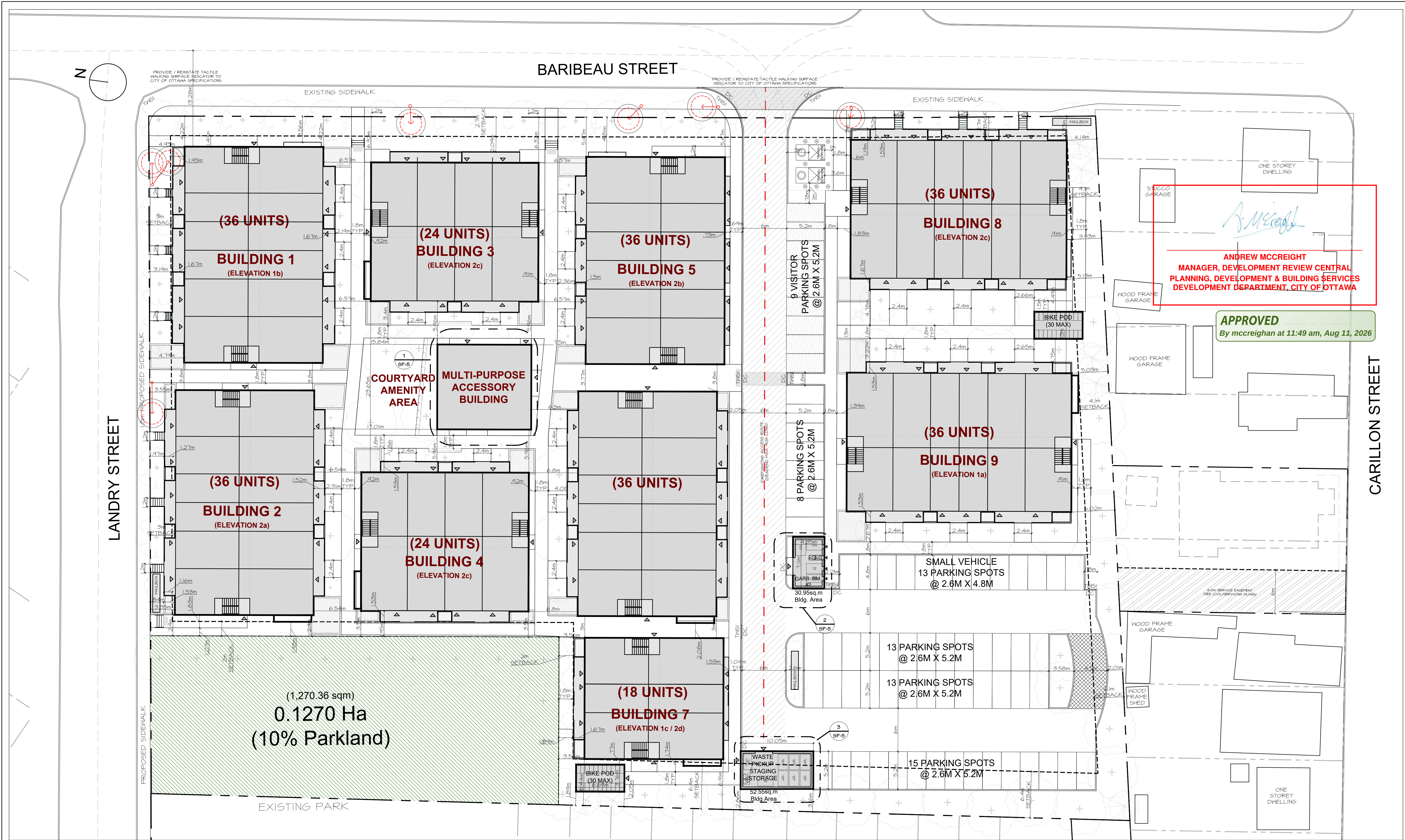




ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By mcreighan at 11:49 am, Aug 11, 2026

no.	date	revision
17	2026-07-08	SITE PLAN REVISIONS AND ADJUSTMENTS TO FINALIZE SPA
16	2026-07-07	COORDINATION OF PATHWAYS AND STAIRS WITH LANDSCAPE
15	2026-06-08	BUILDING 9 - ISSUED FOR PERMIT
14	2026-05-08	ISSUED PACKAGE TO VIUZE CONSTRUCTION
13	2026-04-16	ISSUED SITE PLAN FOR FINAL DAK SUBMISSION
12	2026-02-05	REVISED SITE PLAN TO SATISFY HYDRO COMMENTS
11	2026-01-16	REVISED STEPS AND WALKWAYS TO BLOCK 3
10	2025-12-11	REVISED BLOCK 3 LOCATION
9	2024-12-10	SPA APPLICATION COMMENT RESPONSES
8	2024-10-03	SPA APPLICATION COMMENT RESPONSES
7	2024-09-25	ISSUED UPDATED SITE STATISTICS
6	2024-09-18	SITE PLAN UPDATES FOR COORDINATION
5	2024-09-13	ISSUED SITE PLAN REVISIONS FOR CONSULTANT COORDINATION
4	2024-07-31	ISSUED FOR CLIENT PRELIMINARY PRICING
3	2024-07-05	ISSUED TO MAE FOR PRELIMINARY COORDINATION
2	2024-07-03	ISSUED FOR CONSULTANT COORDINATION
1	2024-06-25	ISSUED FOR CLIENT REVIEW

