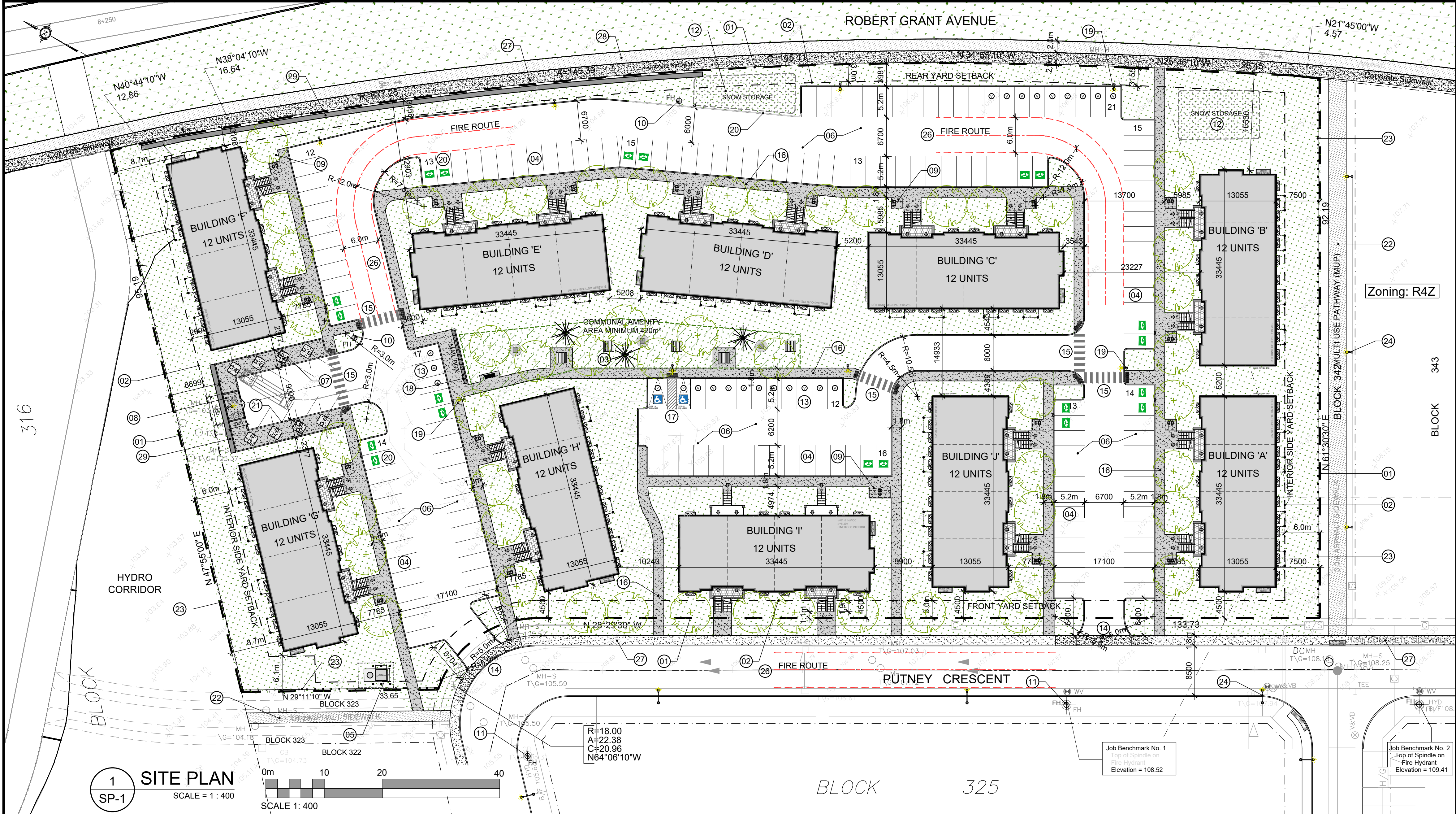




| GROSS BUILDING - AREAS        |                                                    |
|-------------------------------|----------------------------------------------------|
| (CITY OF OTTAWA'S DEFINITION) |                                                    |
| PROPOSED BUILDING 'A'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'B'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'C'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'D'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'E'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'F'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'G'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'H'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'I'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| PROPOSED BUILDING 'J'         | 1,256.0 m <sup>2</sup> / 13,520 ft <sup>2</sup>    |
| TOTAL PROPOSED AREA           | 12,560.0 m <sup>2</sup> / 135,200 ft <sup>2</sup>  |
| UNIT STATISTICS               |                                                    |
| 2 BEDROOM UNIT                | 120                                                |
| CAR PARKING                   |                                                    |
| REQUIRED by ZONING BY-LAW     |                                                    |
| RESIDENCE                     | - 1.2 PER UNIT                                     |
| VISITOR                       | - 0.2 PER DWELLING UNIT                            |
| TOTAL                         | 168                                                |
| PROVIDED                      |                                                    |
| RESIDENCE                     | - 1.26 PER UNIT                                    |
| VISITOR                       | - 0.2 PER DWELLING UNIT                            |
| TOTAL                         | 175                                                |
| BICYCLE PARKING               |                                                    |
| REQUIRED / PROVIDED           | - 0.5 PER UNIT                                     |
|                               | 60                                                 |
| WASTE COLLECTION              |                                                    |
| GUIDELINES                    |                                                    |
| GARBAGE                       | - 0.231 YARDS <sup>3</sup> / UNIT                  |
| RECYCLING (GMP)               | - 0.018 YARDS <sup>3</sup> / UNIT                  |
| RECYCLING (FIBRE)             | - 0.062 YARDS <sup>3</sup> / UNIT                  |
| ORGANICS                      | - 240L CONTAINER / 50 UNITS                        |
|                               | 3 x 240L                                           |
| REQUIRED PROVIDED             |                                                    |
| GARBAGE                       | 5 EARTHBINS                                        |
| RECYCLING (GMP)               | 1 EARTHBINS                                        |
| RECYCLING (FIBRE)             | 2 EARTHBINS                                        |
| ORGANICS                      | 3 x 240L BINS                                      |
| LARGE ITEM GARBAGE            | N/A                                                |
|                               | 8 m <sup>2</sup>                                   |
|                               | *EARTHBINS= (6.5 YARDS <sup>3</sup> )              |
| AMENITY SPACE                 |                                                    |
| REQUIRED AMENITY SPACE        | 0.0 m <sup>2</sup> PER UNIT = 720.0 m <sup>2</sup> |
| 50% COMMUNAL AMENITY AREA =   | 360.0 m <sup>2</sup>                               |
| PROVIDED AMENITY SPACE        |                                                    |
| PRIVATE BALCONY / PATIOS =    | 320.0 m <sup>2</sup>                               |
| COMMUNAL EXTERIOR AREA =      | 420.0 m <sup>2</sup>                               |
| TOTAL =                       | 740.0 m <sup>2</sup>                               |
| SITE COVERAGE                 |                                                    |
