONTARIO ASSOCIATION
OF
ARCHITECTS
DAVID PONTARINI
LICENCE
4466

Project Title:

829 CARLING AVENUE

MIXED-USE DEVELOPMENT

OTTAWA, ON

SITE PLAN

Project number: 2030
Scale: 1 : 200
Date: OCTOBER 18, 2024
Drawn by: HPA

Drawing No.: Revision:

A.102