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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BARIBEAU STREET DEVELOPMENTS

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SITE DATA			
SITE STATISTICS (NUMBER OF UNITS & BUILDING FOOTPRINT AREA)			
BLOCK 1	16 UNITS	573.58m ²	
BLOCK 2	36 UNITS	596.99m ²	
BLOCK 3	24 UNITS	444.81m ²	
BLOCK 4	24 UNITS	444.91m ²	
BLOCK 5	36 UNITS	550.15m ²	
BLOCK 6	36 UNITS	596.99m ²	
BLOCK 7	18 UNITS	321.90m ²	
BLOCK 8	36 UNITS	573.58m ²	
BLOCK 9	36 UNITS	596.99m ²	
TOTAL	282 UNITS	4,699.47m ²	

LEGEND	
DC	DEPRESSED CURB LOCATION
TWSI	TACTILE WALKING SURFACE INDICATOR

LOT COVERAGE	
TOTAL LOT AREA	12,705.69m ²
PARK AREA	1,270.18m ² (10% PARKLAND)
TOTAL LOT COVERAGE	10%
TOTAL GROSS BUILDING AREA (GARAGE & BIKE STORAGE INCLUDED)	4,896.20m ²
TOTAL LOT COVERAGE	38.25%
TOTAL HARD LANDSCAPING AREA	3,968.17m ²
TOTAL LOT COVERAGE	31.20%
TOTAL SOFT LANDSCAPE AREA (PARK EXCLUDED)	2,105.45m ²
TOTAL LOT COVERAGE	17%
TOTAL PRIVATE AMENITY AREA	1,669.99m ²
TOTAL LOT COVERAGE	13.14%
TOTAL PUBLIC AMENITY AREA WITH PARKLAND	2,397.34m ²
TOTAL LOT COVERAGE	18.67%
TOTAL PUBLIC AMENITY AREA WITHOUT PARKLAND	804.65m ²
TOTAL LOT COVERAGE	6.35%

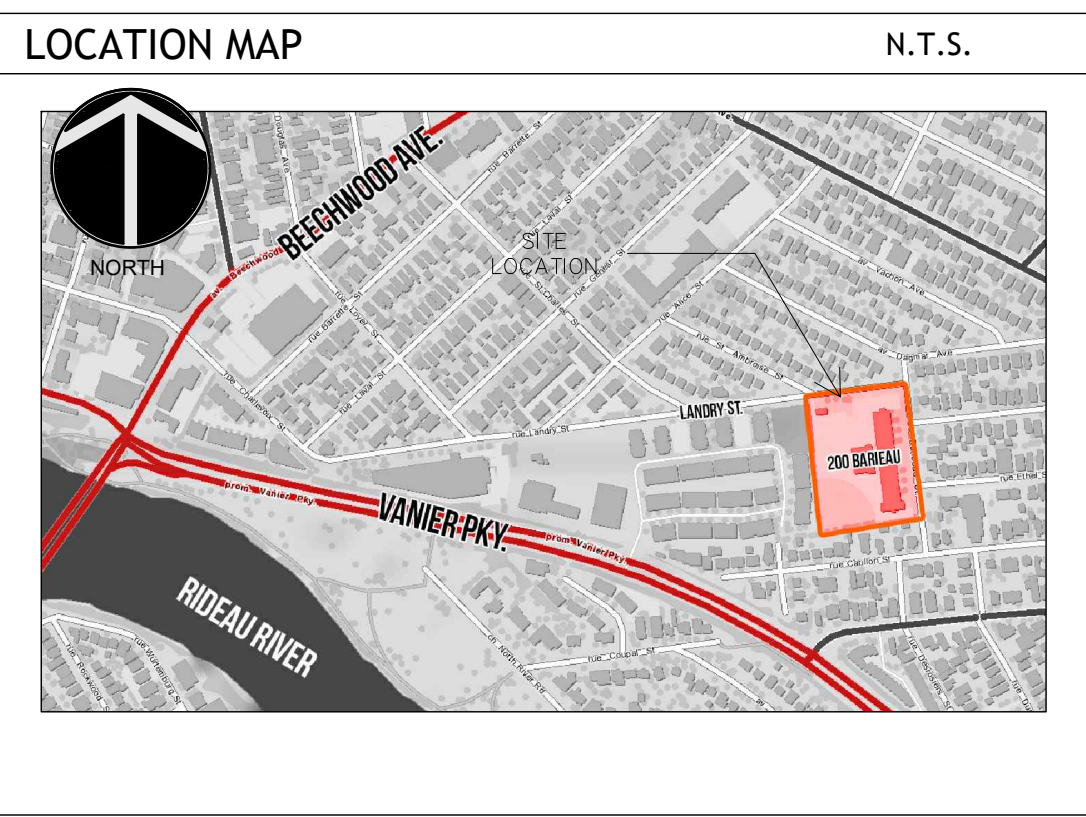
SURVEY INFORMATION	
JD BARNES LTD. 2430 DON REID DRIVE SUITE 204, OTTAWA, ON K1H 1E1, CANADA	CONTACT: SHAWN LEROUX TEL: 613-731-7244
REAL PROPERTY REPORT PART 1 - PLAN SHOWN PART OF BLOCK A REGISTERED PLAN M-44 CITY OF OTTAWA	