| BUILDING FOOTPRINT =          | 22.6%                                              |
| DRIVING SURFACE =             | 29.2%                                              |
| LANDSCAPE AREA =              | 48.2%                                              |
| TOTAL =                       | 100.0%                                             |

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

| DRAWING NOTES |                                                                                                       |
|---------------|-------------------------------------------------------------------------------------------------------|
| 1             | PROPERTY LINE                                                                                         |
| 2             | BUILDING SETBACKS                                                                                     |
| 3             | REQUIRED AMENITY AREA                                                                                 |
| 4             | PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES                                                         |
| 5             | PROPOSED HYDRO TRANSFORMER                                                                            |
| 6             | ASPHALT DRIVING SURFACE                                                                               |
| 7             | IN GROUND WASTE BINS                                                                                  |
| 8             | ORGANIC WASTE / OVER SIZED GARBAGE ENCLOSURE 2.0m HIGH OPAQUE SCREEN AROUND PERIMETER                 |
| 9             | BICYCLE PARKING SPACES 0.6m x 1.8m (6) WITH RACK                                                      |
| 10            | PROPOSED HYDRANT                                                                                      |
| 11            | EXISTING FIRE HYDRANT                                                                                 |
| 12            | SEASONAL SNOW STORAGE                                                                                 |
| 13            | VISITOR PARKING SPACE: 2.6 x 5.2 METRES                                                               |
| 14            | DEPRESSED STREET CURB, SIDEWALK TO BE CONTINUOUS AND DEPRESSED @ DRIVEWAY, AS PER OTTAWA DETAIL SCT.1 |
| 15            | DEPRESSED CURB AND TWSI AT ALL CROSSINGS                                                              |
| 16            | 1.8m WIDE CONCRETE WALK                                                                               |
| 17            | ACCESSIBLE PARKING SPACE WITH ACCESS AISLE, DEPRESSED CURB AND TWSI                                   |
| 18            | CANADA POST MAIL BOXES                                                                                |
| 19            | PROPOSED SITE LIGHTING, SEE ELECTRICAL SITE PLAN                                                      |
| 20            | ELECTRICAL VEHICLE SPACE: 2 PER BUILDING                                                              |
| 21            | FLUSH / MOUNTABLE CURB                                                                                |
| 22            | EXISTING ASPHALT MUP AND OR CONNECTION PATH                                                           |
| 23            | 1.5m Ht. BLACK VINYL COATED CHAIN LINK FENCE                                                          |
| 24            | EXISTING STREET / PATH LIGHTING                                                                       |
| 25            | GRANULAR ACCESS ROAD FOR DRY POND                                                                     |
| 26            | 6.0m WIDE FIRE TRUCK ACCESS ROUTE                                                                     |
| 27            | EX. 1.8m AND OR WIDE CONCRETE CITY SIDEWALK                                                           |
| 28            | EX. 2.0m WIDE ASPHALT CYCLE TRACK                                                                     |
| 29            | LOW RETAINING WALL, SEE CIVIL & LANDSCAPE                                                             |

ARCHITECT SEAL:  
ONTARIO ASSOCIATION OF ARCHITECTS  
REVISED  
LICENCE 8807  
SEAL DATE: STAMP DATE

NORTH ARROW:

CLIENT:

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PROJECT TITLE:  
**723 PUTNEY CRESCENT**  
**STITTVILLE**

OTTAWA ONTARIO

SHEET TITLE:  
**SITE PLAN**

|                     |                          |
|---------------------|--------------------------|
| DRAWN:<br>R.V.      | CHECKED:<br>RV           |
| SCALE:<br>1:400     | SHEET No.<br><b>SP-1</b> |
| PROJECT No.<br>2602 |                          |

| PROJECT INFORMATION                                     |     |                     |                                                          |
|---------------------------------------------------------|-----|---------------------|----------------------------------------------------------|
| Zoning By-law 2008-250 Consolidation                    | R4Z | SITE AREA           | 1.85 ha. 18,571.4 m <sup>2</sup> 199,900 ft <sup>2</sup> |
| ZONING                                                  |     | REQUIRED            | PROVIDED                                                 |
| ZONE: PLANNED UNIT DEVELOPMENT: STACKED                 |     | R4Z                 | R4Z                                                      |
| BUILDING HEIGHT                                         |     | 14.5m               | 9.3m                                                     |
| DENSITY - MAXIMUM FLOOR SPACE INDEX                     |     | n/a                 | n/a                                                      |
| FRONT YARD SETBACK: PUTNEY                              |     | 3.0m                | 4.5m                                                     |
| INTERIOR YARD SETBACK                                   |     | 1.5m & 6.0m         | 6.1m                                                     |
| INTERIOR YARD SETBACK: MUP                              |     | 6.0m                | 7.5m                                                     |
| INTERIOR YARD SETBACK: HYDRO CORRIDOR                   |     | 6.0m                | 8.7m                                                     |
| REAR YARD SETBACK: ROBERT GRANT                         |     | 3.0m                | 3.1m                                                     |
| BUILDING SETBACK TO A PRIVATE WAY                       |     | 1.8m                | 3.0m                                                     |
| BUILDING SEPARATION (UNDER 14.5m HT.)                   |     | 1.2m                | 5.2m                                                     |
| AMENITY AREA - TOTAL 6.0m <sup>2</sup> PER UNIT         |     | 720.0m <sup>2</sup> | 740.0m <sup>2</sup>                                      |
| AMENITY AREA - 50% COMMUNAL PER UNIT                    |     | 360.0m <sup>2</sup> | 420.0m <sup>2</sup>                                      |
| VEHICLE PARKING: RESIDENTIAL - 1.2 PER UNIT             |     | 144                 | 151                                                      |
| VEHICLE PARKING: VISITOR - 0.2 PER UNIT                 |     | 24                  | 24                                                       |
| BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT            |     | 60                  | 60                                                       |
| AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH                |     | 6.0m / 6.7m         | 6.2m / 6.7m                                              |
| MINIMUM WIDTH OF LANDSCAPED AREA - ABUTTING A STREET    |     | 3.0m                | 4.5m                                                     |
| MINIMUM WIDTH OF LANDSCAPED AREA - AROUND A PARKING LOT |     | 3.0m                | 3.0m                                                     |