SITE STATISTICS			
PLANNED UNIT DEVELOPMENT ZONING MECHANISM			
ZONING:	N3B [2761]		
TYPE: PUD - 9 MULTI-UNIT RES. BUILDING/282 UNITS	REQUIRED	PROPOSED	
MIN. WIDTH OF PRIVATE DRIVEWAY	6.0m	6.0m	
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m MIN.	3.0m MIN.	
SETBACKS:			
FRONT YARD SETBACK	3.0m [2761]	3.0m	
CORNER SIDE YARD SETBACK	2.7m [2761]	2.7m	
INTERIOR SIDE YARD SETBACK	6.4m [2761]	4.1m	
REAR YARD SETBACK	4.1m [2761]	4.1m	
MIN. LOT WIDTH	N/A	130.97m	
MIN. LOT AREA	MIN. 1400m ²	12,703.69m ²	
MAX. BUILDING HEIGHT	AS PER DWELLING TYPE	10m	
BICYCLE PARKING REQUIREMENTS	N/A	122	
YARD SOFT LANDSCAPING			
FRONT:	AREA=273.52m ² SOFT YARD AREA = 162.64m ²	40%	59.46%
CORNER SIDE:	AREA=415.97m ² SOFT YARD AREA = 280.14m ²	20%	87.34%

PARKING REQUIREMENTS - RESIDENTS	
(PART 4 - PARKING, QUEUING AND LOADING PROVISIONS)	
DWELLING UNITS PROVIDED	282 - 12 = 270 DWELLING UNITS
MIN. PARKING REQUIREMENTS - [EXCEPTION 2761]	
MINIMUM RESIDENTIAL PARKING SPACES AFTER THE FIRST 12 SPACES: 0.2 SPACES PER UNIT.	
PARKING CALCULATIONS PER NUMBER OF DWELLING UNITS	
0.2 PER DWELLING UNIT	270 X 0.2 = 54
REQUIRED 54 SPACES	PROVIDED 62 SPACES
VISITOR PARKING [EXCEPTION 2761]	
MINIMUM VISITOR PARKING SPACES: 9 SPACES.	PROVIDED 9 SPACES
LANDSCAPING PROVISIONS FOR PARKING LOTS - SECTION 110	
PARKING LOT AREA = 1783.70m ² LANDSCAPED AREA = 394.02m ²	
REQUIRED 15%	PROVIDED = 22%

GRAPHIC SCALE	
5m 10m 20m 30m 35m	1 : 250

CONSULTANTS		
ARCHITECT HOBIN ARCHITECTURE INC. 63 Pamela Street, Ottawa, ON K1S 3K7	CIVIL, GRADING & SERVICES NOVATECH 240 MICHAEL COWPLAND DR. SUITE 200, OTTAWA, ON K2M 1P6	LANDSCAPE URBANTOLOGY INC. 409 PRESTON STREET OTTAWA, ONTARIO K1S 4N7
CONTACT: HUGO LATREILLE ext. 133 SEAN CARTY ext. 124 TEL: 613-238-7200 FAX: 613-265-2005	CONTACT: MARK DISBETT TEL: 613-254-9643 X.237	CONTACT: SCOTT MASON STUDIO 437-700-5446 DIRECT 343-862-4916 MOBILE 613-867-3042



project title		
Baribeu Street Developments 200 Baribeu Street		
drawing title		
ARCHITECTURAL SITE PLAN		
drawn HL	date DEC 2021	scale 1:250
project		2006
drawing no.		A1.01
revision no.		