SITE PLAN SYMBOLS

CONCRETE WALK / PATH

SOFT LANDSCAPING

COMMUNAL AMENITY SPACE

ASPHALT MUP / WALK

SNOW STORAGE

BIKE RACK / BIKE PARKING SPOT  
0.6m x 1.8m

TWO WAY VEHICLE CIRCULATION

MAIN ENTRANCE

PROPERTY LINE

ZONING SETBACKS

STANDARD PARKING SPACE

VISITOR PARKING SPACE

ELECTRICAL VEHICLE READ  
PARKING SPACE (NO CHARGER)

ACCESSIBLE PARKING SPACE

SITE FURNITURE:  
SEE LANDSCAPE DRAWING

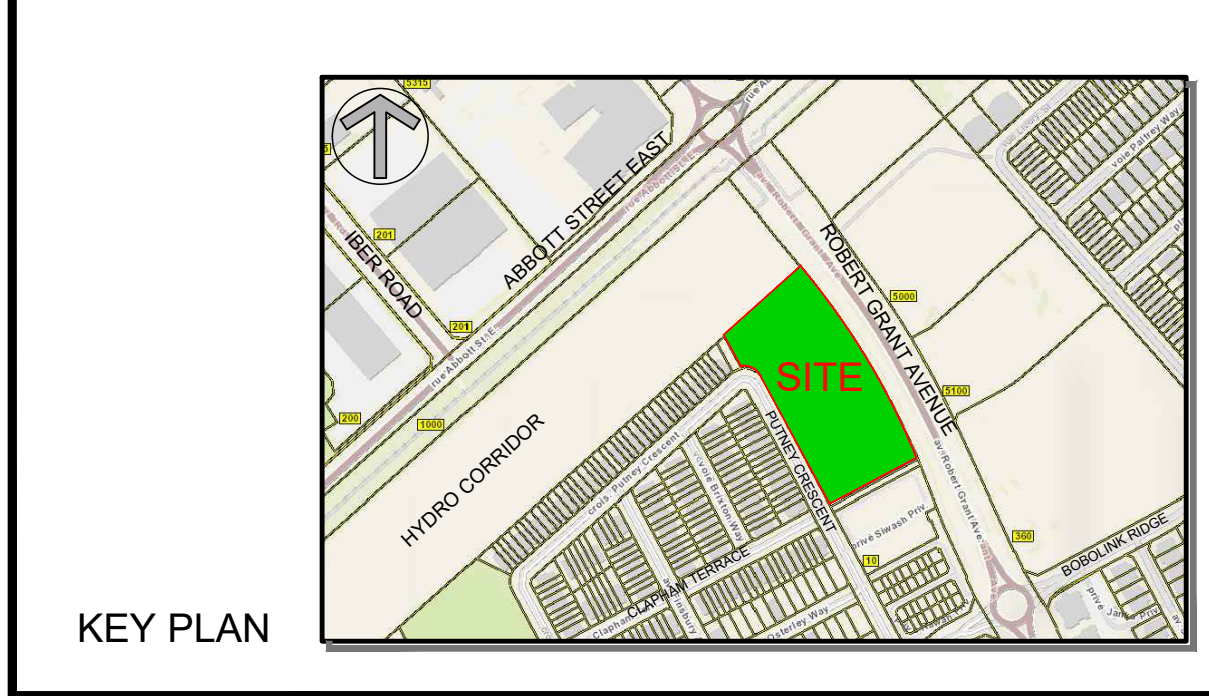
GARBAGE ENCLOSER DETAIL

PLAN

SIDE ELEVATION

FRONT ELEVATION

OTHER 2 ELEVATION SIMILAR  
FASTENERS AND HARDWARE TO BE EXTERIOR GRADE  
EXPOSED WOOD TO BE STAINED DARK GREY



LEGAL DESCRIPTION  
SKETCH TO ILLUSTRATE EXISTING CONDITIONS ON  
**BLOCK 324, PLAN 4M1619**  
**CITY OF OTTAWA**  
Prepared by Annis, O'Sullivan, Vollebakk Ltd.  
Field Work Completed September 17, 2020

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